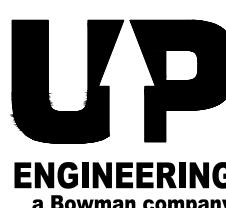


PRELIMINARY  
SUBDIVISION PLAT  
ESTABLISHING

ARBOR FIELDS UNIT 1

BEING 37.50 ACRES OF LAND OUT OF A 123.107 ACRE TRACT,  
SITUATED IN THE HEIRS OF SIMON AROCHA AND JUAN DE AROCHA  
SURVEY, ABSTRACT NO. 1, DESCRIBED IN GENERAL WARRANTY  
DEED WITH SAN ANTONIO LD, LLC, RECORDED IN DOCUMENT NO.  
2025-157635 OF THE OFFICIAL PUBLIC RECORDS OF WILSON  
COUNTY, TEXAS.

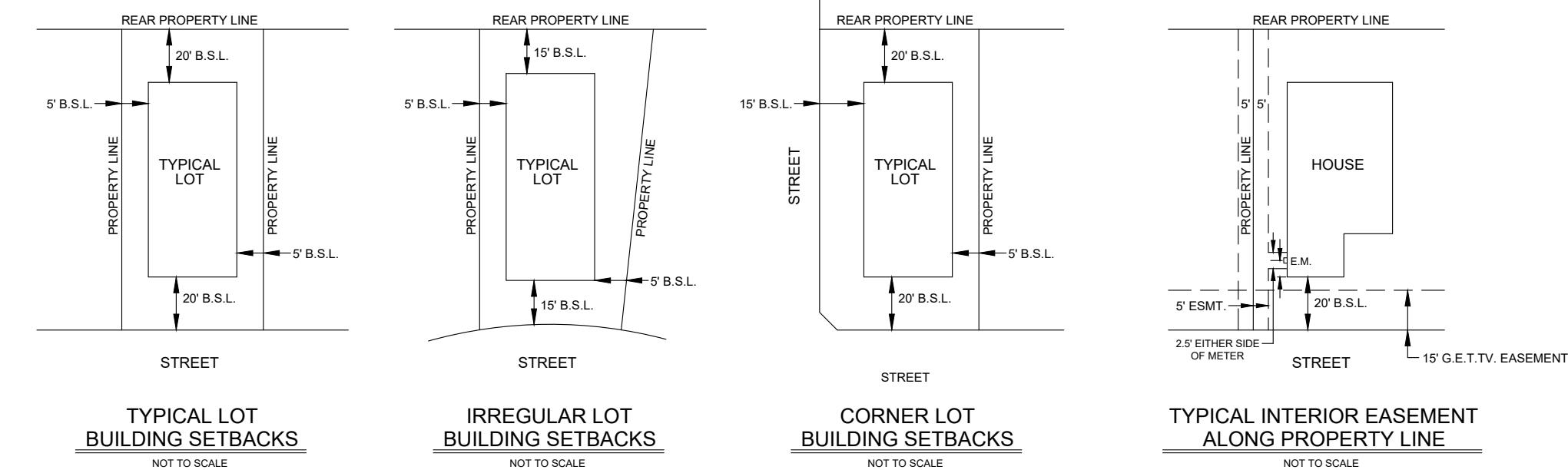
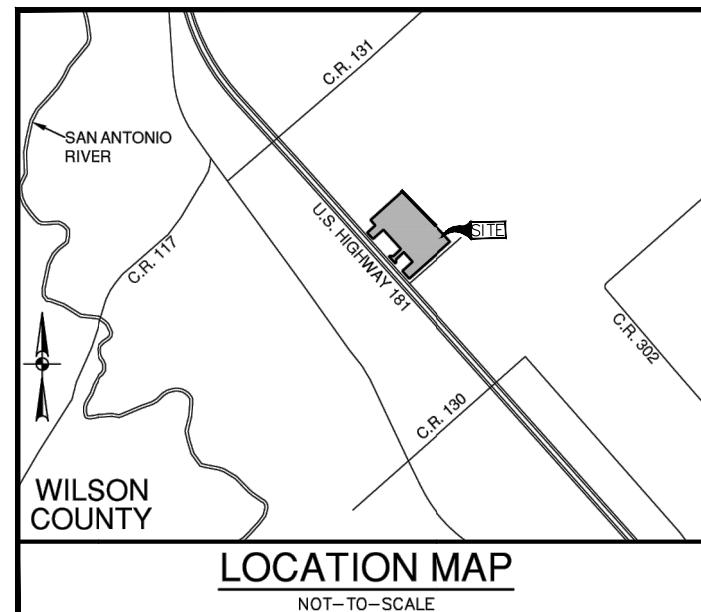


Engineering  
a Bowman company

111 TOWER DR, SUITE 325  
SAN ANTONIO, TX 78232 TEL 210-774-5504  
WWW.UPENGINEERING.COM TPE F-14309  
TBPLS F-191206-00

STATE OF TEXAS  
COUNTY OF WILSON

THE OWNER OF LAND SHOWN ON THIS PLAT IN PERSON OR THROUGH A DULY AUTHORIZED  
AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS,  
WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE  
PURPOSE AND CONSIDERATION THEREIN EXPRESSED.



LEGEND

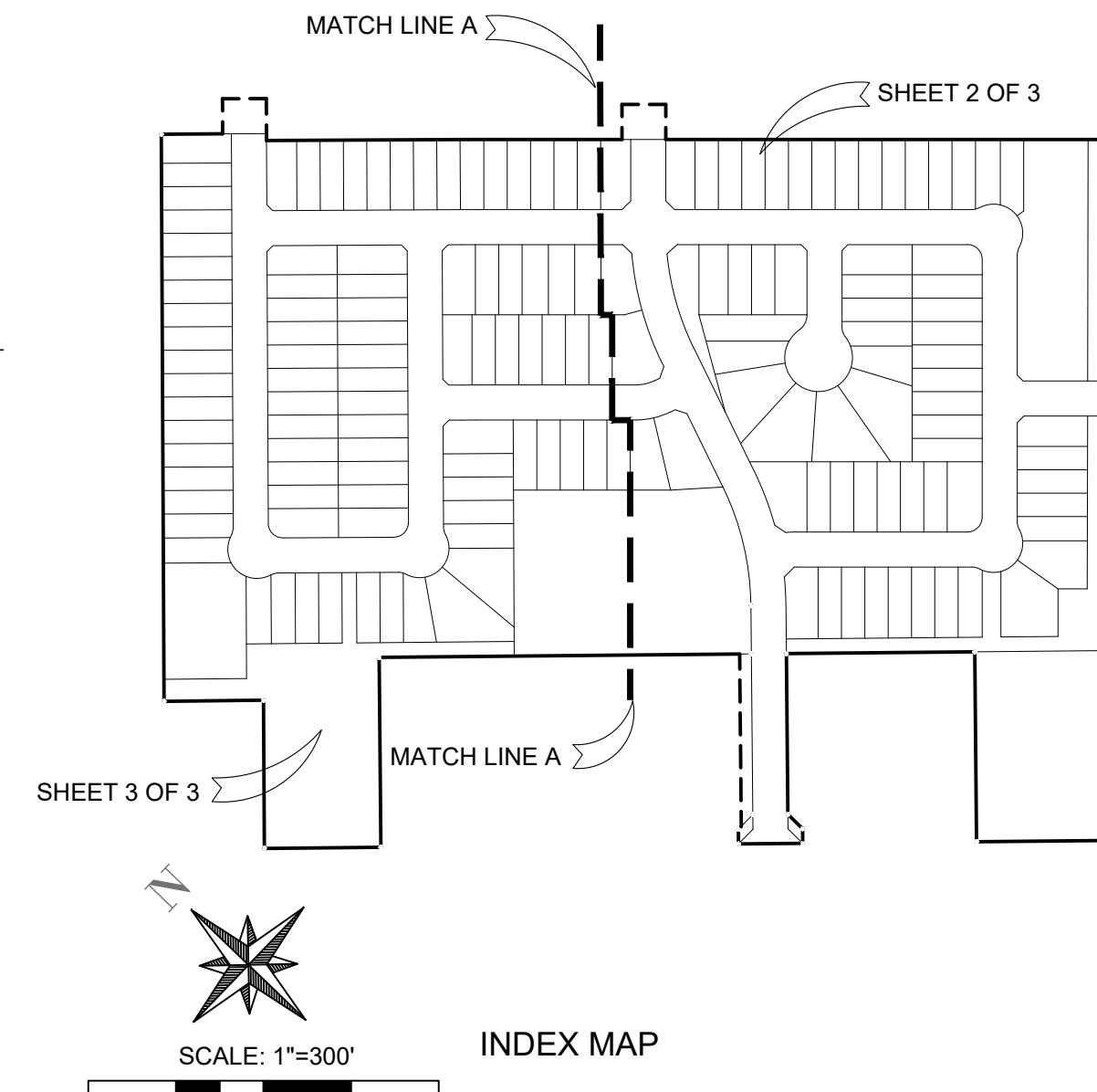
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- ✖ = PROPOSED FIRE HYDRANT

KEYNOTES	
①	15' G.E.T.T.V. EASEMENT
②	15' G.E.T.T.V. EASEMENT & B.S.L.
③	20' B.S.L.
④	1' VEHICULAR NON-ACCESS EASEMENT
⑤	16' SANITARY SEWER EASEMENT
⑥	20' WATERLINE EASEMENT
⑦	25 SANITARY SEWER EASEMENT
⑧	VAN WIDTH LIFT STATION EASEMENT DOC. #155357, O.P.R.
⑨	30' LIFT STATION ACCESS & SANITARY SEWER EASEMENT DOC. #155357, O.P.R.
⑩	5' WATERLINE EASEMENT
⑪	20' G.E.T.T.V. EASEMENT
⑫	15' G.E.T.T.V. EASEMENT
⑬	50' LIFT STATION & EMERGENCY ACCESS EASEMENT
⑭	30' EMERGENCY ACCESS EASEMENT
⑮	20' SANITARY SEWER AND ACCESS EASEMENT DOC. #155358, O.P.R.

LINE TABLE

LINE TABLE

LINE	BEARING	LENGTH
L1	S02°46'57"W	35.36'
L2	S47°46'57"E	25.00'
L3	N47°46'57"E	25.00'
L4	S87°13'03"E	7.07'
L5	N48°02'23"E	60.00'
L6	S42°00'51"E	75.00'
L7	S48°02'23"W	71.81'
L8	N48°18'51"E	60.00'
L9	S41°41'09"E	75.00'
L10	S48°18'51"W	60.00'
L11	S86°48'56"E	23.58'
L12	S07°30'51"E	22.60'
L13	S86°39'07"E	16.38'
L14	S03°18'51"W	14.14'
L15	S86°41'09"E	14.14'
L16	S03°18'51"W	14.14'
L17	S03°18'51"W	21.21'
L18	S83°29'19"E	23.23'
L19	S01°17'11"W	21.95'
L20	N86°41'09"W	21.21'
L21	N22°47'11"W	21.21'
L22	N67°47'11"W	10.00'
L23	N67°47'11"W	10.00'



INDEX MAP

SCALE: 1"=300'

300 150 0 300

CURVE TABLE

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING	
C1	25.00'	39.27'	90°00'00"	35.36'	S86°57'37"E	
C2	25.00'	39.27'	90°00'00"	35.36'	S3°02'23"W	
C3	30.00'	29.00'	55°22'35"	27.88'	N76°00'08"E	
C4	58.00'	276.03'	272°40'42"	80.09'	S32°38'55"E	
C5	30.00'	19.53'	37°18'06"	19.19'	S29°39'48"W	
C6	25.00'	39.27'	90°00'00"	35.36'	N3°18'51"E	
C7	25.00'	39.27'	90°00'00"	35.36'	S86°41'09"E	
C8	23.00'	20.42'	5°05'11"	20.41'	N44°13'45"W	
C9	53.00'	10.35'18"	97.80"	N27°30'28"E		
C10	47.00'	203'24"9	167.65'	S32°29'13"W		
C11	53.00'	196.42'	21°14'03"	195.30'	S32°49'50"W	
C12	70.00'	31.89'	26°06'02"	31.61'	S54°44'10"E	
C13	47.30'00"	22.64'	0°16'27"	22.64'	N41°49'23"W	
C14	49.70'00"	23.79'	0°16'27"	23.79'	N41°49'23"W	
C15	47.00'	209.74'	25°34'08"	208.01'	N34°59'53"E	
C16	130.00'	59.22'	26°06'02"	58.71'	S54°44'10"E	

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C17	4670.00'	22.36'	0°16'27"	22.36'	N41°49'23"W
C18	30.00'	14.68'	28°02'40"	14.54'	S34°01'03"W
C19	50.00'	127.49'	146°05'21"	95.65'	S86°57'37"E
C20	30.00'	14.68'	28°02'40"	14.54'	N27°56'16"W
C21	30.00'	14.68'	28°02'40"	14.54'	N55°58'57"W
C22	50.00'	127.49'	146°05'21"	95.65'	S3°02'23"W
C23	30.00'	14.68'	28°02'40"	14.54'	N62°03'44"E
C24	5030.00'	24.08'	0°16'27"	24.08'	N41°49'23"W
C25	30.00'	14.68'	28°02'40"	14.54'	S55°42'29"
C26	50.00'	127.49'	146°05'21"	95.65'	N3°18'51"E
C27	30.00'	14.68'	28°02'40"	14.54'	S62°20'11"W
C28	30.00'	14.68'	28°02'40"	14.54'	S34°17'31"W
C29	50.00'	127.49'	146°05'21"	95.65'	S86°41'09"E
C30	30.00'	14.68'	28°02'40"	14.54'	N27°39'49"W
C31	170.00'	5.82'	1°57'41"	5.82'	N42°40'00"W
C32	530.00'	48.32'	5°13'26"	48.30'	N45°10'14"E

**TXDOT NOTES:**

1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
2. OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY. OUTfalls FOR WATER QUALITY AND/OR DETENTION PONDS TREATING IMPERVIOUS COVER RELATED TO THE DEVELOPMENT AND STRUCTURES FOR REDUCTION OF DISCHARGE VELOCITY WILL NOT ENCRAGE BY STRUCTURE OR GRADING INTO STATE ROW OR INTO AREAS OF ROW OF EXISTING DRAINAGE SYSTEM. FOR PROJECTS IN THE EDWARDS AND LlANO RIVER BASINS, THE CONTRIBUTING ZONE OF EROSION FOR THE STATE ROW AND STRUCTURAL MANAGEMENT PLACEMENT OF FLOW STRIPS WITHIN STATE ROW OR INTO AREAS OF ROW RESERVATION OR DEDICATION WILL NOT BE ALLOWED. NO NEW EASEMENTS OF ANY TYPE SHOULD BE LOCATED IN AREAS OF ROW RESERVATION OR DEDICATION.
3. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TXDOT, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF ONE ACCESS POINT SHARED BY BOTH REMAINING UNPLATTED PORTIONS, BASED ON AN OVERALL PLATTED HIGHWAY FRONTAGE OF 1/4 MILE, WHERE TOPOGRAPHY OR OTHER SITE CONDITIONS DO NOT REQUIRE AN ADDITIONAL ACCESS POINT. FOR THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL DIRECT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCES WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THOROUGHFARE PLANS.
4. A PROPOSED FIRE HYDRANT LOCATED ON THE PROPERTY WILL REQUIRE A WALK PERMIT MUST BE APPROVED BY TXDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TXDOT.
5. ANY TRAFFIC CONTROL MEASURES (LEFT-TURN LANE, RIGHT-TURN LANE, SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY FELPS FOR EASEMENTS.

AGENT FOR FLORESVILLE ELECTRIC LIGHT & POWER SYSTEMS

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY OAK HILLS WATER SUPPLY CORP.

AGENT FOR OAK HILLS WATER SUPPLY CORP.

DECEMBER 4, 2025 SHEET 1 OF 3

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY COUNCILMAN FOR EASEMENTS.

AGENT FOR COUNCILMAN

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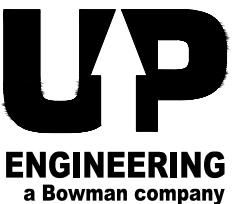
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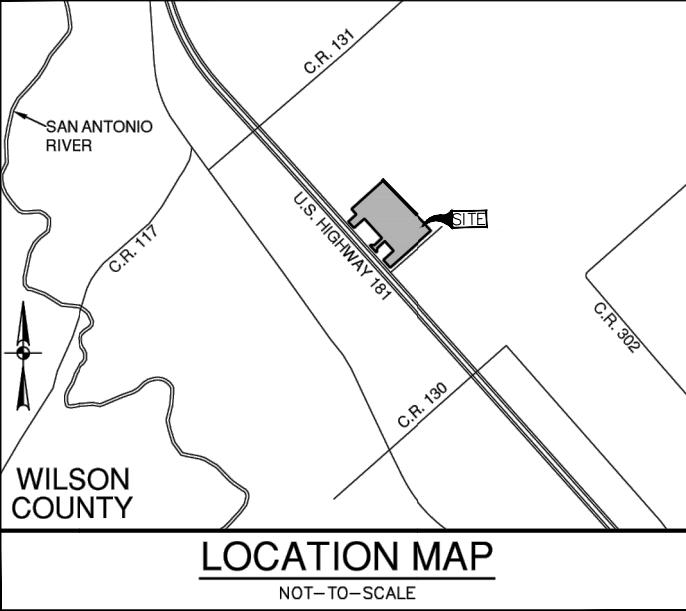
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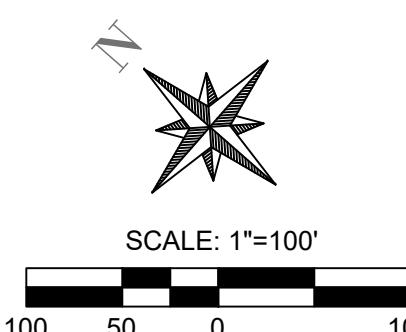
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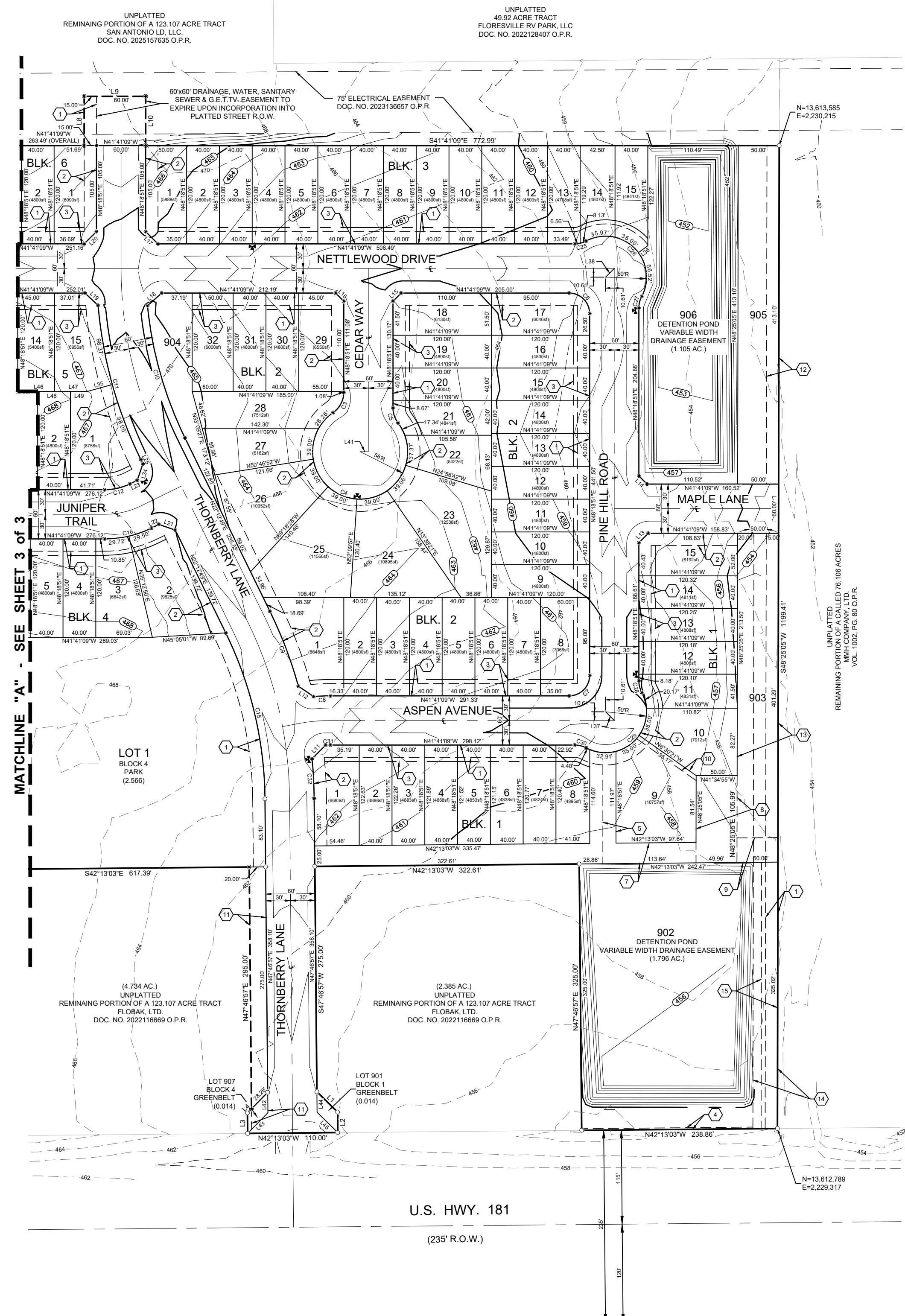
LEGEND

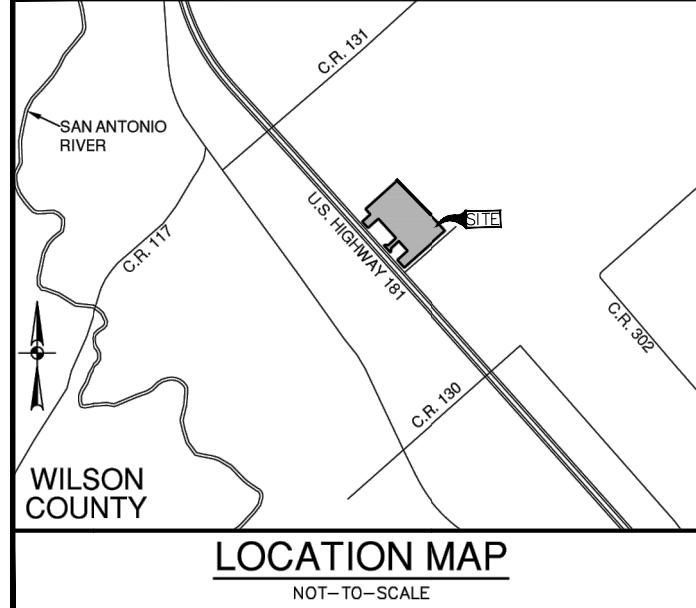
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MATCHLINE "A" - SEE SHEET 3 of 3



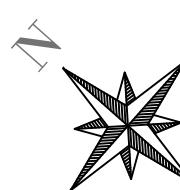


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                   WILSON COUNTY TEXAS  
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 VOL = VOLUME  
 PG = PAGE  
 BSL = BUILDING SETBACK LINE  
 \_\_\_\_\_ 1160 = EXISTING CONTOUR  
 \_\_\_\_\_ = EASEMENT  
 \_\_\_\_\_ C102 = PROPOSED CONTOUR  
 \_\_\_\_\_ = PROPOSED FIRE HYDRANT

KEYNOTES

- ① 15' G.E.T.TV. EASEMENT
- ② 15' G.E.T.TV. EASEMENT & B.S.L.
- ③ 20' B.S.L.
- ④ 1' VEHICULAR NON-ACCESS EASEMENT
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DOC. #155357, O.P.R.
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- ⑩ 5' WATERLINE EASEMENT
- ⑪ 20' G.E.T.TV. EASEMENT
- ⑫ 15' G.E.T.TV. EASEMENT
- ⑬ 50' LIFT STATION & EMERGENCY  
ACCESS EASEMENT
- ⑭ 30' EMERGENCY  
ACCESS EASEMENT
- ⑮ 20' SANITARY SEWER  
AND ACCESS EASEMENT  
DOC. #155358, O.P.R.



SCALE: 1"=100



A scale bar with tick marks at 100, 50, 0, and 100. The scale is marked in increments of 50, with 100 on the left, 50 in the middle, 0 on the right, and 100 on the far right. The scale bar is black with white tick marks.

**UNPLATTED  
REMINAING PORTION OF A 123.107 ACRE TRACT  
SAN ANTONIO LD, LLC.  
DOC. NO. 2025157635 O.P.R.**

PRELIMINARY  
**SUBDIVISION PLAT**  
ESTABLISHING

# ARBOR FIELDS UNIT 1

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IN ANTONIO, TX 78232 TEL 210-774-5504  
W.UPENGINEERING.COM TBPE F-14309  
TBPLS F-101206-00

UNPLATTED  
10.02 ACRE TRACT  
NICOLE VAN WINKLE, ET AL.  
DOC. NO. 2024145409 O.P.R.

**LOT 1 BLOCK 4 PARK (2.566)**

**MATCHLINE "A" - SEE SHEET 2 of 3**

**UNPLATTED 1.07 ACRE TRACT OAK HILLS ANIMAL HOSPITAL VOL. 802, PG. 443 O.P.R.**

**DETENTION POND VARIABLE WIDTH DRAINAGE EASEMENT (1.985 AC.)**

**UNPLATTED REMAINING PORTION OF A 123.107 ACRE TRACT FLOBAK, LTD. DOC. NO. 2022116669 O.P.R.**

**U.S. HWY. 181 (235' R.O.W.)**

## NOTES

1. THE PROPERTY SHOWN HEREON LIES WITHIN THE CITY OF FLORESVILLE.
2. ALL PROPOSED STREETS WILL BE DEDICATED TO THE PUBLIC AND MAINTAINED BY THE CITY OF FLORESVILLE.
3. THE PROPERTY SHOWN HEREON WILL HAVE UTILITIES PROVIDED BY THE FOLLOWING:  
WATER - OAK HILLS WSC  
SEWER - CITY OF FLORESVILLE  
ELECTRICITY - FLORESVILLE ELECTRIC LIGHT & POWER SYSTEM (FELPS)  
TV, INTERNET, PHONE -FRONTIER COMMUNICATIONS/SPECTRUM
4. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CALBE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED ABOVE.
5. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
6. MONUMENTATION AS SHOWN. IT IS THE PRACTICE OF UP ENGINEERING a BOWMAN COMPANY TO MONUMENT ALL CORNERS (IF PRACTICAL) IN THE SUBDIVISION WITH 1/2" REBAR AND UP PLASTIC CAPS, UPON COMPLETION OF CONSTRUCTION.
7. THERE IS HEREBY DEDICATED A 15 FOOT WIDE ELECTRIC DISTRIBUTION LINE EASEMENT ALONG ALL FRONT AND A FIVE (5) FOOT ALONG THE SIDE LOT PROPERTY LINES.
8. FELPS WILL POSSESS A 5-FOOT WIDE EASEMENT TO THE SERVICE METER LOCATION EASEMENT TO FOLLOW SERVICE LINE AND WILL VARY DEPENDING ON LOCATION OF BUILDING OR STRUCTURE.
9. FELPS SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
10. TYPICAL FOR METER LOCATIONS (SEE DETAIL "TYPICAL INTERIOR EASEMENT ALONG PROPERTY LINE" THIS SHEET).
11. ANY EASEMENT DESIGNATED AS A FELPS 20' X 20' UTILITY EASEMENT SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
12. NO BUILDINGS, OR OTHER OBSTRUCTIONS, OR WELLS OF ANY KIND SHALL BE PLACED ON ANY ELECTRIC EASEMENTS, NOR SHALL ANY TREES BE PLANTED THEREON.
13. ALL UTILITY EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER ONSTRUCTIONS), READING OF METERS, AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
14. THIS SUBDIVISION IS ENTIRELY WITHIN THE FLORESVILLE INDEPENDENT SCHOOL DISTRICT.
15. NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA FIRM PANEL 48493C0295C, EFFECTIVE DATE OF 11/26/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.
16. THERE IS HEREBY DEDICATED A TEN (10) FOOT WIDE PUBLIC UTILITY EMBANKMENT BACK SLOPE EASEMENT ADJACENT TO ALL STREET RIGHT-OF-WAYS.
17. NO STRUCTURE SHALL BE OCCUPIED UNTIL CONNECTED TO CITY SEWER SYSTEM AND APPROVED BY THE CITY OF FLORESVILLE.
18. NO STUTURE SHALL BE CONSTRUCTED WITHOUT AN APPROVED PERMIT BY THE CITY OF FLORESVILLE.
19. ACCESS TO 4.734 ACRE AND 2.385 ACRE UNPLATTED REMAINDER TRACTS AT HMM 1-101 SHALL HAVE ACCESS TO THORNBERRY LANE.