

- LEGEND
- = PLAT BOUNDARY
 - - - = PLAT BOUNDARY EASEMENT
 - - - - - = ADJOINER BOUNDARY
 - - - - - = CENTERLINE
 - = FOUND 1/2" IRON PIN CONTROLLING MONUMENTATION (UNLESS NOTED OTHERWISE)
 - = IRON PIN SET
 - G.E.T.T.V. = GAS, ELECTRIC, TELE, & CABLE TV
 - 1" V.N.E. = VEHICULAR NON-ACCESS EASEMENT
 - O.P.R. = OFFICIAL PUBLIC RECORDS OF WILSON COUNTY TEXAS
 - ROW = RIGHT OF WAY
 - VOL = VOLUME
 - PG = PAGE
 - BSL = BUILDING SETBACK LINE
 - 1160 = EXISTING CONTOUR
 - = EASEMENT
 - 102 = PROPOSED CONTOUR
 - ★ = PROPOSED FIRE HYDRANT

KEYNOTES

1	15' G.E.T.T.V. EASEMENT
2	15' G.E.T.T.V. EASEMENT & B.S.L.
3	20' B.S.L.
4	1" VEHICULAR NON-ACCESS EASEMENT
5	16" SANITARY SEWER EASEMENT
6	20" WATERLINE EASEMENT
7	25" SANITARY SEWER EASEMENT
8	VAR. WIDTH LIFT STATION EASEMENT
9	30" LIFT STATION ACCESS & SANITARY SEWER EASEMENT
10	5" WATERLINE EASEMENT
11	20' G.E.T.T.V. EASEMENT
12	15' G.E.T.T.V. EASEMENT
13	50" LIFT STATION & EMERGENCY ACCESS EASEMENT
14	30" EMERGENCY ACCESS EASEMENT
15	20" SANITARY SEWER AND ACCESS EASEMENT

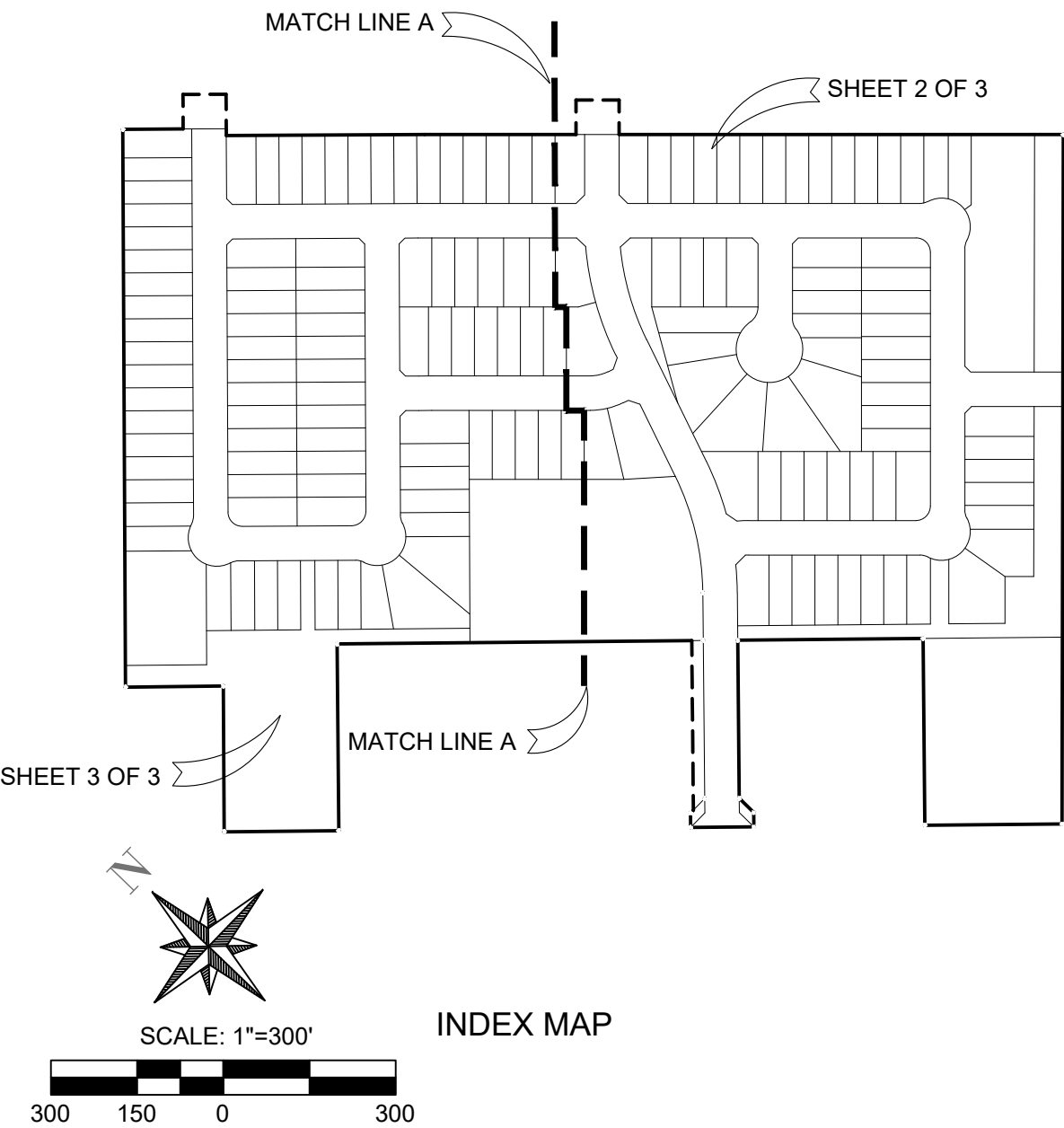
DOC. #155358, O.P.R.

LINE TABLE

LINE	BEARING	LENGTH
L1	S02°46'57"W	35.36'
L2	S47°46'57"W	25.00'
L3	N47°46'57"E	25.00'
L4	S87°1°30'3"E	7.07'
L5	N48°02'23"E	60.00'
L6	S42°00'51"E	75.00'
L7	S48°57'37"W	71.81'
L8	N48°18'51"E	60.00'
L9	S41°41'09"E	75.00'
L10	S48°18'51"W	60.00'
L11	S86°48'56"E	23.58'
L12	S07°30'51"E	22.60'
L13	S86°39'07"E	16.38'
L14	S03°18'51"W	14.14'
L15	S86°41'09"E	14.14'
L16	S03°18'51"W	14.14'
L17	S03°18'51"W	21.21'
L18	S83°29'19"E	23.23'
L19	S01°17'11"W	21.95'
L20	N86°41'09"W	21.21'
L21	N22°47'11"W	21.21'
L22	N67°47'11"W	10.00'
L23	N67°47'11"W	10.00'

LINE TABLE

LINE	BEARING	LENGTH
L24	S67°12'49"W	21.21'
L25	N22°12'49"E	5.81'
L26	N41°57'37"W	22.95'
L27	N86°57'37"W	14.14'
L28	S03°02'23"W	14.14'
L29	N41°57'37"W	22.95'
L30	S86°57'37"W	14.14'
L31	N41°57'37"W	22.95'
L32	N03°02'23"E	14.14'
L33	S86°57'37"E	14.14'
L34	S03°02'23"W	14.14'
L35	S57°01'51"E	31.56'
L36	S78°24'29"E	14.12'
L37	S03°18'51"W	15.00'
L38	S86°41'09"E	15.00'
L39	S03°02'23"W	15.00'
L40	N86°57'37"W	15.00'
L41	S41°41'09"E	10.00'
L42	N47°46'57"E	25.00'
L43	S87°13'03"E	35.36'
L44	N47°46'57"E	25.00'
L45	N02°46'57"E	35.36'



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C1	25.00'	39.27'	90°00'00"	35.36'	S86°57'37"E
C2	25.00'	39.27'	90°00'00"	35.36'	S3°02'23"W
C3	30.00'	29.00'	55°22'35"	27.88'	N76°00'08"E
C4	58.00'	276.03'	272°40'42"	80.09'	S32°38'55"E
C5	30.00'	19.53'	37°18'06"	19.19'	S29°39'48"W
C6	25.00'	39.27'	90°00'00"	35.36'	N3°18'51"E
C7	25.00'	39.27'	90°00'00"	35.36'	S86°41'09"E
C8	230.00'	20.42'	5°05'11"	20.41'	N44°13'45"W
C9	530.00'	97.94'	10°35'16"	97.80'	N27°30'28"E
C10	470.00'	168.55'	20°32'49"	167.65'	S32°29'13"W
C11	530.00'	196.42'	21°14'03"	195.30'	S32°49'50"W
C12	70.00'	31.89'	26°06'02"	31.61'	S54°44'10"E
C13	4730.00'	22.64'	0°16'27"	22.64'	N41°49'23"W
C14	4970.00'	23.79'	0°16'27"	23.79'	N41°49'23"W
C15	470.00'	209.74'	25°34'08"	208.01'	N34°59'53"E
C16	130.00'	59.22'	26°06'02"	58.71'	S54°44'10"E

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C17	4670.00'	22.36'	0°16'27"	22.36'	N41°49'23"W
C18	30.00'	14.68'	28°02'40"	14.54'	S34°01'03"W
C19	50.00'	127.49'	146°05'21"	95.65'	S86°57'37"E
C20	30.00'	14.68'	28°02'40"	14.54'	N27°56'16"W
C21	30.00'	14.68'	28°02'40"	14.54'	N55°58'57"W
C22	50.00'	127.49'	146°05'21"	95.65'	S3°02'23"W
C23	30.00'	14.68'	28°02'40"	14.54'	N3°18'51"E
C24	5030.00'	24.08'	0°16'27"	24.08'	N41°49'23"W
C25	30.00'	14.68'	28°02'40"	14.54'	S55°42'29"E
C26	50.00'	127.49'	146°05'21"	95.65'	N3°18'51"E
C27	30.00'	14.68'	28°02'40"	14.54'	S62°20'11"W
C28	30.00'	14.68'	28°02'40"	14.54'	S34°17'31"W
C29	50.00'	127.49'	146°05'21"	95.65'	S86°41'09"E
C30	30.00'	14.68'	28°02'40"	14.54'	N27°39'49"W
C31	170.00'	5.82'	1°57'41"	5.82'	N42°40'00"W
C32	530.00'	48.32'	5°13'26"	48.30'	N45°10'14"E

TXDOT NOTES:

- FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
- OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY. OUTFALLS FOR WATER QUALITY AND/OR DETENTION PONDS TREATING IMPERVIOUS COVER RELATED TO THE DEVELOPMENT AND STRUCTURES FOR REDUCTION OF DISCHARGE VELOCITY WILL NOT ENCROACH BY STRUCTURE OR GRADING INTO STATE ROW OR INTO AREAS OF ROW RESERVATION OR DEDICATION. FOR PROJECTS IN THE EDWARDS AQUIFER RECHARGE, TRANSITION OR CONTRIBUTING ZONES, PLACEMENT OF PERMANENT STRUCTURAL BEST MANAGEMENT PRACTICE DEVICES OR VEGETATIVE FILTER STRIPS WITHIN STATE ROW OR INTO AREAS OF ROW RESERVATION OR DEDICATION WILL NOT BE ALLOWED. NO NEW EASEMENTS OF ANY TYPE SHOULD BE LOCATED IN AREAS OF ROW RESERVATION OR DEDICATION.
- MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TXDOTS, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF ONE ACCESS POINT SHARED BY BOTH REMAINING UNPLATTED PORTIONS, BASED ON AN OVERALL PLATTED HIGHWAY FRONTAGE OF APPROXIMATELY 548 FEET. WHERE TOPOGRAPHY OR OTHER EXISTING CONDITIONS MAKE IT APPROPRIATE OR NOT FEASIBLE TO CONFORM TO THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL TRACT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCE WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THOROUGHFARE PLANS.
- IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TXDOT. PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY, LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TXDOT.
- ANY TRAFFIC CONTROL MEASURES (LEFT-TURN LANE, RIGHT-TURN LANE, SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY FELPS FOR EASEMENTS.

AGENT FOR FLORESVILLE ELECTRIC LIGHT & POWER SYSTEMS

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY OAK HILLS WATER SUPPLY CORP.

AGENT FOR OAK HILLS WATER SUPPLY CORP.

PRELIMINARY
SUBDIVISION PLAT
ESTABLISHING
ARBOR FIELDS UNIT 1
BEING 37.50 ACRES OF LAND OUT OF A 123.107 ACRE TRACT,
SITUATED IN THE HEIRS OF SIMON AROCHA AND JUAN DE AROCHA
SURVEY, ABSTRACT NO. 1, DESCRIBED IN GENERAL WARRANTY
DEED WITH SAN ANTONIO LD, LLC. RECORDED IN DOCUMENT NO.
2025-157635 OF THE OFFICIAL PUBLIC RECORDS OF WILSON
COUNTY, TEXAS.

UP
ENGINEERING
a Bowman company
111 TOWER DR, SUITE 320
SAN ANTONIO, TX 78232 TEL 210-774-5504
WWW.UPENGINEERING.COM TBPE F-14309
TBPLS F-101206-00

STATE OF TEXAS
COUNTY OF WILSON

THE OWNER OF LAND SHOWN ON THIS PLAT IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

NAME: RICHARD MOTT
TITLE: VICE PRESIDENT OF LAND DEVELOPMENT

OWNER/DEVELOPER:
LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.
100 NE LOOP 410, SUITE 1155
SAN ANTONIO, TX 78216
479-455-9090

BY: U.S HOME LLC, A DELAWARE LIMITED LIABILITY COMPANY
(AS SUCCESSOR-IN-INTEREST BY CONVERSION TO U.S. HOME CORPORATION, A DELAWARE CORPORATION), ITS GENERAL PARTNER

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

RICHARD MOTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____

DAY OF _____ A.D. _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF WILSON

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF FLORESVILLE.

LICENSED PROFESSIONAL ENGINEER: RYAN R. PLAGENS, P.E.
TEXAS REGISTRATION NO. 111640

SWORN TO & SUBSCRIBED BEFORE ME THE _____ DAY OF _____ A.D., 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF WILSON

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND BY UP ENGINEERING a Bowman company UNDER MY SUPERVISION.

REGISTERED PROFESSIONAL LAND SURVEYOR: RICHARD L. NEUBAUER III, R.P.L.S.
TEXAS REGISTRATION NO. 6897

SWORN TO & SUBSCRIBED BEFORE ME THE _____ DAY OF _____ A.D., 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THIS PLAT OF ARBOR FIELDS UNIT 1 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF FLORESVILLE, WILSON COUNTY, TEXAS AND APPROVED BY SAID COUNCIL THIS _____ DAY OF _____ A.D., 2025.

MAYOR COUNCILMAN - PLACE 3

COUNCILMAN - PLACE 1 COUNCILMAN - PLACE 4

COUNCILMAN - PLACE 2 COUNCILMAN - PLACE 5

I, GENEVIEVE MARTINEZ, COUNTY CLERK OF WILSON COUNTY, TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE _____

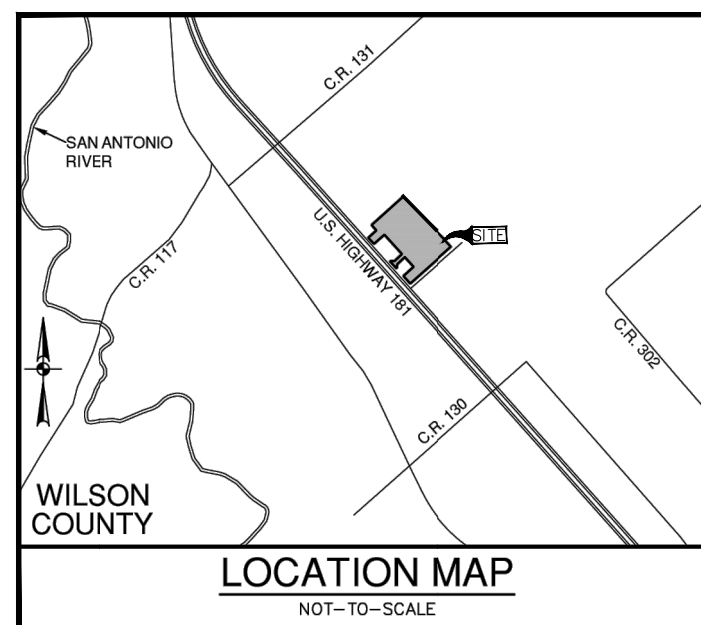
DAY OF _____ A.D. AT _____ O'CLOCK _____ M.

AND DULY RECORDED IN VOLUME _____ PAGE _____ PLAT RECORDS OF WILSON COUNTY, TEXAS.

IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE

THIS _____ DAY OF _____ A.D.

COUNTY CLERK, WILSON COUNTY, TEXAS



LOCATION MAP

NOT-TO-SCALE

UNPLATTED
REMAINING PORTION OF A 123.107 ACRE TRACT
SAN ANTONIO LD, LLC.
DOC. NO. 2025157635 O.P.R.

UNPLATTED
49.92 ACRE TRACT
FLORESVILLE RV PARK, LLC
DOC. NO. 2022128407 O.P.R.

PRELIMINARY
SUBDIVISION PLAT
ESTABLISHING











ARBOR FIELDS UNIT 1

BEING 37.50 ACRES OF LAND OUT OF A 123.107 ACRE TRACT,
SITUATED IN THE HEIRS OF SIMON AROCHA AND JUAN DE AROCHA
SURVEY, ABSTRACT NO. 1, DESCRIBED IN GENERAL WARRANTY
DEED WITH SAN ANTONIO LD, LLC. RECORDED IN DOCUMENT NO.
2025-157635 OF THE OFFICIAL PUBLIC RECORDS OF WILSON
COUNTY, TEXAS.

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ENGINEERING
a Bowman company

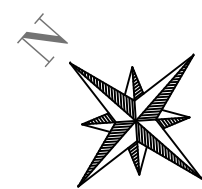
111 TOWER DR, SUITE 325
SAN ANTONIO, TX 78232 TEL 210-774-5504
WWW.UPENGINEERING.COM TBPE F-14309
TBPLS F-101206-00

LEGEND

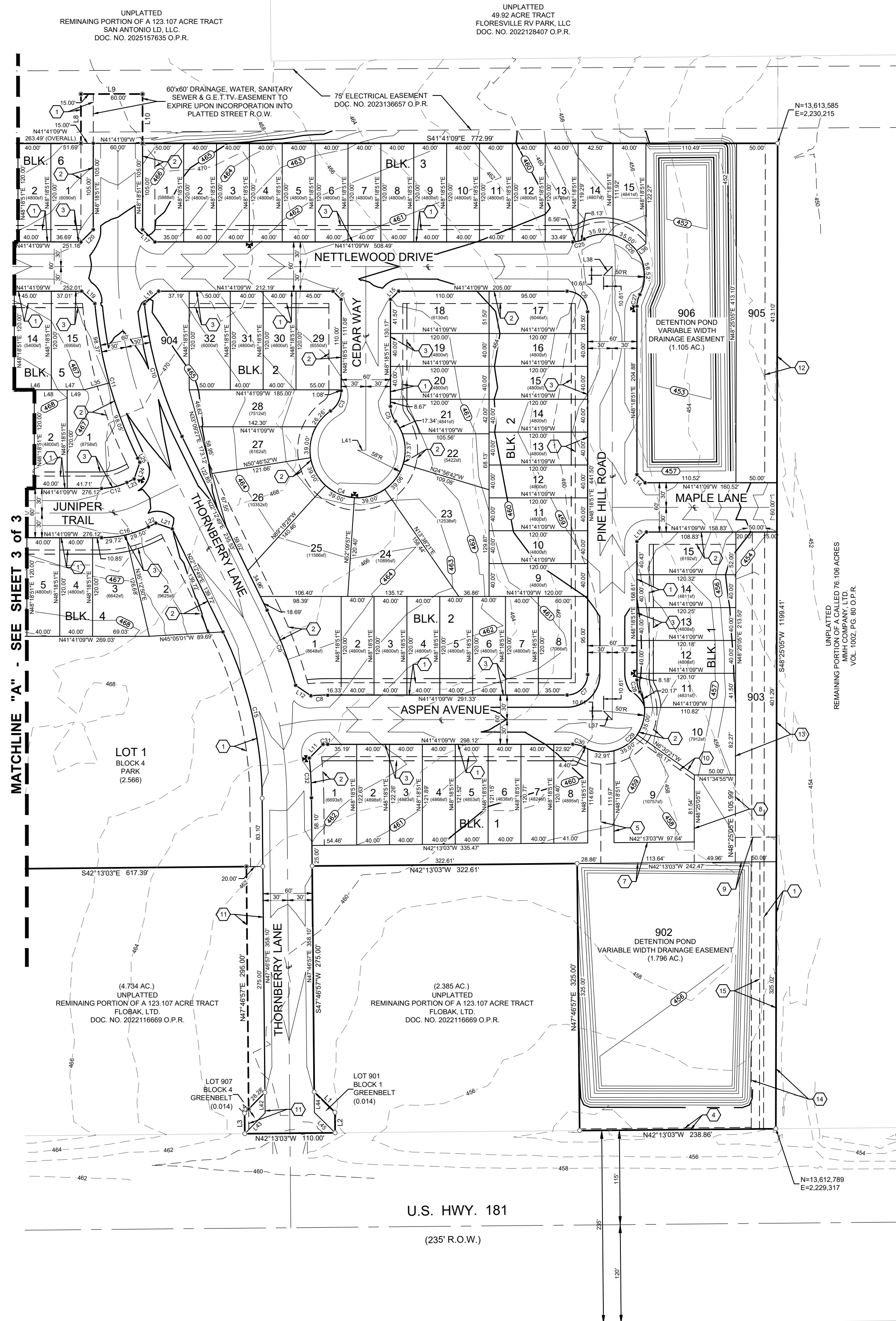
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 PG = PAGE
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 = EXISTING CONTOUR
 = EASEMENT
 = PROPOSED CONTOUR
 = PROPOSED FIRE HYDRANT

KEYNOTES

- | | |
|----|--|
| 1 | 15' G.E.T.V. EASEMENT |
| 2 | 15' G.E.T.V. EASEMENT & B.S.L. |
| 3 | 20' B.S.L. |
| 4 | 1' VEHICULAR NON-ACCESS EASEMENT |
| 5 | 16' SANITARY SEWER EASEMENT |
| 6 | 20' WATERLINE EASEMENT |
| 7 | 25' SANITARY SEWER EASEMENT |
| 8 | VAR. WIDTH LIFT STATION EASEMENT
DOC. #155357, O.P.R. |
| 9 | 30' LIFT STATION ACCESS & SANITARY
SEWER EASEMENT
DOC. #155357, O.P.R. |
| 10 | 5' WATERLINE EASEMENT |
| 11 | 20' G.E.T.V. EASEMENT |
| 12 | 15' G.E.T.V. EASEMENT |
| 13 | 50' LIFT STATION & EMERGENCY
ACCESS EASEMENT |
| 14 | 30' EMERGENCY
ACCESS EASEMENT |
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AND ACCESS EASEMENT
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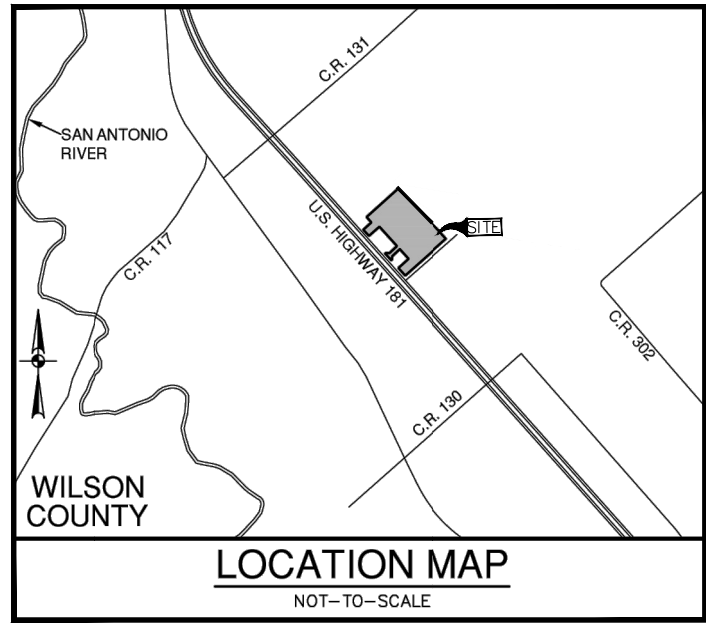


SCALE: 1"=100'



SEE SHEET 1 FOR LINE & CURVE TABLES

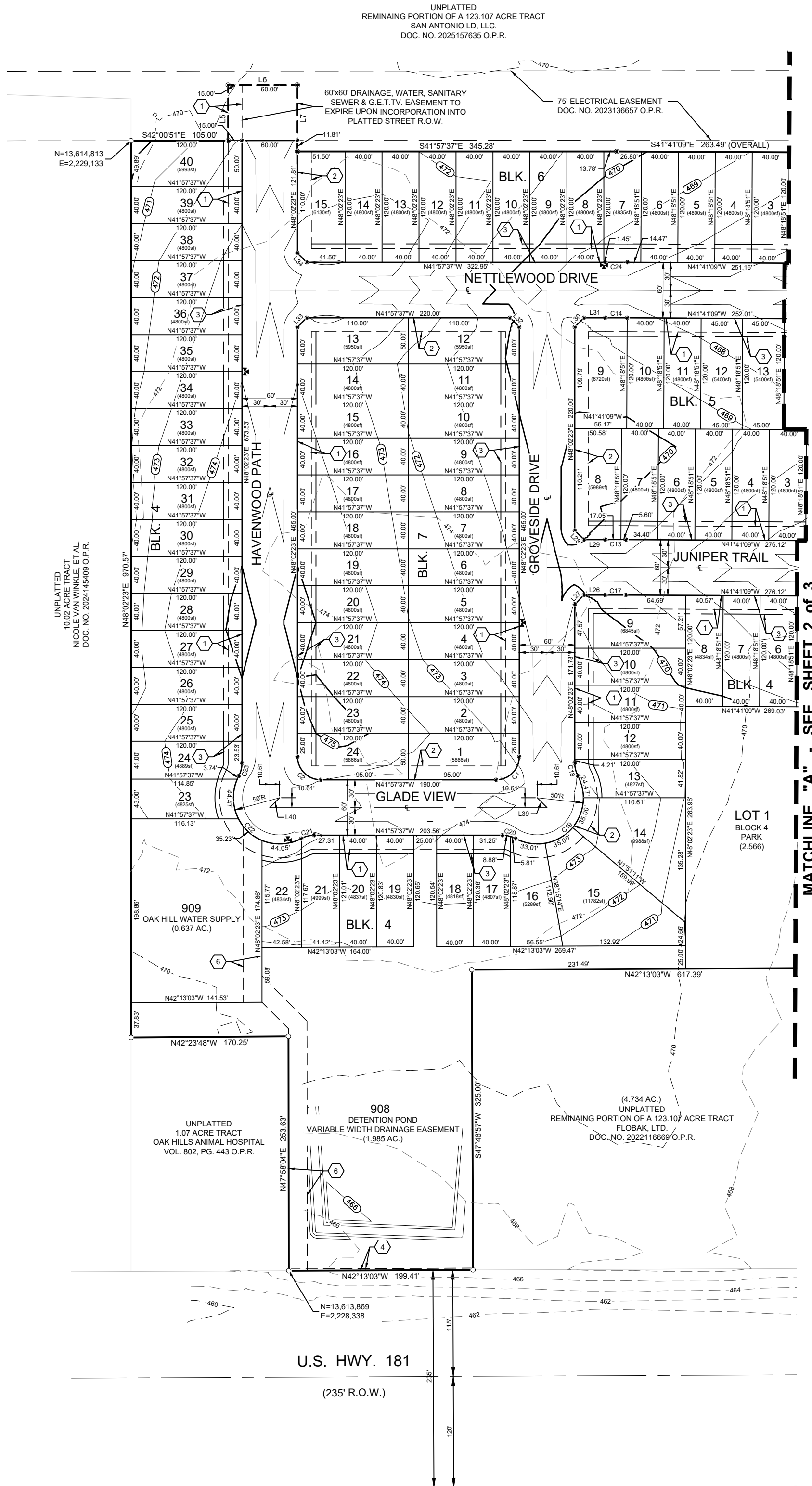
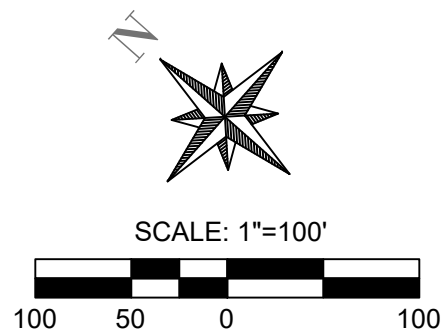
DECEMBER 4, 2025 SHEET 2 OF 3



LEGEND

- PLAT BOUNDARY
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PRELIMINARY
SUBDIVISION PLAT
ESTABLISHING

ARBOR FIELDS UNIT 1

BEING 37.50 ACRES OF LAND OUT OF A 123.107 ACRE TRACT, SITUATED IN THE HEIRS OF SIMON AROCHA AND JUAN DE AROCHA SURVEY, ABSTRACT NO. 1, DESCRIBED IN GENERAL WARRANTY DEED WITH SAN ANTONIO LD, LLC. RECORDED IN DOCUMENT NO. 2025-157635 OF THE OFFICIAL PUBLIC RECORDS OF WILSON COUNTY, TEXAS.

UP
ENGINEERING
a Bowman company

111 TOWER DR, SUITE 325
SAN ANTONIO, TX 78232 TEL 210-774-5504
WWW.UPENGINEERING.COM "BPPE F-14309"
TBPLS F-101206-00

NOTES

- THE PROPERTY SHOWN HEREON LIES WITHIN THE CITY OF FLORESVILLE.
- ALL PROPOSED STREETS WILL BE DEDICATED TO THE PUBLIC AND MAINTAINED BY THE CITY OF FLORESVILLE.
- THE PROPERTY SHOWN HEREON WILL HAVE UTILITIES PROVIDED BY THE FOLLOWING:
WATER - OAK HILLS WSC
SEWER - CITY OF FLORESVILLE
ELECTRICITY - FLORESVILLE ELECTRIC LIGHT & POWER SYSTEM (FELPS)
TV, INTERNET, PHONE - FRONTIER COMMUNICATIONS/SPECTRUM
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CALBE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED ABOVE.
- BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
- MONUMENTATION AS SHOWN. IT IS THE PRACTICE OF UP ENGINEERING A BOWMAN COMPANY TO MONUMENT ALL CORNERS (IF PRACTICAL) IN THE SUBDIVISION WITH 1/2" REBAR AND UP PLASTIC CAPS, UPON COMPLETION OF CONSTRUCTION.
- THERE IS HEREBY DEDICATED A 15 FOOT WIDE ELECTRIC DISTRIBUTION LINE EASEMENT ALONG ALL FRONT AND A FIVE (5) FOOT ALONG THE SIDE LOT PROPERTY LINES.
- FELPS WILL POSSESS A 5-FOOT WIDE EASEMENT TO THE SERVICE METER LOCATION EASEMENT TO FOLLOW SERVICE LINE AND WILL VARY DEPENDING ON LOCATION OF BUILDING OR STRUCTURE.
- FELPS SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
- TYPICAL FOR METER LOCATIONS (SEE DETAIL "TYPICAL INTERIOR EASEMENT ALONG PROPERTY LINE" THIS SHEET).
- ANY EASEMENT DESIGNATED AS A FELPS 20' X 20' UTILITY EASEMENT SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
- NO BUILDINGS, OR OTHER OBSTRUCTIONS, OR WELLS OF ANY KIND SHALL BE PLACED ON ANY ELECTRIC EASEMENTS, NOR SHALL ANY TREES BE PLANTED THEREON.
- ALL UTILITY EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER ONSTRUCTIONS), READING OF METERS, AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
- THIS SUBDIVISION IS ENTIRELY WITHIN THE FLORESVILLE INDEPENDENT SCHOOL DISTRICT.
- NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA FIRM PANEL 48493C0295C, EFFECTIVE DATE OF 11/26/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.
- THERE IS HEREBY DEDICATED A TEN (10) FOOT WIDE PUBLIC UTILITY EMBANKMENT BACK SLOPE EASEMENT ADJACENT TO ALL STREET RIGHT-OF-WAYS.
- NO STRUCTURE SHALL BE OCCUPIED UNTIL CONNECTED TO CITY SEWER SYSTEM AND APPROVED BY THE CITY OF FLORESVILLE.
- NO STUCTURE SHALL BE CONSTRUCTED WITHOUT AN APPROVED PERMIT BY THE CITY OF FLORESVILLE.
- ACCESS TO 4.734 ACRE AND 2.385 ACRE UNPLATTED REMAINDER TRACTS AT HWY. 181 SHALL HAVE ACCESS TO THORNBERRY LANE.

MATCHLINE "A" - SEE SHEET 2 of 3