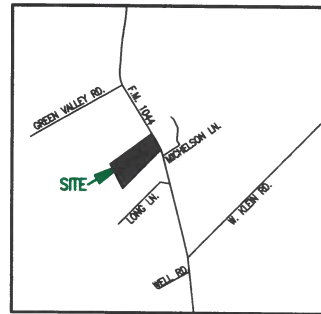


100' 0 100'

ALTANSPS LAND TITLE SURVEY

3140 F.M. 1044



VICINITY MAP
NOT TO SCALE

CALLED 118.59 AC., PER 2338/451

R. XIMENES SURVEY

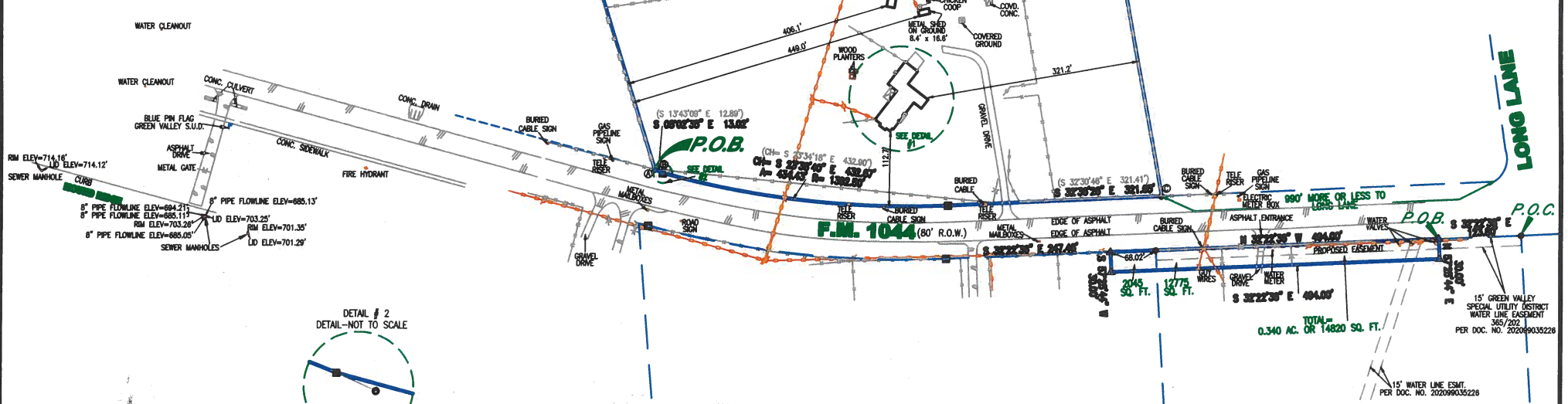
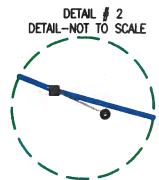
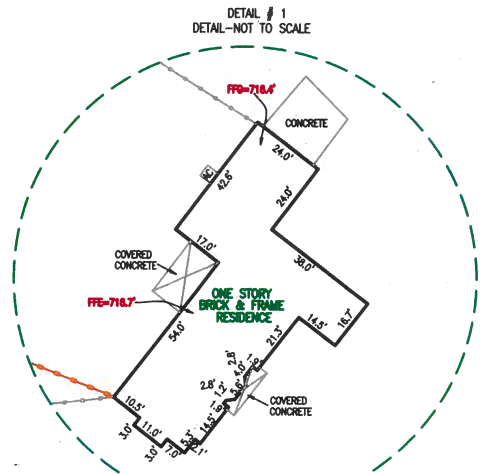
44.01 AC.
1917066.28 SQ.FT.
BRIAN P. BRADY & NWB SBR LLC
& 1044 LAND PARTNERS, LLC, A TEXAS
LIMITED LIABILITY
(44.02 AC.)
DOC. NO. 202299014953

DOROTHY RHEINLAENDER
CALLED 108.185 AC.
412/128

CALLED 118.59 AC., PER 2338/451

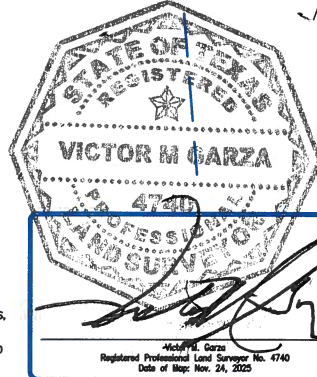
CONTROL MONUMENTS

Point No.	Northing(Y)	Eastng(X)	Description
A	13783341.0370	2244399.5280	RF
B	13783353.9310	2244397.7060	CONC. MONUMENT FOUND
C	13784021.2310	2244650.9190	RF
D	13782453.6350	2243560.5280	1/2 CRF B&G
E	13783244.0890	2243135.1310	1/2 CRF B&G
F	13781757.8440	2242882.8830	5/8 CRF B&G
G	13781730.5800	2242890.1670	METAL FENCE POST FOUND
H	13782623.3770	2242377.2430	RF



SAMUEL T. CAMPOS
REMAINDER OF 23.930 AC.
1098/922

ROBERT J. MAGGIANI AND
SANDRA C. MAGGIANI
CALLED OF 5.681 AC.
1240/858



- LEGEND**
- 1/2" REBAR FOUND
 - 1/2" CAPPED REBAR SET
 - 1/2" IRON PIPE FOUND
 - 800 H&L FOUND
 - 800 H&L SET
 - CONCRETE MONUMENT FOUND
 - "X" FOUND IN CONCRETE
 - METAL FENCE POST
 - 5/8" BRASS DISC FOUND
 - WIRE FENCE
 - WOOD FENCE
 - METAL FENCE
 - BUILDING LINE
 - P.U.L.E. PUBLIC UTILITY EASEMENT
 - DRAINAGE EASEMENT
 - () PER DOC. # 202299014953
 - C.M. CONTROL MONUMENT
 - R.O.W. RIGHT OF WAY
 - P.O.B. PLACE OF BEGINNING
 - O.N. OVERHEAD UTILITY LINE
 - P.W. POWER POLE
 - A.C. AIR CONDITIONER
 - F.F.E. FINISHED FLOOR ELEVATION
 - G.F.F. GARAGE FINISHED FLOOR ELEVATION
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING

LEGAL DESCRIPTION:
BEING A 44.01 ACRES OF LAND 1,916,066 SQUARE FEET +/- OF LAND OUT OF THE R. XIMENES SURVEY IN GUADALUPE COUNTY, TEXAS, AND BEING THAT PROPERTY CONVEYED TO BRIAN P. BRADY AND 1044 LAND PARTNERS, LLC A TEXAS LIMITED LIABILITY COMPANY IN A WARRANTY DEED RECORDED IN VOLUME 2299014953 OF THE ORIGINAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS IN EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

Flood Notification:
According to the FEMA Flood Map Service Center Website, this tract is within Zone "X" on Flood Insurance Rate Map number 4802000200 and is not represented as being in a special flood hazard area.
This notification does not imply that the property and/or structures thereon will be free of flood damage and shall not create liability on the part of the undersigned or B&G Surveying, LLC. For further information contact your Flood Plain Administrator.

ADDED AMR: 11/24/25
REV UPDATE: 03/21/25

PROJECT ADDRESS: 3140 F.M. 1044 CITY: NEW BRAUNFELS COUNTY: GUADALUPE STATE OF TEXAS

REFERENCE: DRP MULTISTATE D, LLC, A DELAWARE LIMITED LIABILITY COMPANY G.F. #1-230882

B&G SURVEYING, LLC
FIRM REGISTRATION NO. 100383-02
WWW.BANDGSURVEYING.COM
1404 West North Loop Blvd
Austin, Texas 78756 - Office 512-458-8969

JOB # B070925-GNB
DATE: 08/21/25
SCALE: 1" = 100'

PLANNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 07/11/25
DATE: 07/11/25
DATE: 07/12/25

TO: PREPARED TITLE, LLC, ITS SUCCESSORS AND/OR ASSIGNS, WHO PROVIDE TITLE INSURANCE COVERAGE, ITS SUCCESSORS AND ASSIGNS, ORAMON HOMES, LLC AND DRP MULTISTATE D, LLC, ITS SUCCESSORS AND ASSIGNS.
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2007 ANTI-SURVEYOR REGULATION FOR ALTA/ALPS LAND TITLE SURVEYS, COMPLYING WITH AND ADOPTED BY A&S AND NPS, AND RELATED THERE TO.
THE FIELD WORK WAS COMPLETED ON 02/20/25.
BEARING BEARS TRUE MERE PLANE COORDINATE SYSTEM AND SOUTH CENTRAL ZONE.