



DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE AND LOCAL REGULATIONS.
3. ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
5. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
6. ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
7. CONTRACTOR SHALL CONFIRM WITH THE OWNER OR HIS DESIGNATE WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
8. FOR TREES SHOWN TO REMAIN, THE CONTRACTOR SHALL INSTALL TREE PROTECTION IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT REMOVE OR DAMAGE ANY TREES WITHOUT A PERMIT TO DO SO.
9. NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
10. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
11. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBS, OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
12. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION CONTRACTOR.
13. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE, ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSABLE REGULATIONS. ON SITE CONCRETE PROPOSED FOR DEMOLITION MAY BE REUSED ON SITE AS FILL AS LONG AS IT IS CRUSHED, FREE OF REBAR, WIRE MESH AND DEBRIS AND CAN MEET GEOTECHNICAL SPECIFICATIONS.
15. CONTRACTOR SHALL REMOVE ALL EXISTING IRRIGATION PIPING ON SITE, UNLESS SHOWN OTHERWISE. CUT AND CAP LATERALS AT PROJECT LIMITS TO ALLOW PROPER FUNCTION OF ZONES INTENDED TO REMAIN OR EXTEND OFF-SITE.
16. CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. EXISTING WATER AND SANITARY SEWER SERVICES SHALL REMAIN OPERATIONAL UNTIL NEW SERVICE IS COMPLETE. CUT AND CAP ANY ABANDONED SANITARY SEWER AND WATER SERVICES AT THE EXISTING MAIN. NO ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
17. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
18. ALL WASTE MATERIAL REMAINING AFTER OWNER SALVAGE IS COMPLETE AND RESULTING FROM DEMOLITION OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS OWN EXPENSE. OWNER WILL PROVIDE LIST OF ITEMS TO BE SALVAGED.
19. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
20. THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJOINING PROPERTIES.

DIMENSIONAL CONTROL NOTES

1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MY ARISE CONCERNING THE INTENT, PLACEMENT OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL PRESERVE ALL CONTROL POINTS, PROPERTY PINS, BENCH MARKS, HUBS OR OTHER KEY CONTROL POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE IN THE EVENT THEY ARE REMOVED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE TRAVERSE CONTROL POINTS FOR HORIZONTAL CONTROL POINTS. IF TRAVERSE CONTROL POINTS ARE NOT PROVIDED, THE CONTRACTOR MAY USE PROPERTY CORNER PINS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
6. COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, AND 83(96) DISPLAYED IN SURFACE VALUES USING A SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY. (THE SURFACE ADJUSTMENT FACTOR FOR BEXAR COUNTY IS 1.00017. OTHER COUNTIES WILL HAVE A DIFFERENT FACTOR. CHECK WITH THE SURVEYOR TO OBTAIN THE CORRECT SURFACE ADJUSTMENT FACTOR FOR PROJECTS LOCATED OUTSIDE OF BEXAR COUNTY.)
7. BENCHMARK ELEVATIONS ARE BASED ON NAVD 88, GEOID 03.
8. ALL DIMENSIONAL CONTROL POINTS OR DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL AT THE BOTTOM TOE OF SLOPE, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
9. CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.
10. REFER TO THE ARCHITECTURAL, STRUCTURAL, AND LANDSCAPE PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
11. THE CONTRACTOR SHALL RELY ON THE INFORMATION PROVIDED ON THE SIGNED AND SEALED CONSTRUCTION DRAWINGS. SUBJECT TO A SIGNED RELEASE AGREEMENT, CAD FILES MAY BE OBTAINED FROM THE ENGINEER FOR THE CONVENIENCE AND USE OF THE CONTRACTOR.

PAVEMENT & STRIPING NOTES

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK WHERE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITY AND STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
4. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
7. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
8. ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.
9. THE CONTRACTOR SHALL SAW CUT EXISTING PAVING, CURB, AND SIDEWALKS TO PROVIDE A SMOOTH TRANSITION. NO JAGGED OR IRREGULAR EDGES WILL BE ALLOWED.
10. ALL CURBS SHALL BE 6" UNLESS OTHERWISE NOTED.
11. ALL STANDARD PERPENDICULAR PARKING STALLS ARE 9' X 18' AND COMPACT PARKING STALLS ARE 8' X 16' UNLESS DIMENSIONED OTHERWISE.

GRADING NOTES

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK WHERE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY AND TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
3. ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
4. ALL ELEVATIONS AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVING, BASE, GRASS, TOPSOIL, AND MULCH MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
6. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
8. THE CONTRACTOR SHALL REMOVE TOP SOIL, GRASS, ROOTS, DEBRIS, ETC. AND DISPOSE OFF SITE THOSE MATERIALS NOT SUITABLE FOR EMBANKMENT AND TOPSOIL. CLEAN STRIPPINGS AND TOPSOIL MAY BE STOCKPILED ON SITE FOR REUSE IN A LOCATION SPECIFIED BY THE OWNER.
9. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STABILIZATION. ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND TPDES/SWPPP REQUIREMENTS. REFERENCE THE LANDSCAPE ARCHITECT'S PLAN, IF APPLICABLE.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY, STREETS, OR DRAINAGE WAYS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS WHICH WASHES OFFSITE OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE SWPPP PLANS & TPDES BOOK).
11. THE CONTRACTOR SHALL OBTAIN GRADES SHOWN HEREON WITHIN +/- ONE-TENTH (0.10) FOOT.
12. IN PROPOSED PAVING AREAS, IT IS INTENDED THAT THE MINIMUM GRADE IS 1%. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 1.0% UNLESS OTHERWISE SHOWN.
13. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
15. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN WORKING NEAR UTILITIES, GAS LINES, SEWER, OR EXISTING APPURTENANCES. PRIOR TO PERFORMING ANY EXCAVATION, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND ENSURE UTILITIES HAVE BEEN ADEQUATELY LOCATED AND IDENTIFIED. THE ENGINEER SHALL BE NOTIFIED IF ANY UTILITY CONFLICTS ARE DISCOVERED.
16. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
17. FOR FILL PLACEMENT ON HILL SIDES OR STEEP SLOPE AREAS, THE CONTRACTOR SHALL REFERENCE THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT FOR SPECIAL INSTRUCTIONS REGARDING BENCHING.
18. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

DRAINAGE NOTES

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK SHALL COMPLY WITH THE PROJECT GEOTECH REPORT, THE PROJECT SPECIFICATIONS, AND THE CURRENT CITY, COUNTY OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING UTILITIES AND SHOULD THEY BE DAMAGED DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR WILL BE REQUIRED TO REPAIR OR REPLACE THE DAMAGED FACILITIES AT CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION.
5. WATER JETTING THE BACKFILL OF STORM DRAIN TRENCHES WILL NOT BE PERMITTED.
6. CONTRACTOR SHALL ENSURE PROPER SIZE OF JUNCTION BOXES NEEDED WHERE INDICATED ON PLAN. CONTRACTOR SHALL CONNECT STORM DRAIN PIPE TO JUNCTION BOXES PER MANUFACTURES SPECIFICATIONS.
7. ALL STORM DRAIN TO JUNCTION BOX CONNECTIONS SHALL HAVE CONCRETE COLLARS.
8. ALL GRATE INLETS MUST BE H20 RATED GRATES.
9. TOPS OF MANHOLES, JUNCTION BOXES AND GRATES SHALL BE SET FLUSH TO FINISHED SURFACE BASED UPON GRADING PLAN.
10. ALL STORM DRAIN JUNCTION BOX RINGS AND COVERS SHALL BE BOLTED. ALL GRATE INLETS SHALL HAVE GRATES RACK WELDED ON ALL SIDES.
11. CONTRACTOR SHALL GROUT ALL STORM DRAIN JUNCTION BOXES AND DROP STRUCTURES TO DRAIN.
12. CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS TO ENGINEER PRIOR TO STORM DRAINAGE CONSTRUCTION. GENERALLY SDR-26 PVC STORM DRAIN PIPE IS ACCEPTABLE UNDER 18", RCP OR HDPE PIPE IS ACCEPTABLE FROM 18" TO 30", AND RCP IS ACCEPTABLE AT 36" AND ABOVE. OTHER MATERIALS MAY BE CONSIDERED.

SITE UTILITY NOTES

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
2. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD WHETHER SHOWN ON THIS PLAN OR NOT PRIOR TO INSTALLATION OF ANY NEW LINES.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL CALL FOR THE LOCAL JURISDICTIONAL INSPECTIONS AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL JURISDICTION WITH REGARDS TO MATERIALS AND INSTALLATION OF THE UTILITIES AND STORM DRAINS.
6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
7. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING AS APPLICABLE:
  - A. CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATION FOR CONSTRUCTION"
  - B. CURRENT "SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS"
  - C. CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION"
  - D. CURRENT TxDOT "STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND DRAINAGE"
  - E. CURRENT CITY OF SAN ANTONIO "RIGHT-OF-WAY ORDINANCE AND CRITERIA MANUAL"
8. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
9. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
10. CONTRACTOR SHALL PROTECT ALL EXISTING TREES, FENCES, PAVING, UTILITIES, AND OTHER STRUCTURES SCHEDULED TO REMAIN. ANY STRUCTURE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
11. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH ALL FINAL UTILITY AS-BUILT MEASUREMENTS, TOPS AND LENGTH OF SERVICE CONNECTIONS OF THE PROJECT.
12. ALL GARBAGE OR SPOIL MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT HIS SOLE EXPENSE.
13. GAS AND ELECTRIC ALIGNMENTS SHOWN ON THIS DRAWING ARE CONCEPTUAL. THE ACTUAL DESIGN AND LOCATIONS SHALL BE DETERMINED BY THE LOCAL SERVICE PROVIDER OR MEP ENGINEER.
14. CONTRACTOR SHALL COORDINATE ELECTRIC AND GAS LINE INSTALLATION WITH LOCAL SERVICE PROVIDER. THE SERVICE PROVIDER WILL BE RESPONSIBLE FOR INSTALLATION OF GAS LINE TO WITHIN 5' OF BUILDING.
15. REFER TO INTERIOR PLUMBING DRAWNGS FOR TIE-IN OF ALL UTILITIES.
16. SEE IRRIGATION AND ARCHITECTURAL PLANS FOR ADDITIONAL CONDUIT LOCATIONS. VERIFY ALL CONDUIT AND SLEEVE LOCATIONS PRIOR TO PLACING ANY PAVEMENT.
17. CONTRACTOR SHALL INSTALL ALL CONDUITS WITH A MINIMUM 4-FOOT SWEEP RADIUS. ALL CONDUITS SHALL HAVE A PULL STRING TO BE INSTALLED BY THE CONTRACTOR.
18. NO WORK SHALL BE ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT AN APPROVED PERMIT.
19. THE CONSTRUCTION OF UNDERGROUND PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEMS SHALL BE GOVERNED BY THE ENGINEERING CONSTRUCTION PLANS PREPARED BY THE LOCAL SERVICE PROVIDER. THIS DRAWING SHALL SERVE ONLY AS REFERENCE DOCUMENT TO COORDINATE LOCATION OF THE PROPOSED PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEM. THE LOCAL SERVICE PROVIDER'S CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS SHALL GOVERN.
20. CONTRACTOR SHALL INCLUDE IN HIS BID A 4" PVC CONDUIT FOR TELEPHONE AND A 2" PVC CONDUIT FOR CABLE TV TO BE IN THE SAME TRENCH AS UNDERGROUND ELECTRIC LINES. CONTRACTOR SHALL VERIFY WITH APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION ON NUMBER AND SIZE OF CONDUITS NEEDED FOR UTILITY SERVICE TO ALL BUILDINGS.
21. BEDDING FOR ALL UTILITIES SHALL BE PER THE PROJECT SPECIFICATIONS. NO WATER JETTING OF BACKFILL MATERIAL WILL BE ALLOWED.

CAUTION UNDERGROUND UTILITIES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. THE CONTRACTOR MUST CONTACT 1-800-DIG-TESS AND CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION AND/OR START OF CONSTRUCTION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

CAUTION OVERHEAD UTILITIES

CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING UNDER "HIGH VOLTAGE TRANSMISSION LINES". A WORKING HEIGHT OF 30' FROM GROUND ELEVATION WILL BE OBSERVED WHEN WORKING UNDER THE HIGH VOLTAGE LINE. COORDINATE ALL WORK WITH THE LOCAL UTILITY PROVIDER.

TRENCH EXCAVATION SAFETY PROTECTION

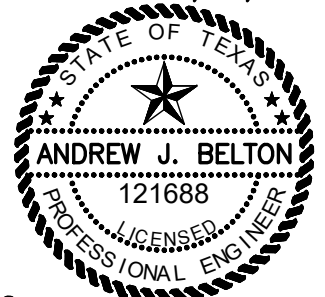

CONTRACTOR AND/ OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/ GEOTECHNICAL/ SAFETY/EQUIPMENT CONSULTANT, F ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND /OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

DATE

NO.

REVISION

5/12/2025

CBC PARKING EXPANSION

SAN ANTONIO, TEXAS

PAPE-DAWSON

ENGINEERS

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028600

GENERAL CONSTRUCTION NOTES

PLAT NO. 130256

JOB NO. 4910-75

DATE MAY 2025

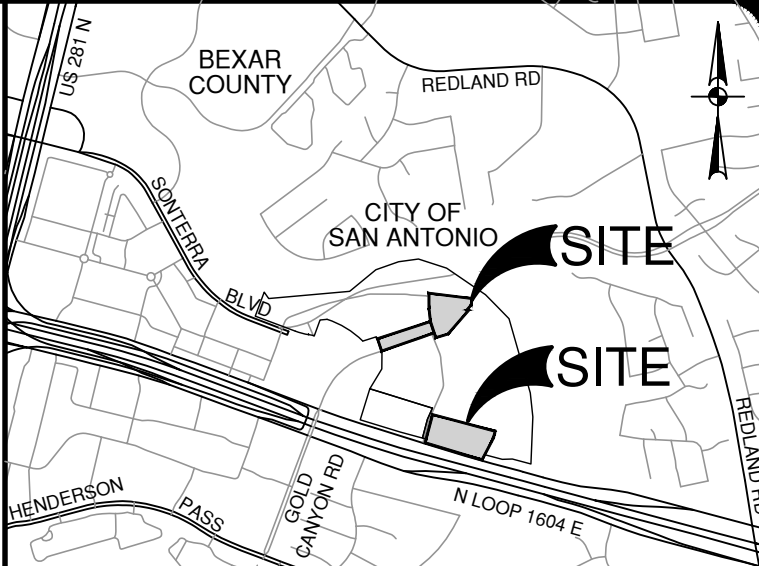
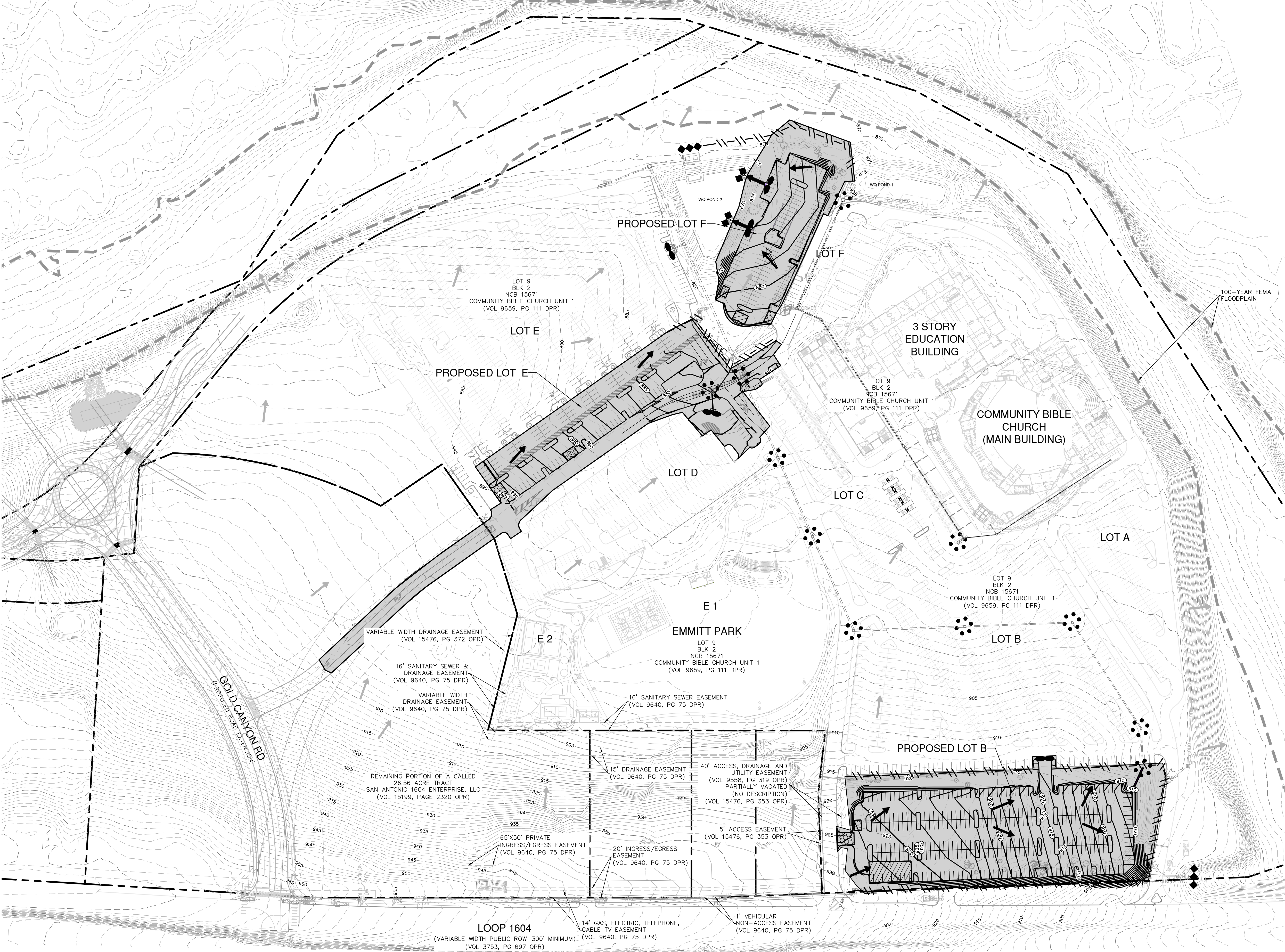
DESIGNER KT/TR

CHECKED WK/DS DRAWN JS/TR

SHEET C0.10



TEMPORARY BMP MODIFICATIONS		
DATE	SIGNATURE	DESCRIPTION



**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

**ADDRESS:**  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232

- LEGEND**
- PROPERTY LINE
  - EXISTING GRADE
  - PROPOSED GRADE
  - 100 YR FLOODPLAIN
  - SILT FENCE
  - FLOW ARROW (EXISTING)
  - FLOW ARROW (PROPOSED)
  - ROCK BERM
  - GRATE INLET PROTECTION
  - GRAVEL FILTER BAGS
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
  - CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA (FIELD LOCATE)
  - CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)
  - LIMITS OF DISTURBED AREA

- NOTE**  
SEE SHEET C0.10 FOR CONSTRUCTION NOTES.
- GENERAL NOTES**
- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
  - CONSTRUCTION ENTRANCE/EXIT, LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD.
  - STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
  - RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
  - ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
  - FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN.
  - STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY.
  - AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
  - BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADE AREAS.
  - BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS.
  - UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES.
  - WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS. OTHERWISE CONTRACTOR SHALL PLACE SILT FENCING IN LIEU OF VEGETATED FILTER STRIP.
  - SHADED AREA DENOTES LIMITS OF DISTURBED AREAS. OTHER AREAS WITHIN THE PROJECT LIMITS, WITH THE EXCEPTION OF A CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD, ARE NOT A PART OF THIS TPDES STORM WATER POLLUTION PREVENTION PLAN (SWP3) AND WILL NOT BE DISTURBED BY CIVIL CONSTRUCTION ACTIVITIES. HOUSE CONSTRUCTION ACTIVITIES WILL REQUIRE A SEPARATE STORM WATER POLLUTION PREVENTION PLAN.
  - PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE PLACEMENT OF TEMPORARY BEST MANAGEMENT PRACTICES WITHIN TxDOT RIGHT-OF-WAY WITH TxDOT.
  - OPS ENERGY MAY FUNCTION AS A SECONDARY OPERATOR ON THIS PROJECT AND MAY BE INSTALLING ELECTRIC UTILITIES FOR ON-SITE CONSTRUCTION AND OFF-SITE FEED TO THE PROJECT.

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE POLLUTION ABATEMENT SIZING AND TREATMENT REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S EDWARDS AQUIFER TECHNICAL GUIDANCE MANUAL.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

**EXHIBIT 2**

DATE

NO. REVISION

5/12/2025

STATE OF TEXAS  
ANDREW J. BELTON  
121688  
LICENSED PROFESSIONAL ENGINEER

**PAPE-DAWSON ENGINEERS**  
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1008800

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS

**STORM WATER POLLUTION PREVENTION PLAN**

PLAT NO. **130256**

JOB NO. **4910-75**

DATE **MAY 2025**

DRAWN **KT/TR**

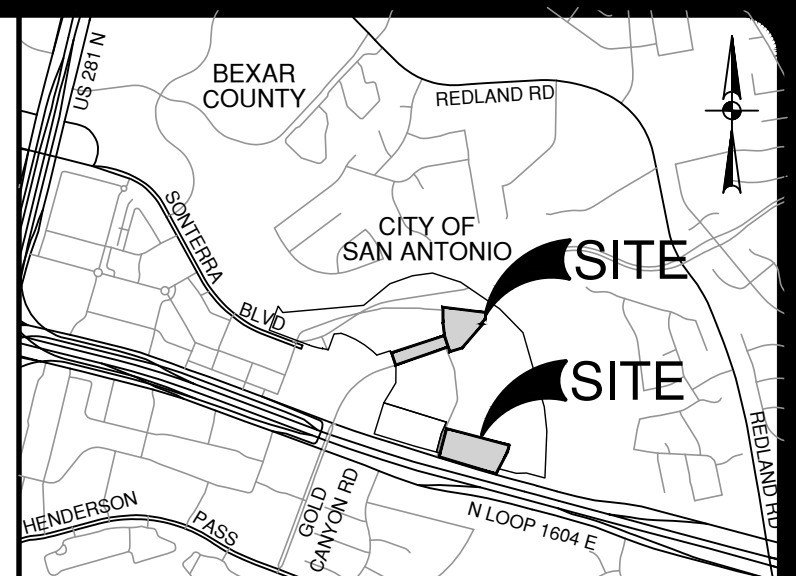
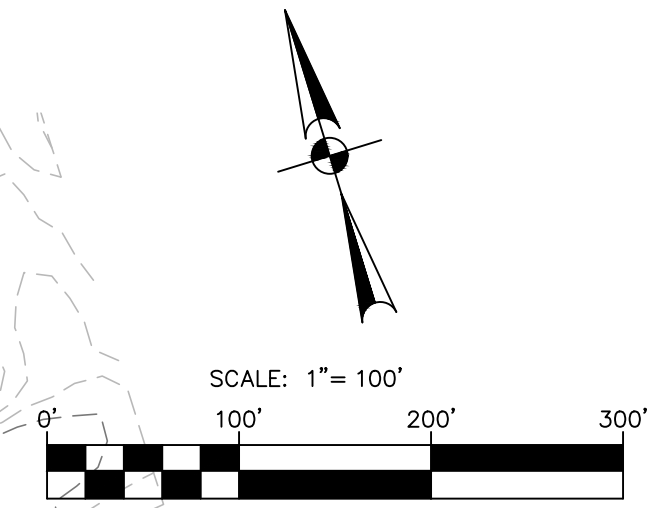
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SHEET **C0.20**









NOT-TO-SCALE

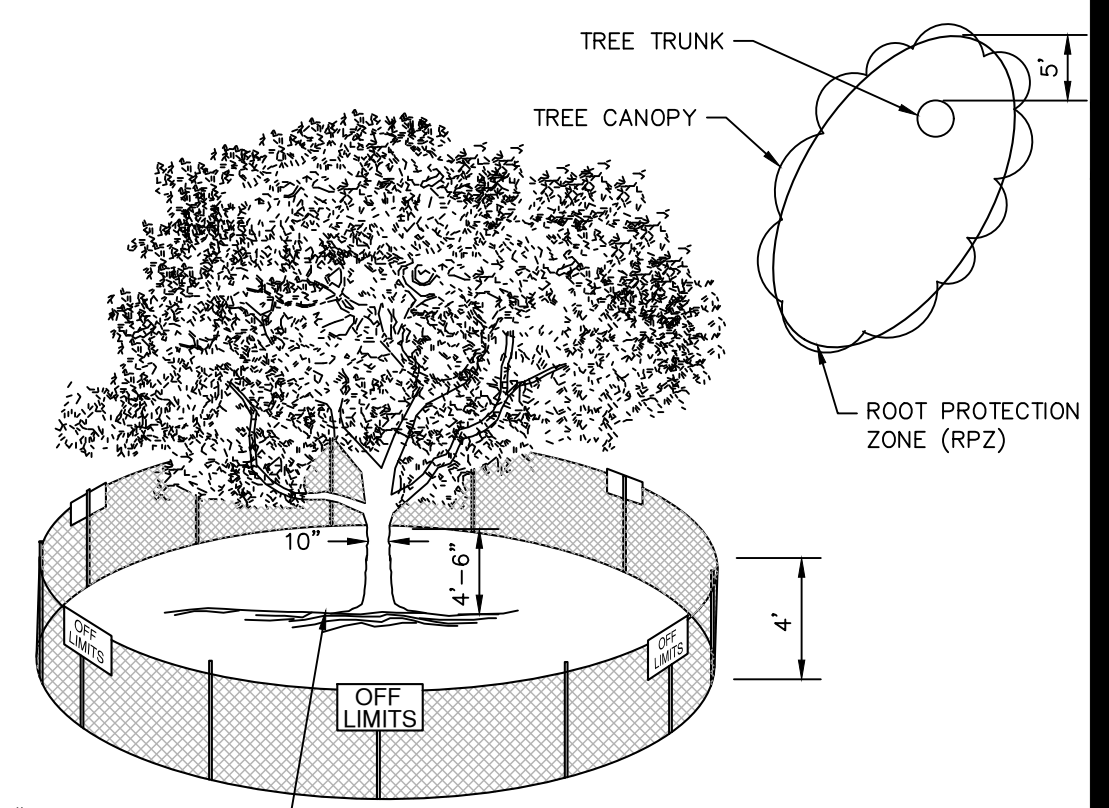
**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

**ADDRESS:**  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232

The diagram illustrates a manhole system with a curb inlet and a junction box. At the top, a series of horizontal lines represent the ground surface and the manhole structure. A dashed line indicates a depth of 880 units. Below this, a red line is labeled 'OHE' (Overhead Equipment) and a blue line is labeled 'W' (Water). A green line represents the flow path, starting from the left, passing through a green triangle labeled 'SS' (Sewer Stop), and then through a green circle labeled 'S' (Sewer). The flow path is labeled 'FLOW' with an arrow pointing to the green triangle. The green line then enters a purple square labeled 'CURB INLET'. From the curb inlet, the flow path continues through a purple square labeled 'JUNCTION BOX' and then through a purple circle labeled 'WITH GRATE'. The flow path is labeled 'JUNCTION BOX' with an arrow pointing to the purple square. The flow path then continues through the purple circle and ends at a purple square labeled 'WITH GRATE'.

PROPERTY LINE  
LIMITS OF CONSTRUCTION  
100 YR FLOODPLAIN  
EXISTING CONTOURS  
EXISTING OVERHEAD ELECTRIC  
EXISTING WATER LINE  
EXISTING FIRE HYDRANT  
EXISTING SANITARY SEWER  
EXISTING STORM DRAINAGE  
TREE PROTECTION FENCING  
(REF. LANDSCAPE PLANS FOR DETAILS)

SEE SHEET C0.10 FOR CONSTRUCTION NOTES.



6" MULCH INSIDE RPZ -  
WHEN THERE IS NO EXISTING  
UNDERSTORY OR TURF

NOTE:  
1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY,  
WILL CONFORM TO THE DRIP LINE AND IS LIMITED TO  
PROJECT BOUNDARY.

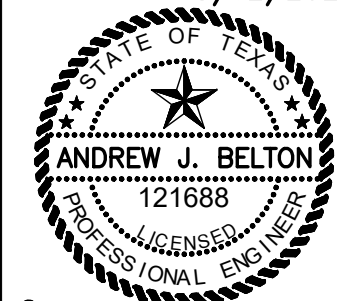
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECS.

NOT TO SCALE


1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO ITEM NO. 802, TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE LEVEL 2 PROTECTION AS PER ITEM NO. 802. TREES TO RECEIVE LEVEL 1 PROTECTION AS PER ITEM NO. 802 ARE SHOWN ON TREE PROTECTION TABLE ON THIS SHEET.
2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.
4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK MILD.
7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

[illegible]

5/12/2025



AB



**PAPE-DAWSON  
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

# CBC PARKING EXPANSION

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## SAN ANTONIO, TEXAS

## EXISTING CONDITION AND DEMOLITION PLAN

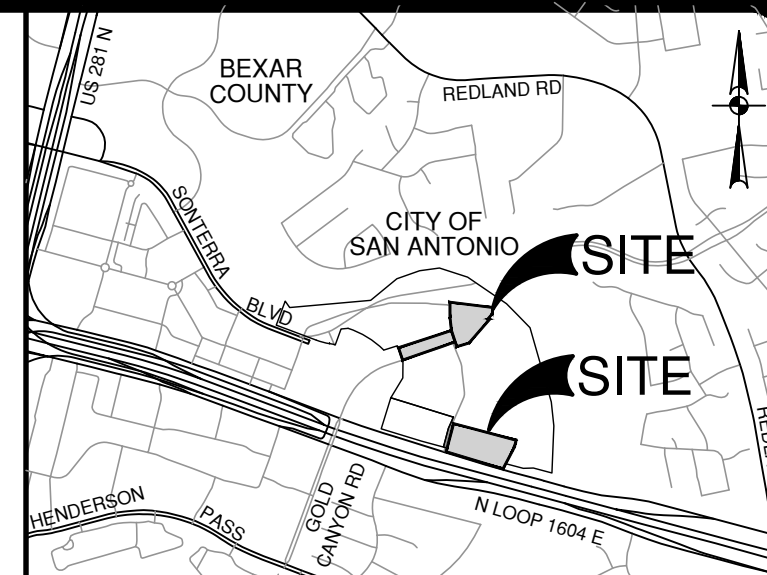
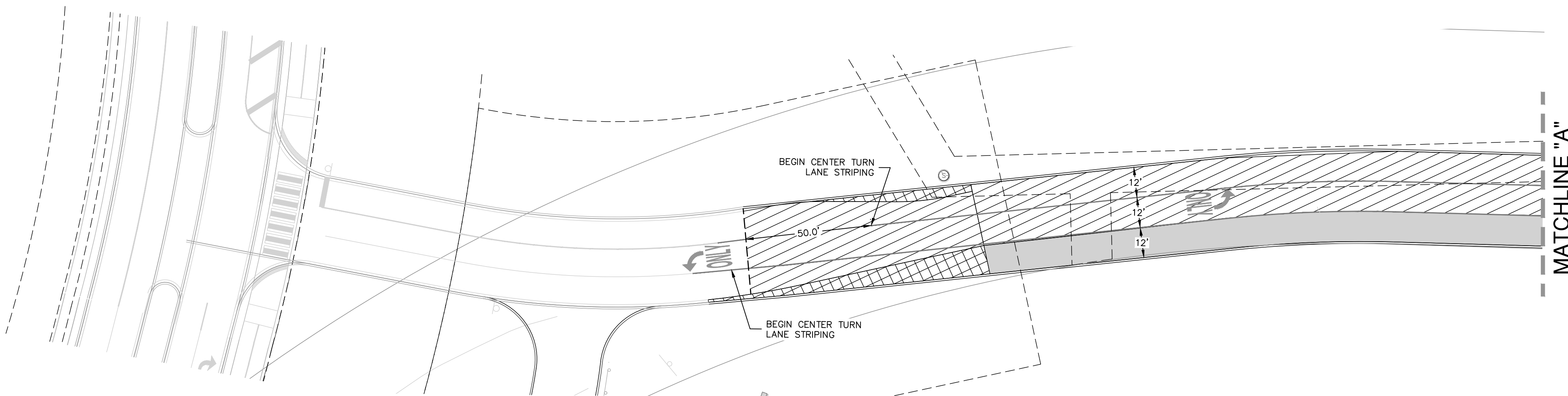
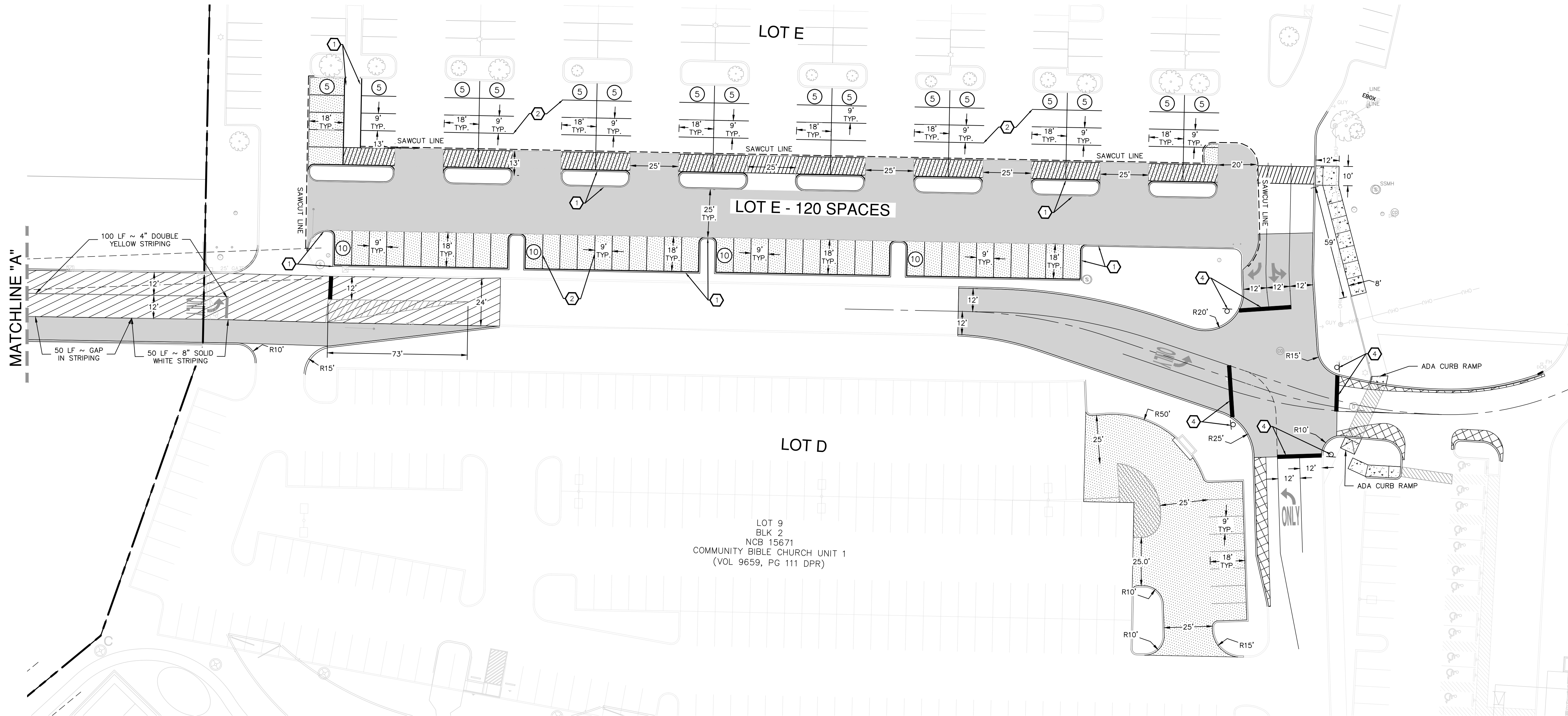
PLAT NO. **130256**  
 JOB NO. **4910-75**  
 DATE **MAY 2025**  
 DESIGNER **KT/TR**  
 CHECKED **WK/DS** DRAWN **JS/TR**  
 SHEET **C0.30**

BID ISSUE



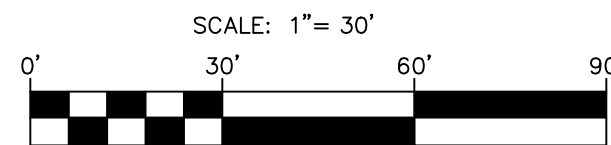






LEGAL DESCRIPTION:  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



#### LEGEND

- PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- HEADER CURB
- SAWTOOTH CURB
- SAWCUT LINE
- CONCRETE SIDEWALK  
(REF. C1.10 FOR DTL)
- HEAVY DUTY ASPHALT  
(REF. C1.10 FOR DTL)
- PAVEMENT WIDENING  
(8\"/>

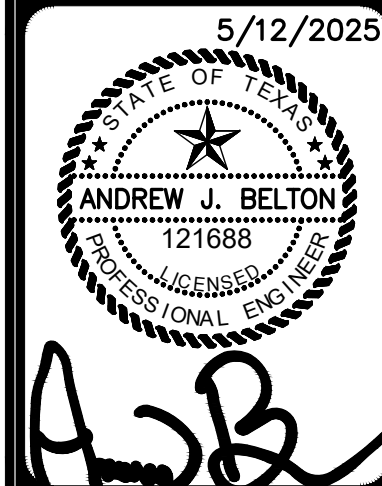
#### NOTES:

- SEE SHEET C0.10 FOR CONSTRUCTION NOTES.
- SEE C1.00 FOR SITE CONTROL INFORMATION.

#### KEYED NOTES

- 6\"/>

NO.	REVISION	DATE



**PAPE-DAWSON  
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1008800

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS

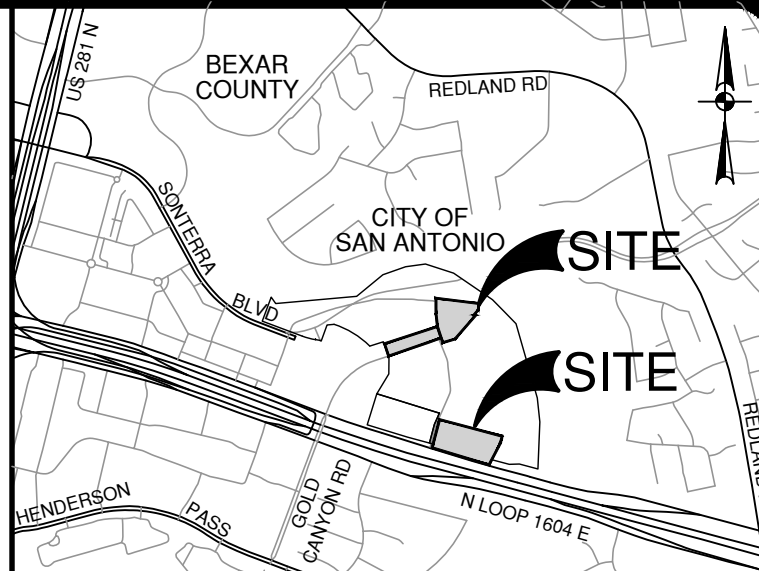
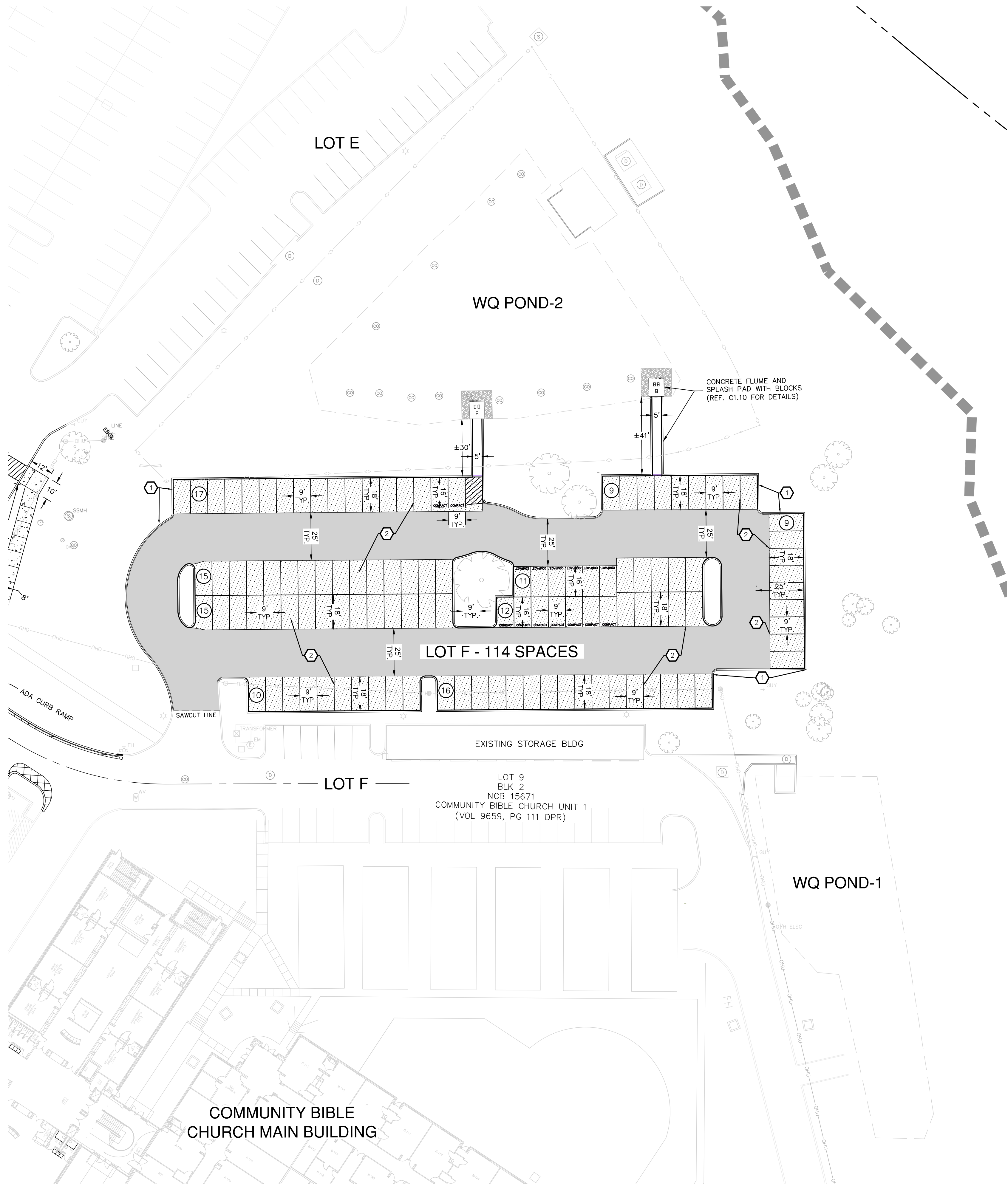
PAVING AND DIMENSIONAL CONTROL PLAN - LOT E

PLAT NO. **130256**  
JOB NO. **4910-75**  
DATE **MAY 2025**  
DESIGNER **KT/TR**  
CHECKED **WK/DS** DRAWN **JS/TR**  
SHEET **C1.01**



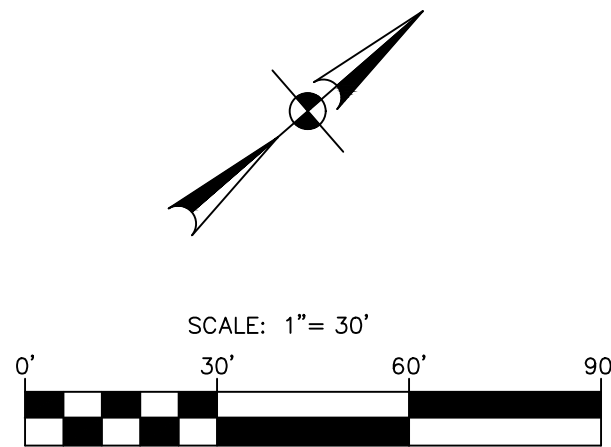
Date: May 12, 2025, 3:46pm User ID: trovitsky  
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LEGAL DESCRIPTION:  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



LEGEND

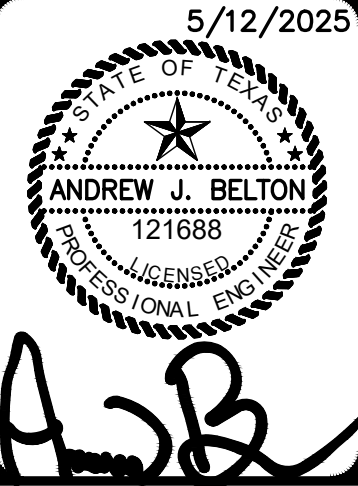
- PROPERTY LINE
- EXISTING CURB
- PROPOSED CURB
- HEADER CURB
- SAWTOOTH CURB
- SAWCUT LINE
- CONCRETE SIDEWALK  
(REF. C1.10 FOR DTL)
- HEAVY DUTY ASPHALT  
(REF. C1.10 FOR DTL)
- PAVEMENT WIDENING  
(6" TY B & 3" TY C)
- 2" MILL & OVERLAY
- LIGHT DUTY ASPHALT  
(REF. C1.10 FOR DTL)
- PARKING SPACE COUNT

NOTES:  
1. SEE SHEET C0.10 FOR CONSTRUCTION NOTES.  
2. SEE C1.00 FOR SITE CONTROL INFORMATION.

KEYED NOTES

- 1. 6" CONCRETE CURB (TYP.)  
(REF. C1.10 FOR DTL)
- 2. PARKING STRIPE  
(REF. C1.10 FOR DTL)
- 3. 2' CURB TRANSITION  
(REF. C1.10 FOR DTL)
- 4. STOP BAR AND STOP SIGN  
(REF. C1.10 FOR DTL)

NO.	REVISION	DATE



**PAPE-DAWSON**  
**ENGINEERS**

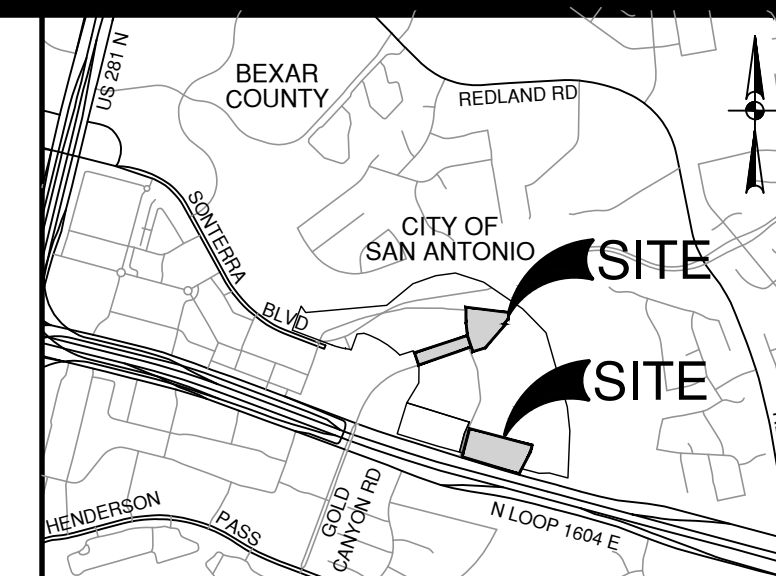
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028600

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS

**PAVING AND DIMENSIONAL CONTROL PLAN - LOT F**

PLAT NO.	130256
JOB NO.	4910-75
DATE	MAY 2025
DESIGNER	KT/TR
CHECKED	WK/DS
DRAWN	JS/TR
SHEET	C1.02

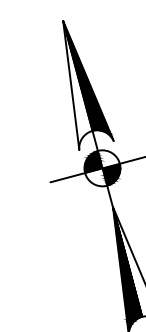




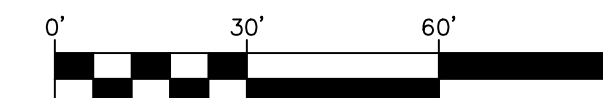
LOCATION MAP

**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH  
UNIT 1

**ADDRESS:**  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



SCALE: 1" = 30'







## LEGEND

	PROPERTY LINE
	EXISTING CURB
	PROPOSED CURB
	HEADER CURB
	SAWTOOTH CURB
	SAWCUT LINE
	CONCRETE SIDEWALK (REF. C110 FOR DTL)
	HEAVY DUTY ASPHALT (REF. C110 FOR DTL)
	PAVEMENT WIDENING (8" T Y B & 3" T Y C)
	2" MILL & OVERLAY
	LIGHT DUTY ASPHALT (REF. C110 FOR DTL)
<b>NOTES</b>	PARKING SPACE COUNT

## NOTES: 1

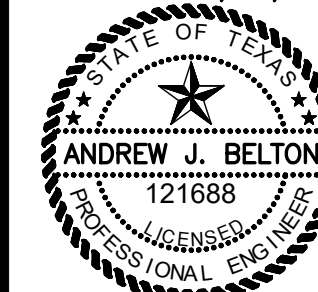
1. SEE SHEET C0.10 FOR CONSTRUCTION NOTES.  
2. SEE C1.00 FOR SITE CONTROL INFORMATION.

## KEYED NOTES

- |   |  |
|---|--|
|  | 6" CONCRETE CURB (TYP.)<br>(REF. C.1.10 FOR DTL) |
|  | PARKING STRIPE<br>(REF. C.1.10 FOR DTLS)         |
|  | 2' CURB TRANSITION<br>(REF. C.1.10 FOR DTLS)     |
|  | STOP BAR AND STOP SIGN<br>(REF. C.1.10 FOR DTLS) |

[illegible]

5/12/2025



AB



**PAPE-DAWSON  
ENGINEERS**

1000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

# CBC PARKING EXPANSION

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## SAN ANTONIO, TEXAS

PAVING AND DIMENSIONAL CONTROL PLAN - LOT B

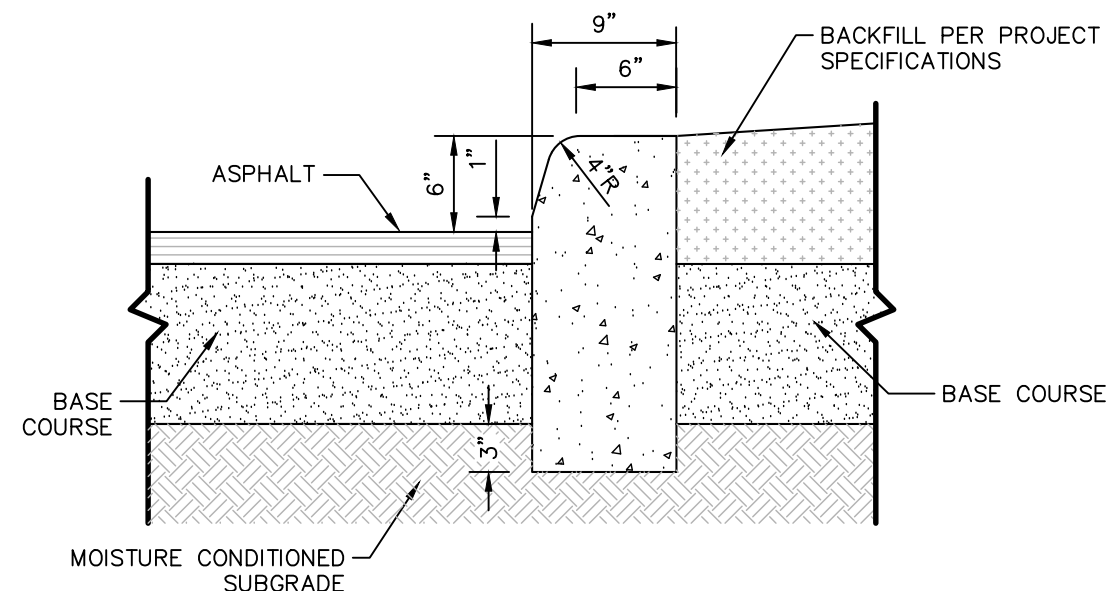
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JOB NO. 4910-75  
DATE MAY 2025  
DESIGNER KT/TR  
CHECKED WK/DS DRAWN JS/TJ  
SHEET C1.03

BID ISSUE

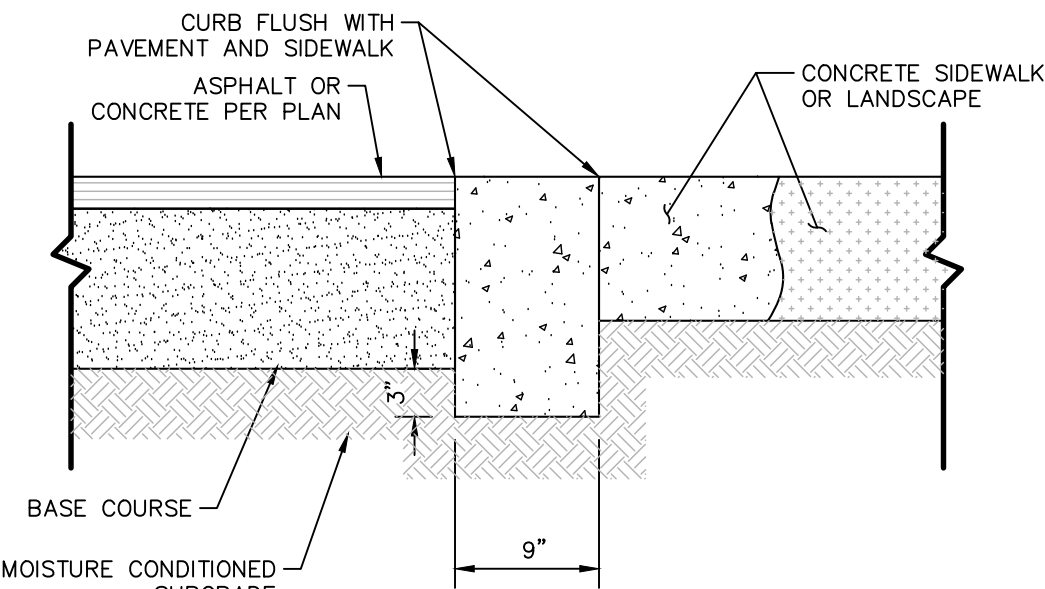


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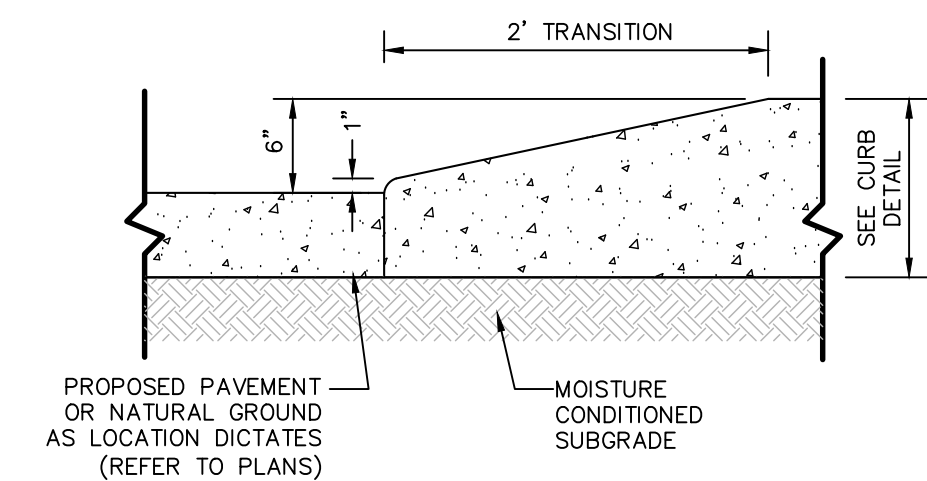
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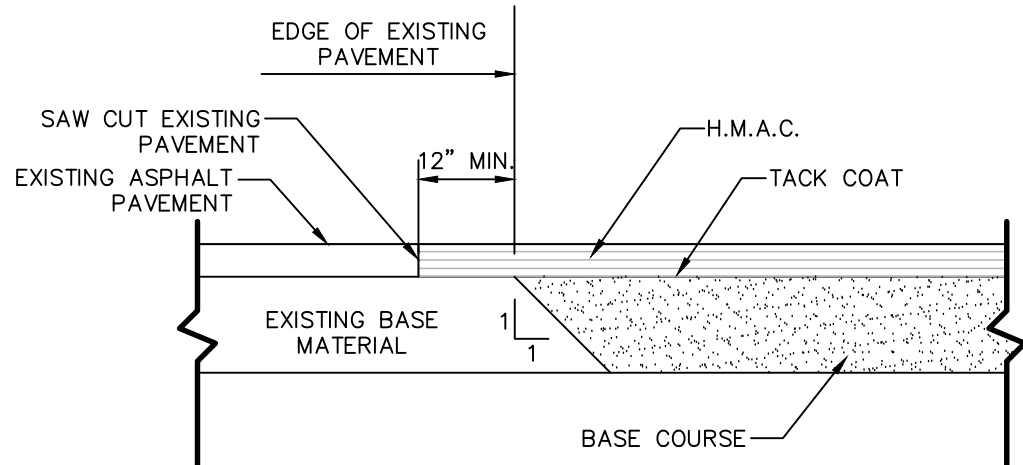
6" CONCRETE CURB  
EXTENDED THROUGH BASE  
NOT-TO-SCALE



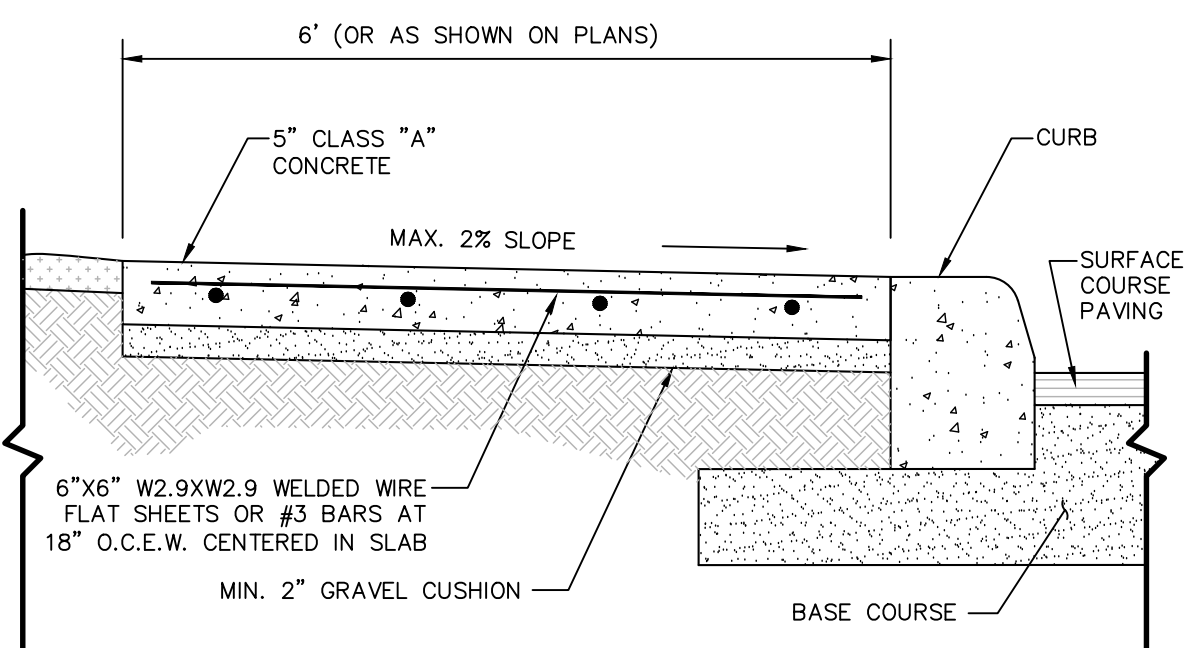
HEADER CURB DETAIL  
NOT-TO-SCALE



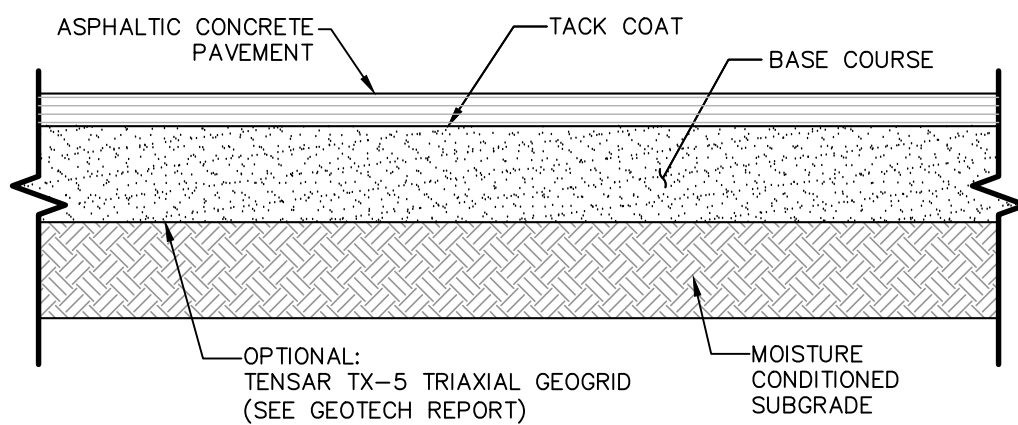
CURB TRANSITION DETAIL  
NOT-TO-SCALE



ASPHALT/ASPHALT JUNCTURE DETAIL  
NOT-TO-SCALE



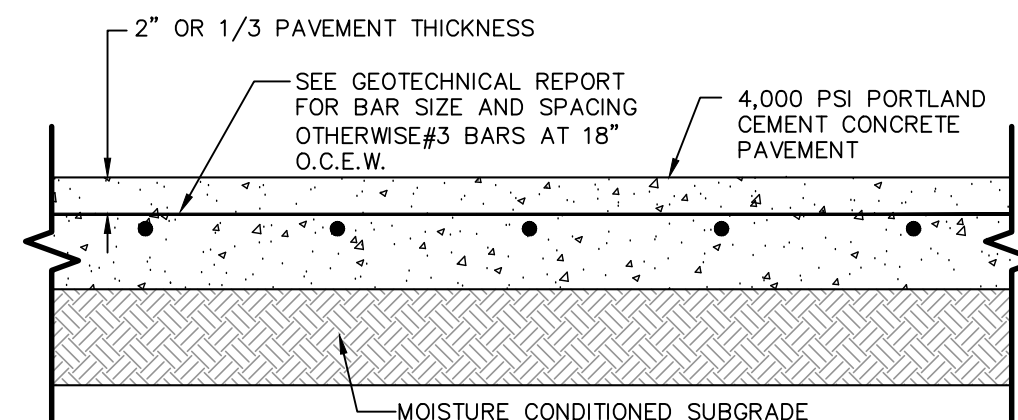
SIDEWALK DETAIL  
NOT-TO-SCALE



PAVEMENT MATERIALS	LIGHT DUTY ASPHALT (IN.)	HEAVY DUTY ASPHALT (IN.)
ASPHALTIC CONCRETE SURFACE COURSE	2	2
CRUSHED LIMESTONE BASE COURSE	8	12
MOISTURE CONDITIONED SUBGRADE	6	6

### FLEXIBLE PAVEMENT SECTIONS

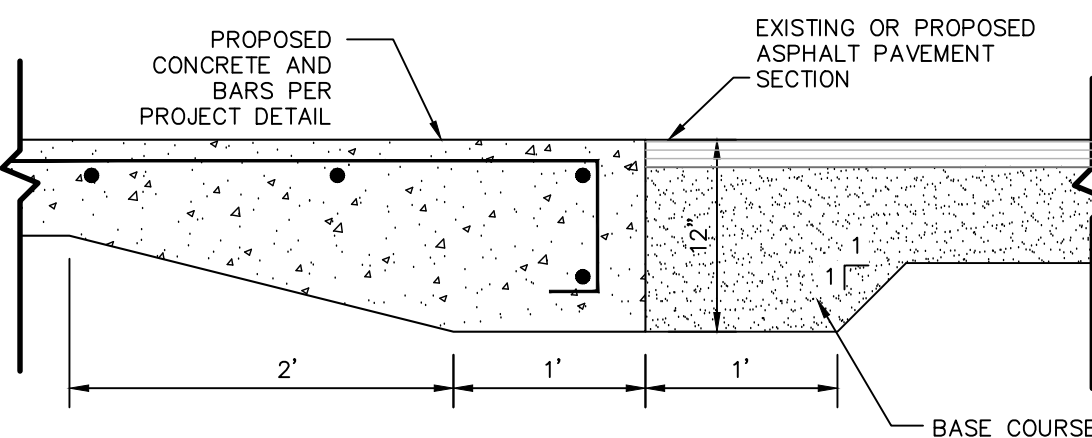
REFERENCE GEOTECHNICAL ENGINEERING REPORT PREPARED BY **ROCK ENGINEERING & TESTING LABORATORY, LLC**, FILE NO. **6223733**, DATED **JANUARY 9, 2024** FOR PAVEMENT MATERIALS AND CONSTRUCTION REQUIREMENTS. CONTRACTOR SHALL MEET OR EXCEED ALL PAVING RECOMMENDATIONS.



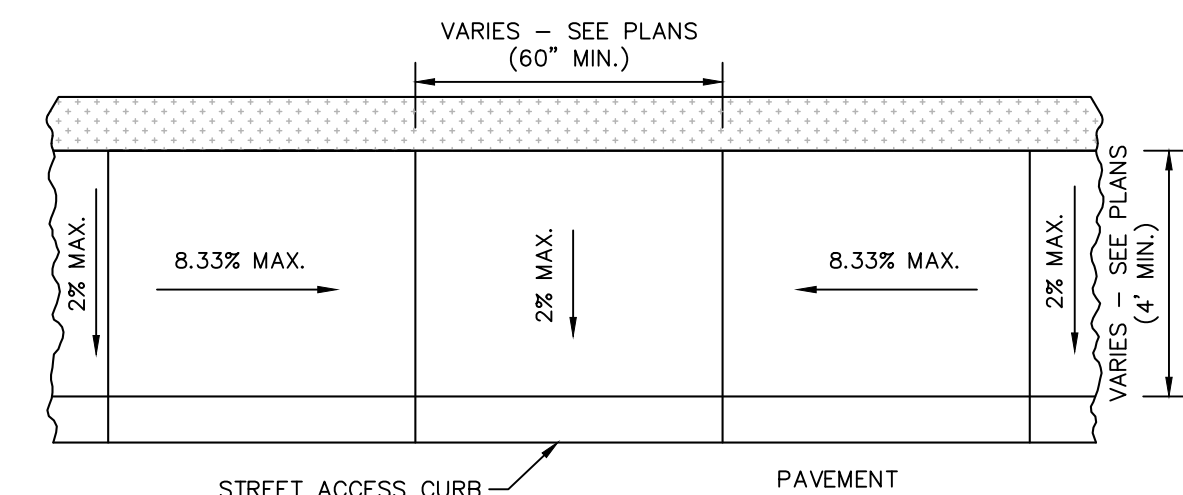
PAVEMENT MATERIALS	LIGHT DUTY CONCRETE (IN.)	HEAVY DUTY CONCRETE (IN.)
PORTLAND CEMENT CONCRETE (IN.)	5.5	6.5
MOISTURE CONDITIONED SUBGRADE	6	6

### CONCRETE PAVEMENT SECTION

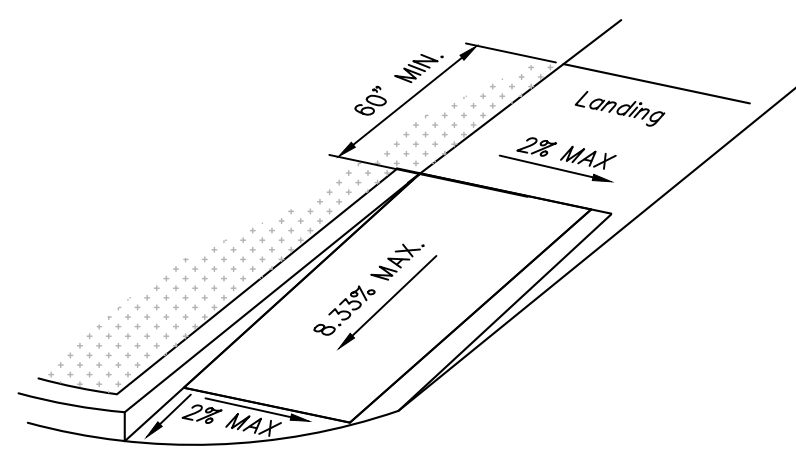
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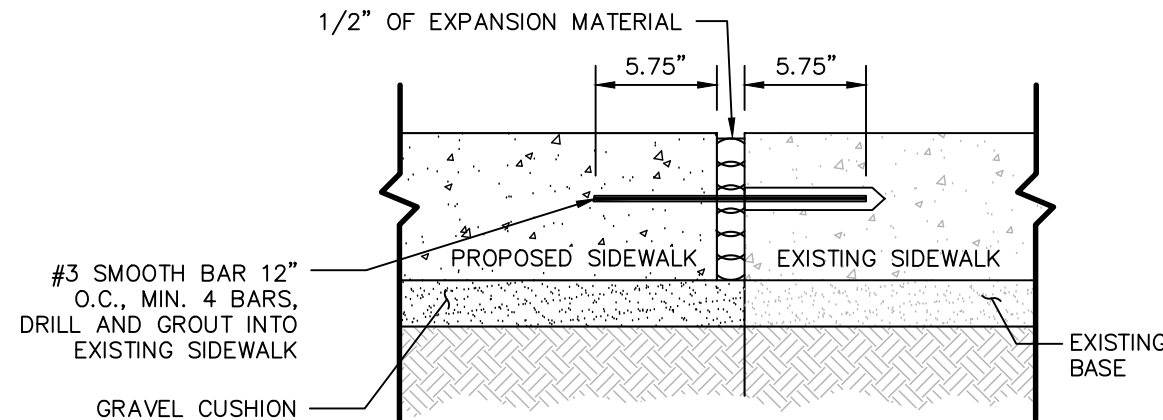
CONCRETE/ASPHALT JUNCTURE DETAIL  
NOT-TO-SCALE



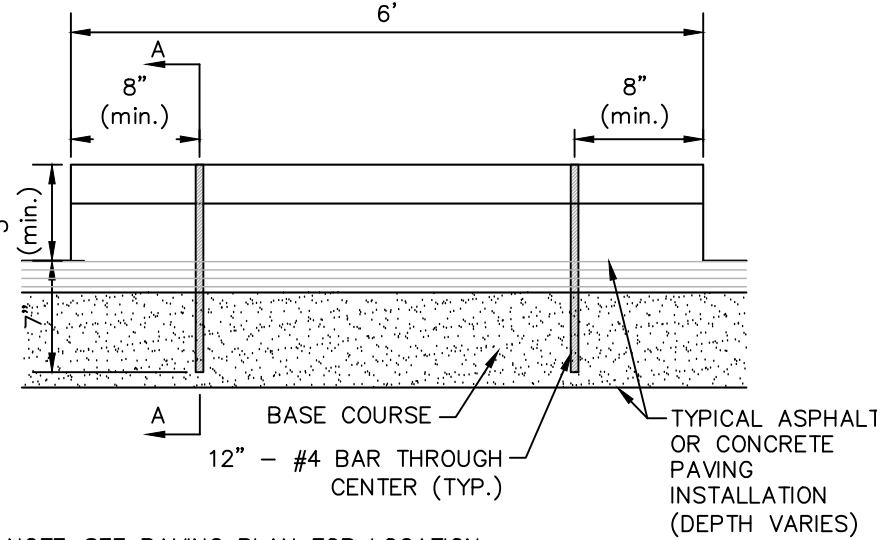
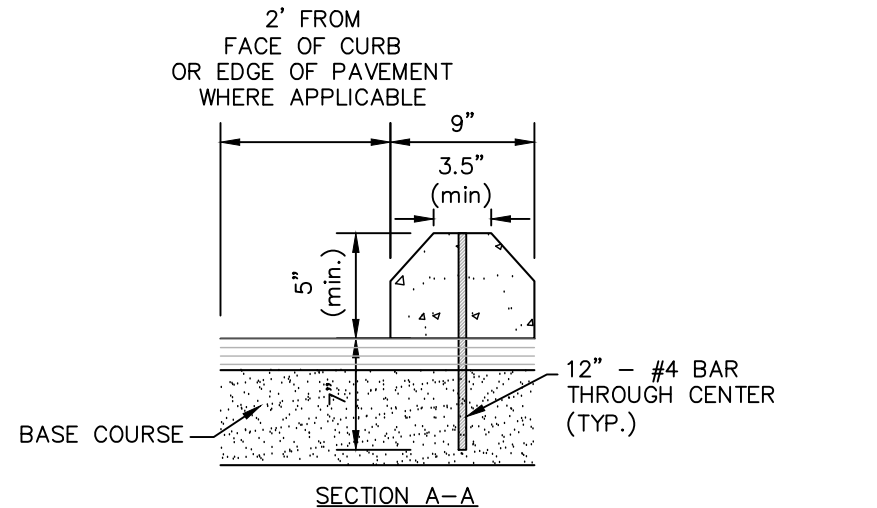
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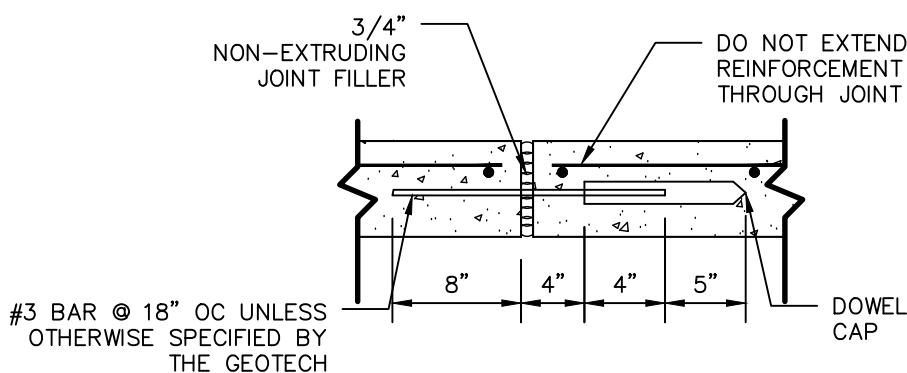
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NOT-TO-SCALE



SIDEWALK JUNCTURE DETAIL  
NOT-TO-SCALE

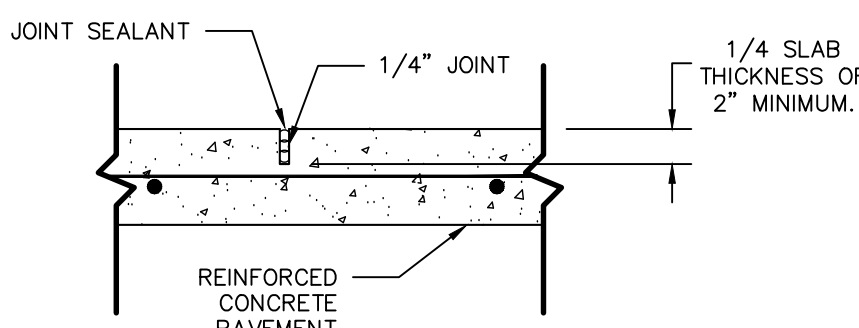


WHEEL STOP DETAIL  
NOT-TO-SCALE



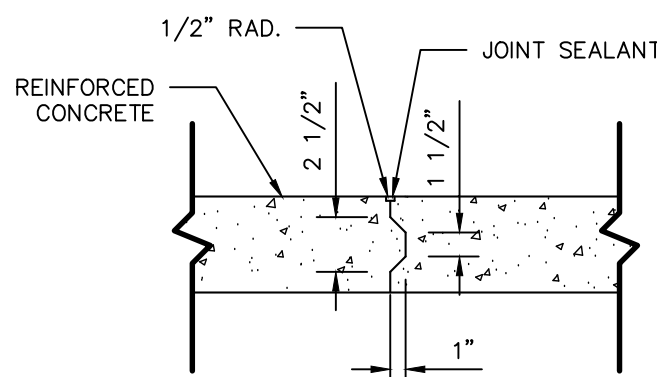
NOTE: IN THIS LOCAL, DRYING SHRINKAGE OF CONCRETE TYPICALLY SIGNIFICANTLY EXCEEDS ANTICIPATED EXPANSION DUE TO THERMAL EFFECTS. AS A RESULT, THE NEED FOR EXPANSION JOINTS IS ELIMINATED PROVIDED ALL JOINTS (INCLUDING SAWCUTS) ARE SEALED. CONSTRUCTION OF AN UNNECESSARY JOINT MAY ALSO BECOME A MAINTENANCE PROBLEM. ALL JOINTS SHOULD BE SEALED. IF ALL JOINTS, INCLUDING SAWCUTS, ARE NOT SEALED THEN EXPANSION JOINTS SHOULD BE INSTALLED.

### EXPANSION JOINT



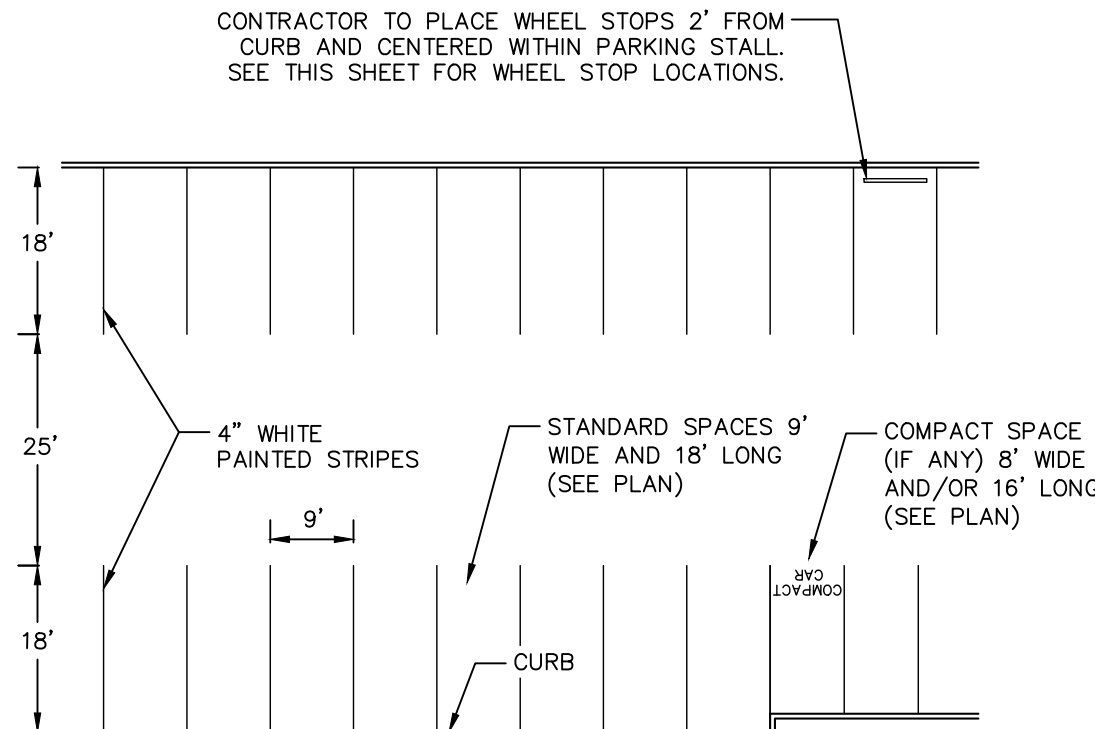
NOTE: CONTRACTION JOINT MAY BE SAWED, HAND FORMED, OR CREATED BY USE OF PREMOLDED JOINT FILLER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CONCRETE PAVEMENT MEETS ALL FINISHING REQUIREMENTS AFTER INSTALLATION OF CONTRACTION JOINT.

### CONTRACTION JOINT



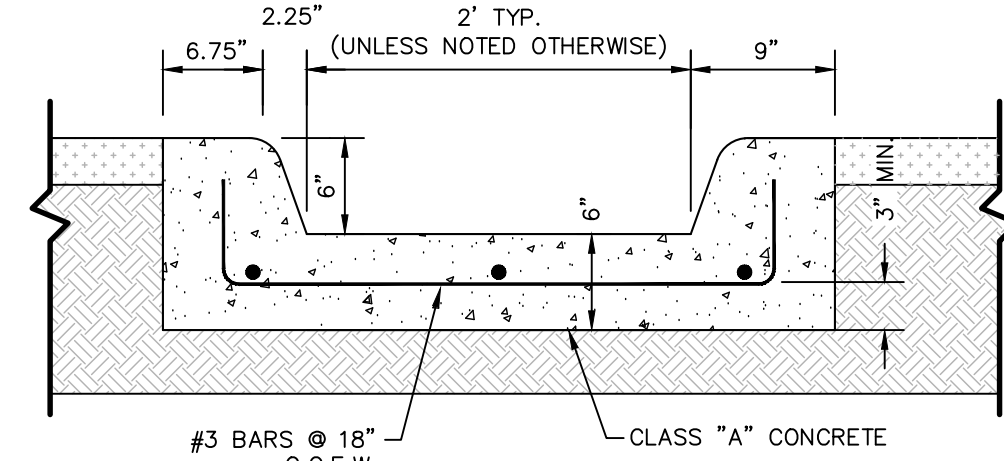
### LONGITUDINAL JOINT

CONCRETE JOINT DETAILS  
NOT-TO-SCALE

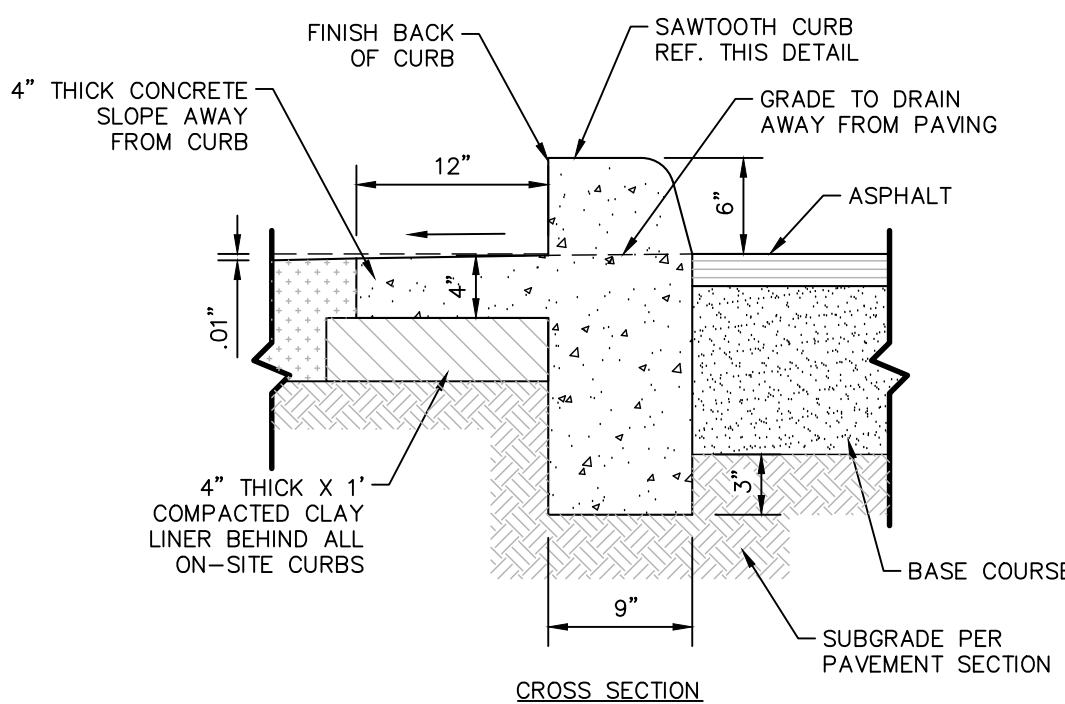
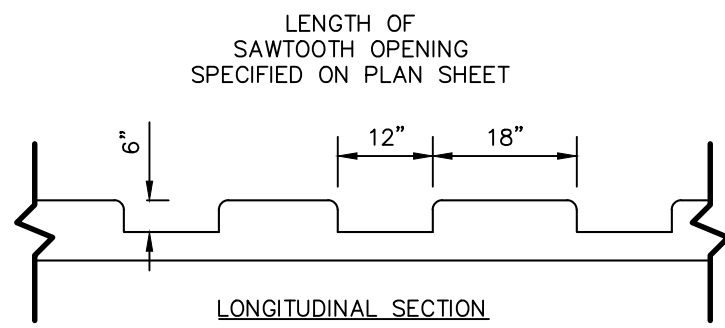


NOTE: ALL SPACES SHOWN ON PLAN STD. (9x18) UNLESS OTHERWISE NOTED

STRIPING FOR 90-DEGREE PARKING  
NOT-TO-SCALE

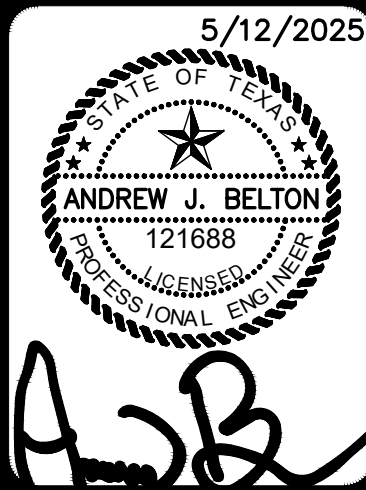


CONCRETE FLUME DETAIL  
NOT-TO-SCALE



6" SAWTOOTH CURB DETAIL  
NOT-TO-SCALE

DATE	
NO.	
REVISION	

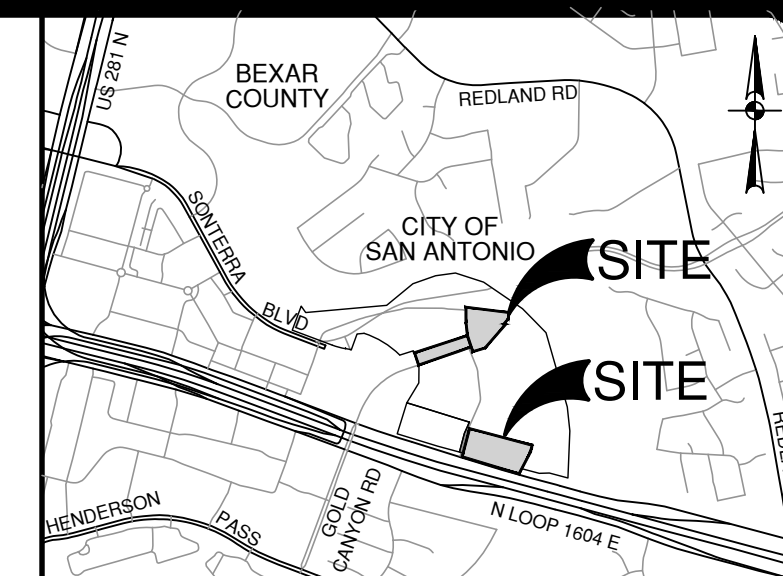


**PAPE-DAWSON**  
**ENGINEERS**  
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028600

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS  
CIVIL SITE DETAILS

PLAT NO.	130256
JOB NO.	4910-75
DATE	MAY 2025
DESIGNER	KT/TR
CHECKED	WK/DS DRAWN JS/TR
SHEET	C1.10





NOT-TO-SCALE

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



SCALE: 1" = 100'

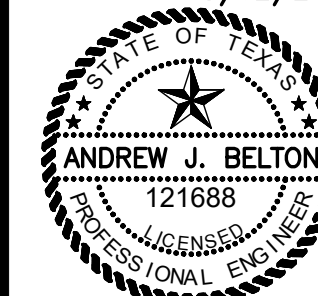
A horizontal scale bar with alternating black and white segments. It is marked with '0'', '100'', '200'', and '300'' at regular intervals.

	PROPERTY LINE
	LIMITS OF CONSTRUCTION
	100 YR FLOODPLAIN
	EXISTING CONTOURS MAJOR
	EXISTING CONTOURS MINOR
	PROPOSED CONTOURS
	GRADE BREAK
	GRATE INLET
	CURB INLET
	JUNCTION BOX
+1000	PROPOSED SPOT ELEVATION
+1000	EXISTING SPOT ELEVATION
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TG	TOP OF GRATE
TMH	TOP OF MANHOLE
FL	FLOW LINE
TW	TOP OF WALL
BW	BOTTOM OF WALL
	EXISTING TREES TO REMAIN (SEE TREE PRESERVATION PLAN & COORDINATE WITH LANDSCAPE ARCHITECT)
	FINISHED FLOOR ELEVATION
	PROPOSED FLOW ARROWS

1. SEE SHEET C0.10 FOR CONSTRUCTION NOTES.  
2. SEE C1.00 FOR SITE CONTROL INFORMATION.

[illegible]

5/12/2025



ARB



**PAPE-DAWSON  
ENGINEERS**

1000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

# CBC PARKING EXPANSION

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## SAN ANTONIO, TEXAS

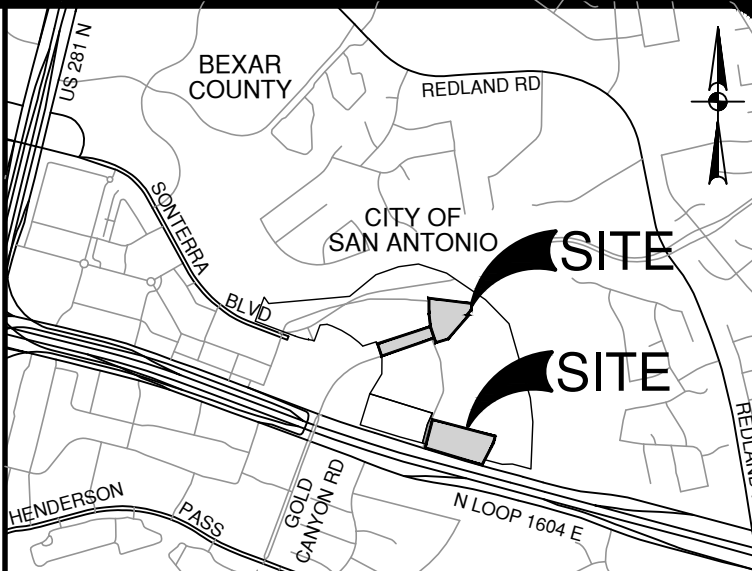
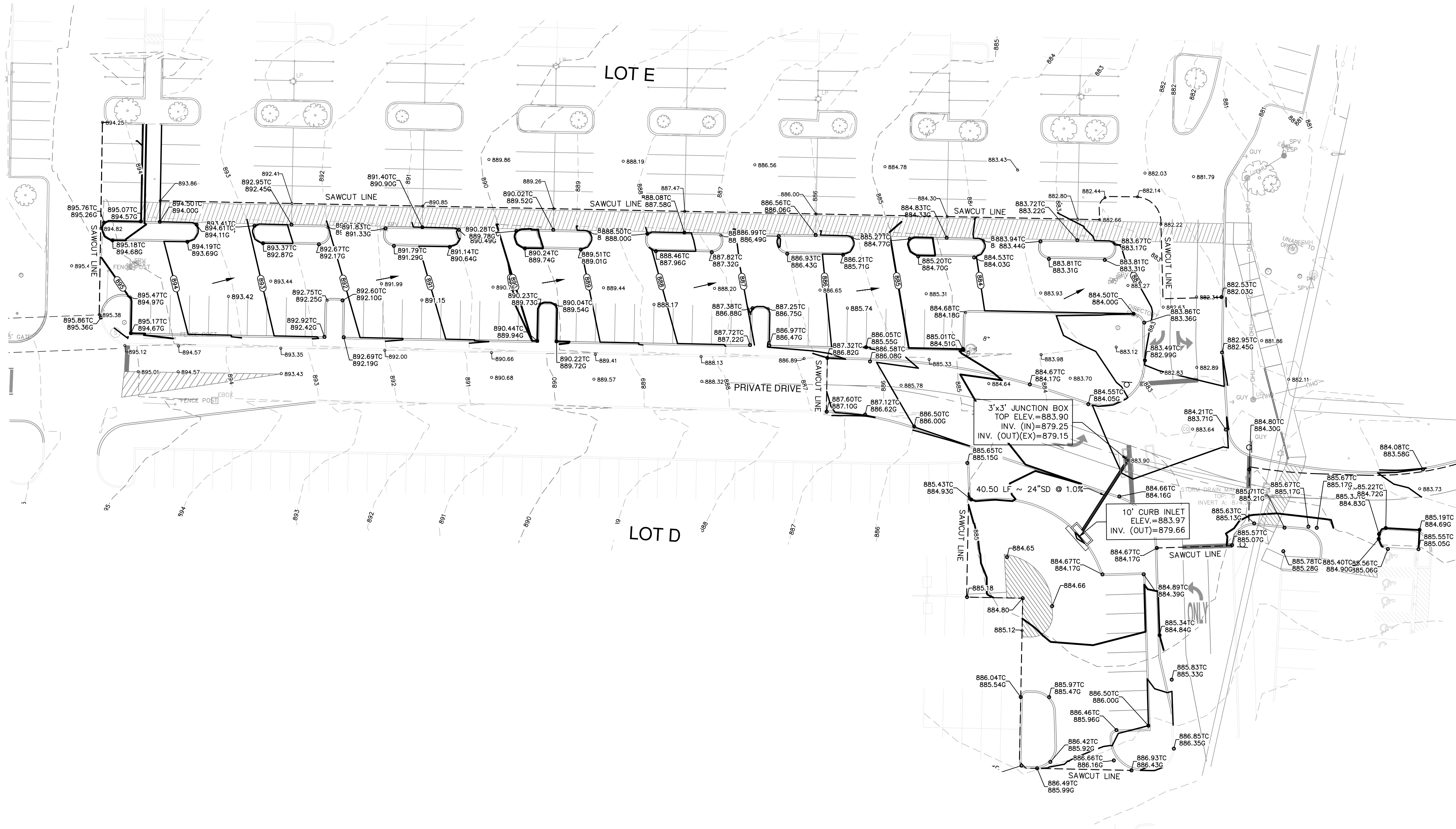
## OVERALL GRADING PLAN

PLAT NO. 130256  
JOB NO. 4910-75  
DATE MAY 2025  
DESIGNER KT/TR  
CHECKED WK/DS DRAWN JS/TJ  
SHEET C2.00



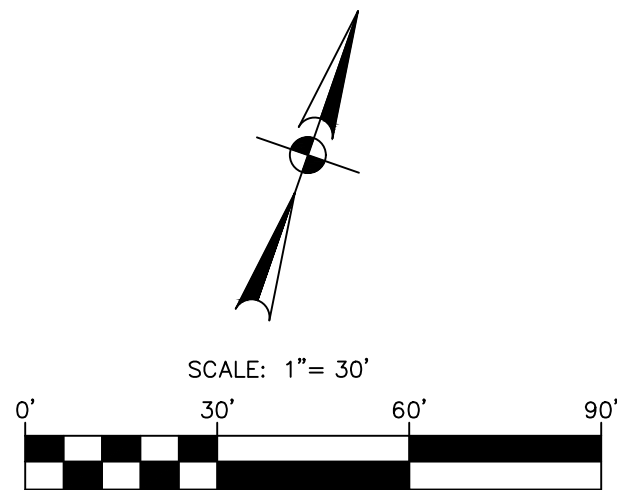
Date: May 12, 2025, 3:49pm User ID: trovitsky  
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LEGAL DESCRIPTION:  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



#### LEGEND

---	PROPERTY LINE
---	100 YR FLOODPLAIN
---	EXISTING CONTOURS MAJOR
---	EXISTING CONTOURS MINOR
---	PROPOSED CONTOURS
---	GRADE BREAK
---	GRATE INLET
---	CURB INLET
---	JUNCTION BOX
---	PROPOSED SPOT ELEVATION
---	EXISTING SPOT ELEVATION
---	TOP OF CURB
---	TOP OF PAVEMENT
---	TOP OF GRATE
---	TOP OF MANHOLE
---	FLOW LINE
---	TOP OF WALL
---	BOTTOM OF WALL
---	EXISTING TREES TO REMAIN (SEE TREE PRESERVATION PLAN & COORDINATE WITH LANDSCAPE ARCHITECT)
---	PROPOSED FLOW ARROWS

#### NOTES:

- SEE SHEET C0.10 FOR CONSTRUCTION NOTES.
- SEE C1.00 FOR SITE CONTROL INFORMATION.

CBC PARKING EXPANSION  
SAN ANTONIO, TEXAS

DETAILED GRADING AND DRAINAGE PLAN - LOT E

PLAT NO. 130256  
JOB NO. 4910-75  
DATE MAY 2025  
DESIGNER KT/TR  
CHECKED WK/DS DRAWN JS/TR  
SHEET C2.01

PAPE-DAWSON  
ENGINEERS

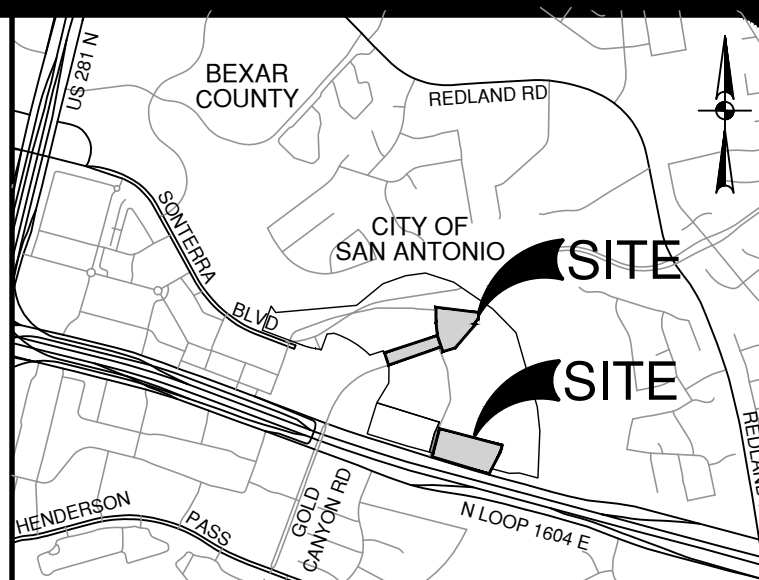
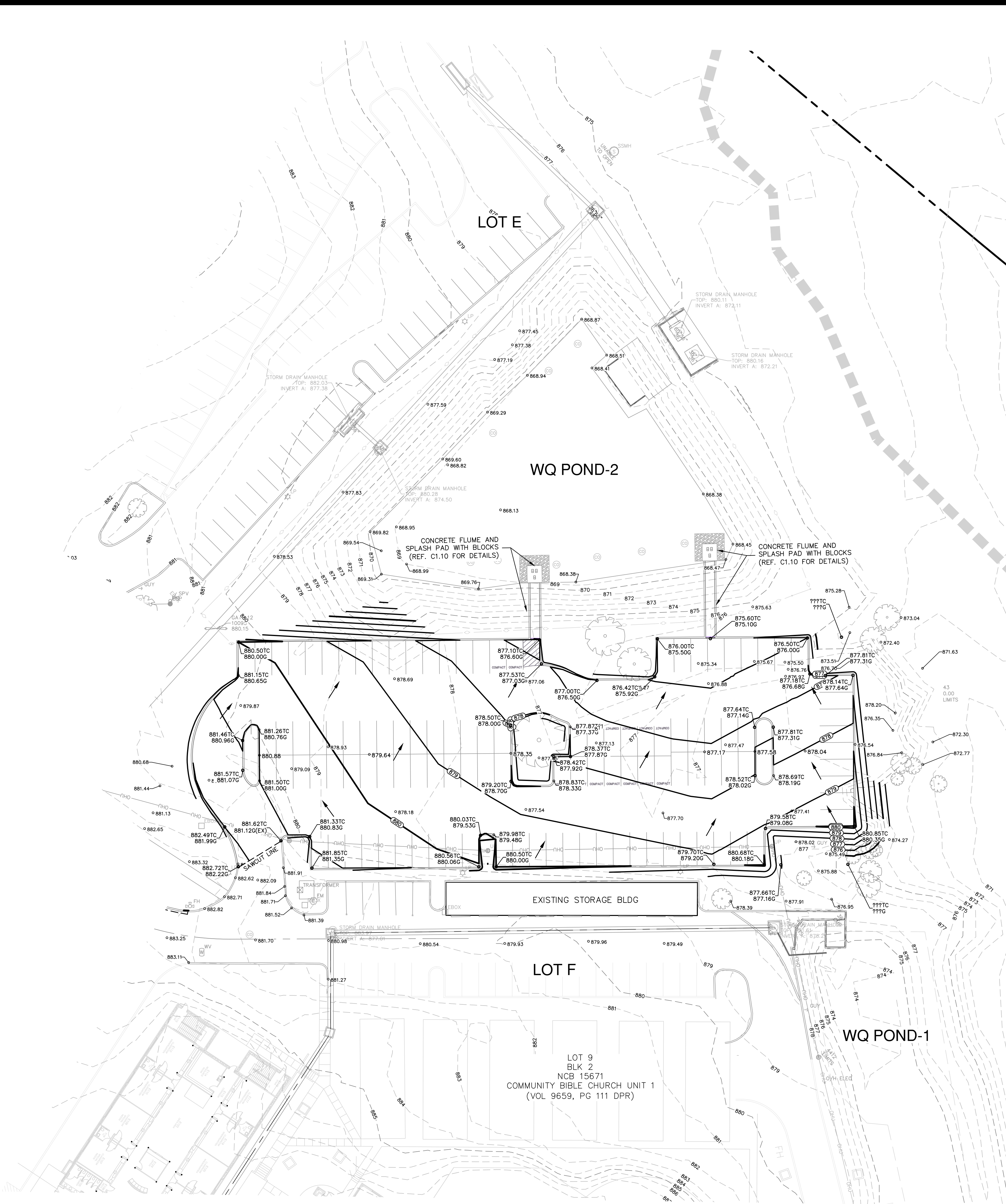
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028600

5/12/2025  
ANDREW J. BELTON  
121688  
PROFESSIONAL ENGINEER



Date: May 12, 2025, 3:49pm User ID: trovisky  
File: P:\4910\75\Design\Civil\GRD08-491075.dwg

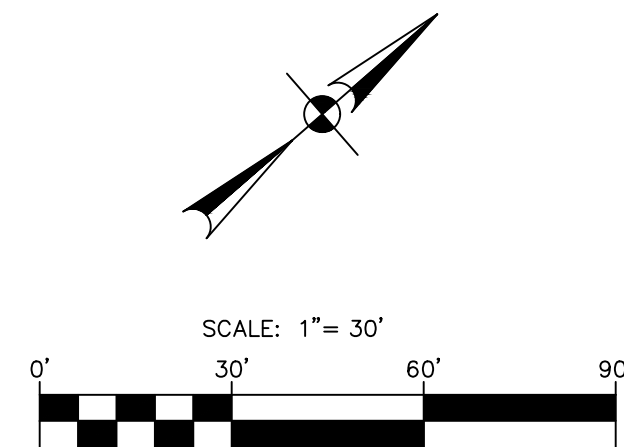
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LOCATION MAP  
NOT-TO-SCALE

LEGAL DESCRIPTION:  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



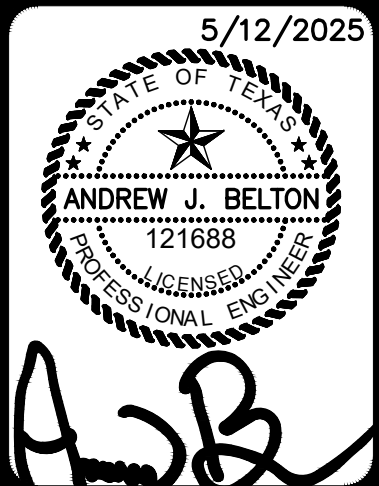
LEGEND

- |       |  |
|-------|--|
| ---   | PROPERTY LINE  |
| ---   | 100 YR FLOODPLAIN  |
| ---   | EXISTING CONTOURS MAJOR  |
| ---   | EXISTING CONTOURS MINOR  |
| ---   | PROPOSED CONTOURS  |
| ---   | GRADE BREAK  |
| ■     | GRATE INLET  |
| ■     | CURB INLET   |
| ■     | JUNCTION BOX   |
| +1000 | PROPOSED SPOT ELEVATION  |
| TC    | EXISTING SPOT ELEVATION  |
| TP    | TOP OF CURB  |
| TP    | TOP OF PAVEMENT  |
| TG    | TOP OF GRATE   |
| TMH   | TOP OF MANHOLE   |
| FL    | FLOW LINE  |
| TW    | TOP OF WALL  |
| BW    | BOTTOM OF WALL   |
| ○     | EXISTING TREES TO REMAIN<br>(SEE TREE PRESERVATION PLAN &<br>COORDINATE WITH LANDSCAPE<br>ARCHITECT) |
| →     | PROPOSED FLOW ARROWS   |

NOTES:

- SEE SHEET C0.10 FOR CONSTRUCTION NOTES.
- SEE C1.00 FOR SITE CONTROL INFORMATION.

NO.	REVISION	DATE



**PAPE-DAWSON  
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028600

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS

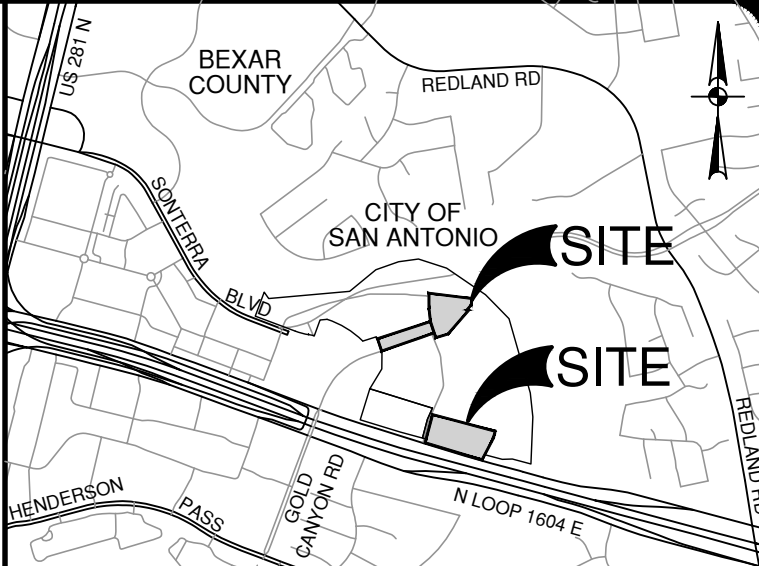
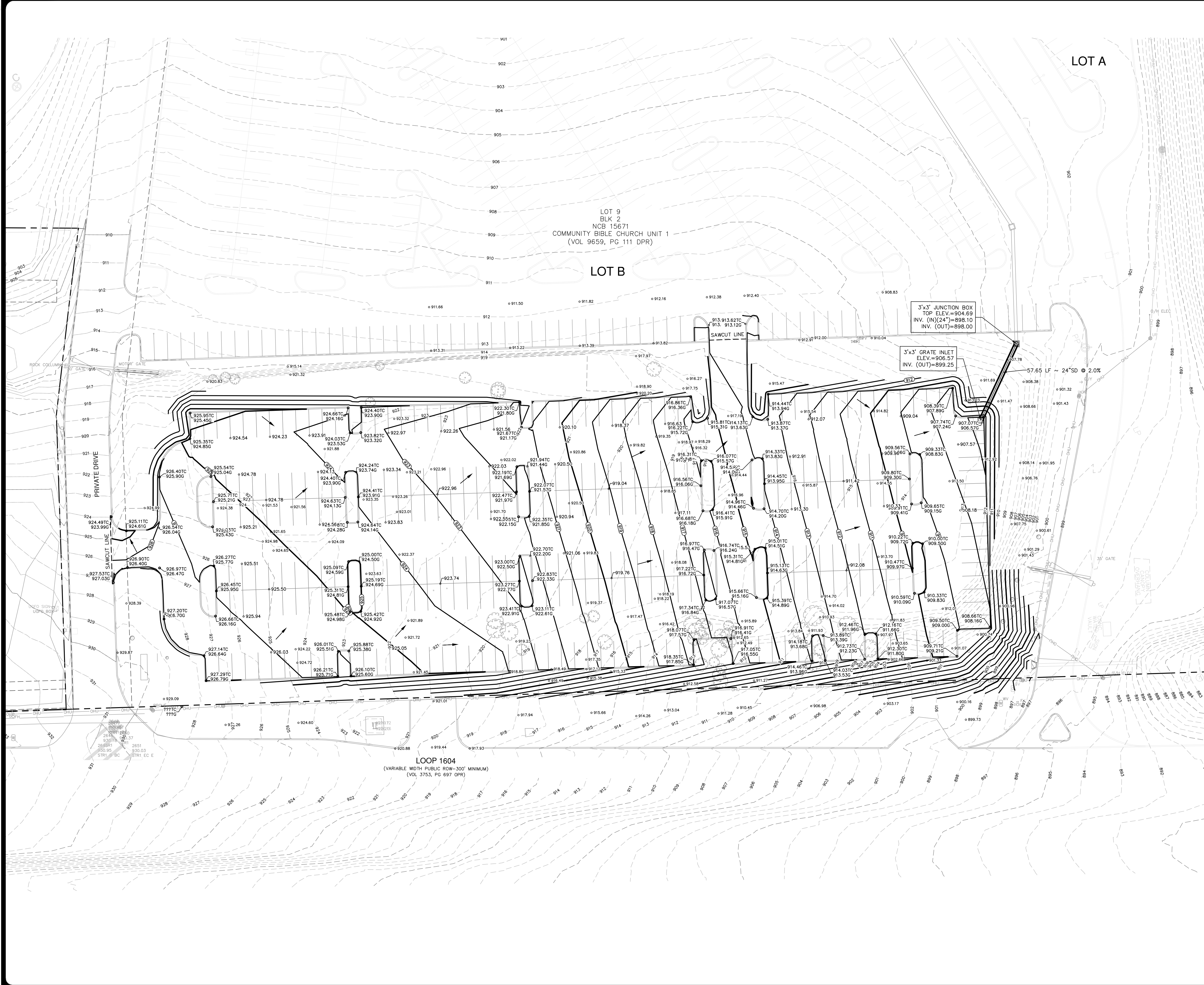
DETAILED GRADING AND DRAINAGE PLAN - LOT F

PLAT NO.	130256
JOB NO.	4910-75
DATE	MAY 2025
DESIGNER	KT/TR
CHECKED WK/DS	DRAWN JS/TR
SHEET	C2.02

BID ISSUE



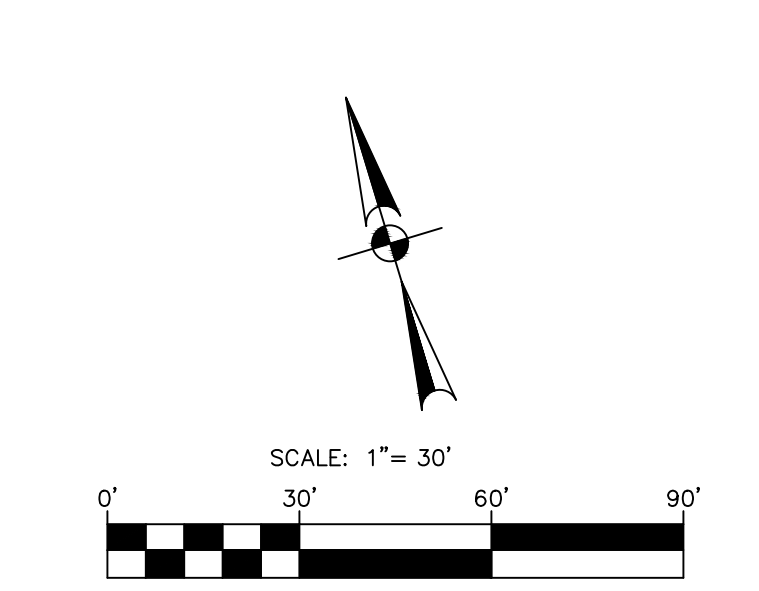
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**LOCATION MAP**  
NOT-TO-SCALE

**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH,  
UNIT 1

**ADDRESS:**  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232

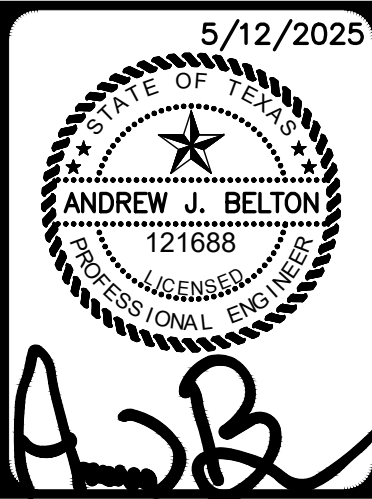


- LEGEND**
- PROPERTY LINE
  - 100 YR FLOODPLAIN
  - EXISTING CONTOURS MAJOR
  - EXISTING CONTOURS MINOR
  - PROPOSED CONTOURS
  - GRADE BREAK
  - GRATE INLET
  - CURB INLET
  - JUNCTION BOX
  - PROPOSED SPOT ELEVATION
  - EXISTING SPOT ELEVATION
  - TC
  - TP
  - TG
  - TMH
  - FL
  - TW
  - BW
  - EXISTING TREES TO REMAIN  
(SEE TREE PRESERVATION PLAN &  
COORDINATE WITH LANDSCAPE  
ARCHITECT)
  - PROPOSED FLOW ARROWS

**NOTES:**

- SEE SHEET C0.10 FOR CONSTRUCTION NOTES.
- SEE C1.00 FOR SITE CONTROL INFORMATION.

NO.	REVISION	DATE



**PAPE-DAWSON  
ENGINEERS**

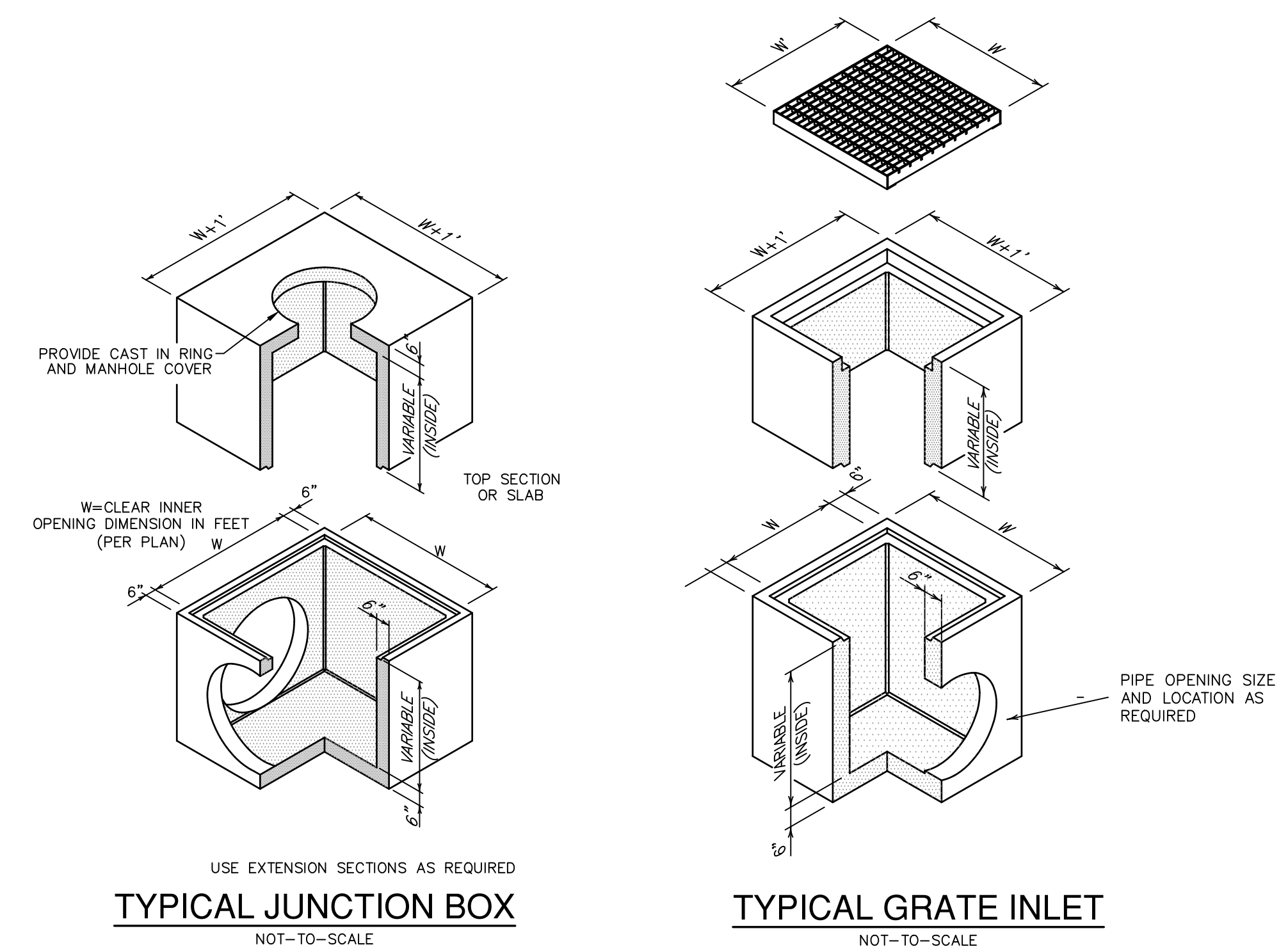
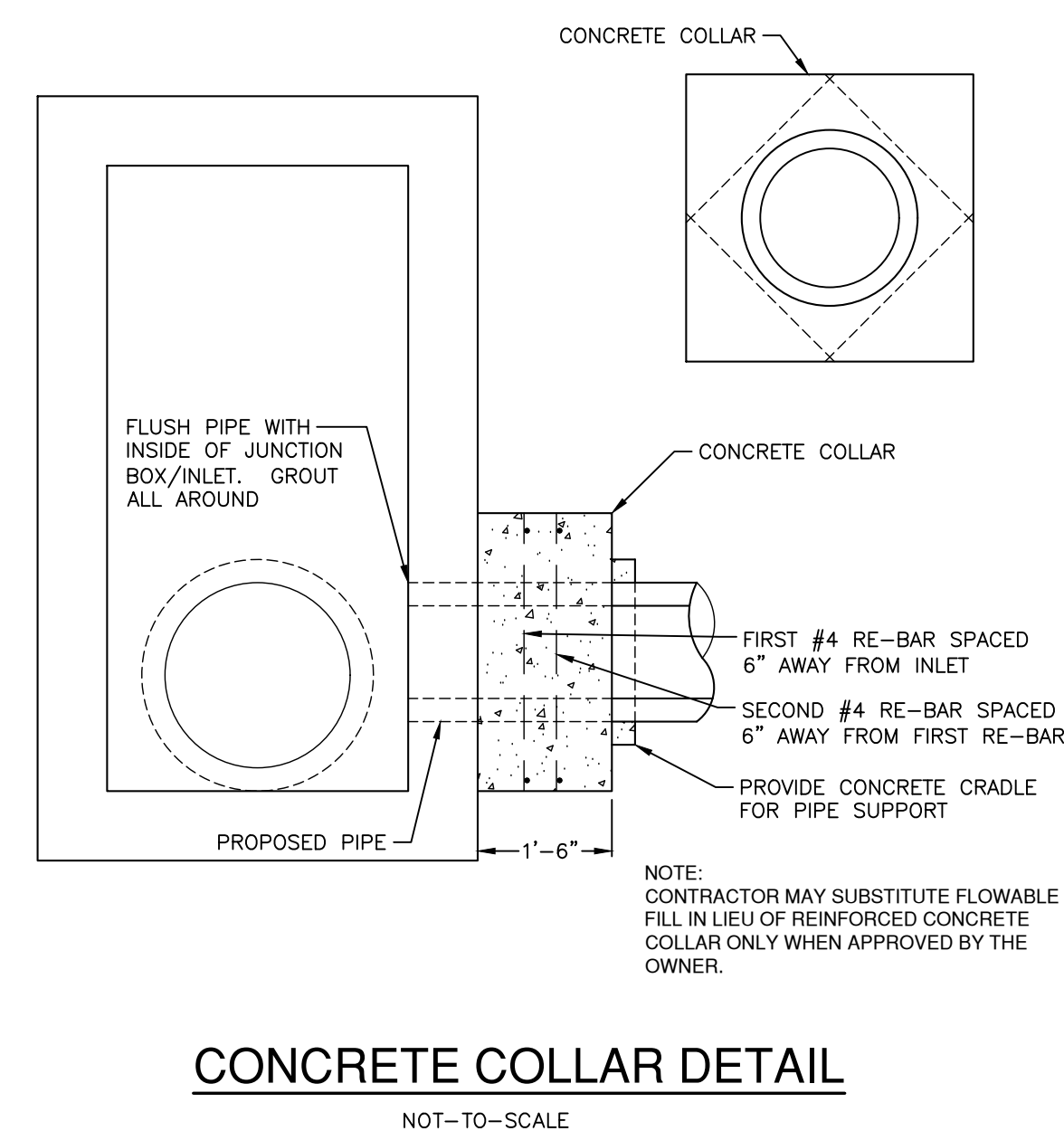
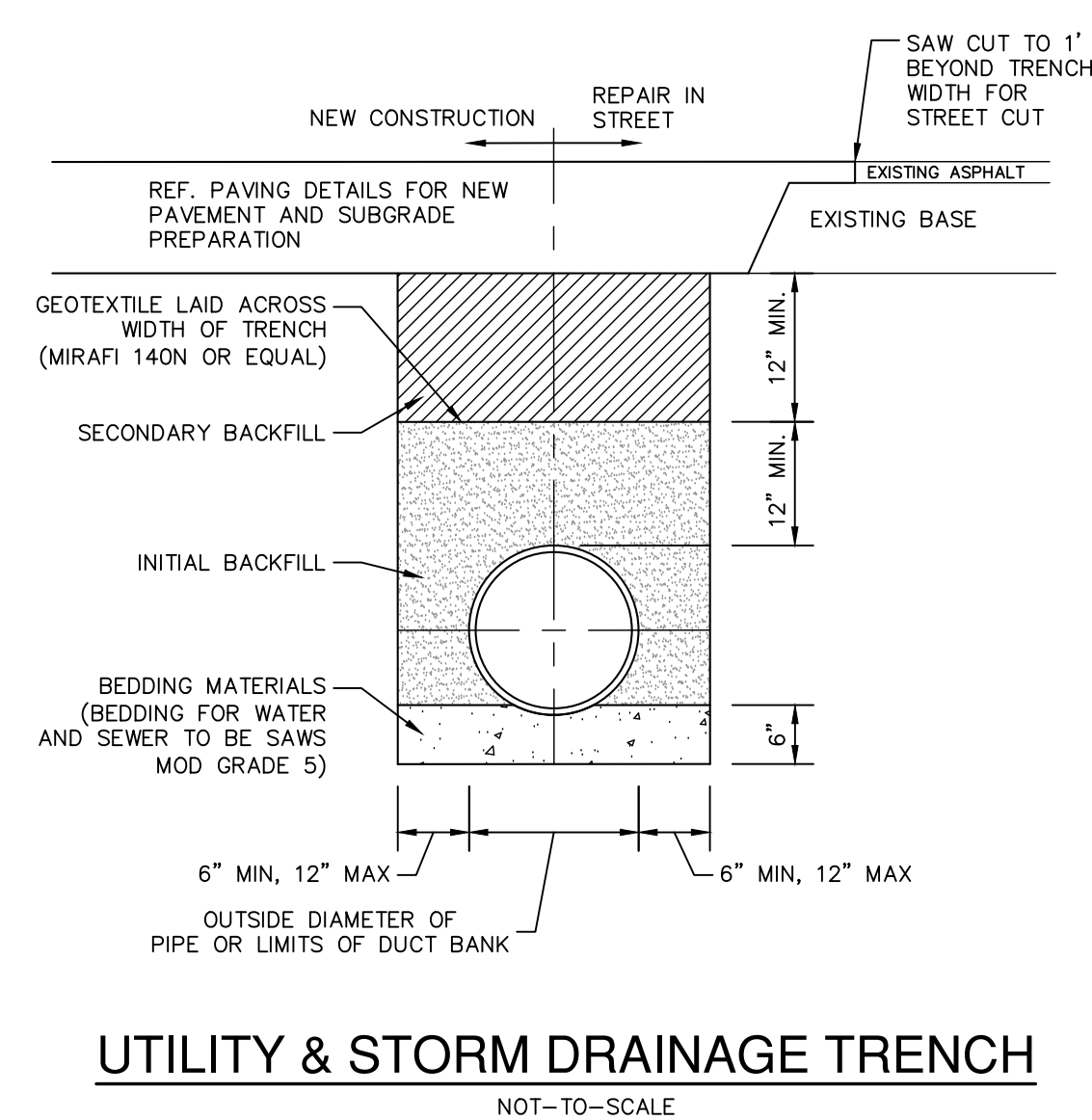
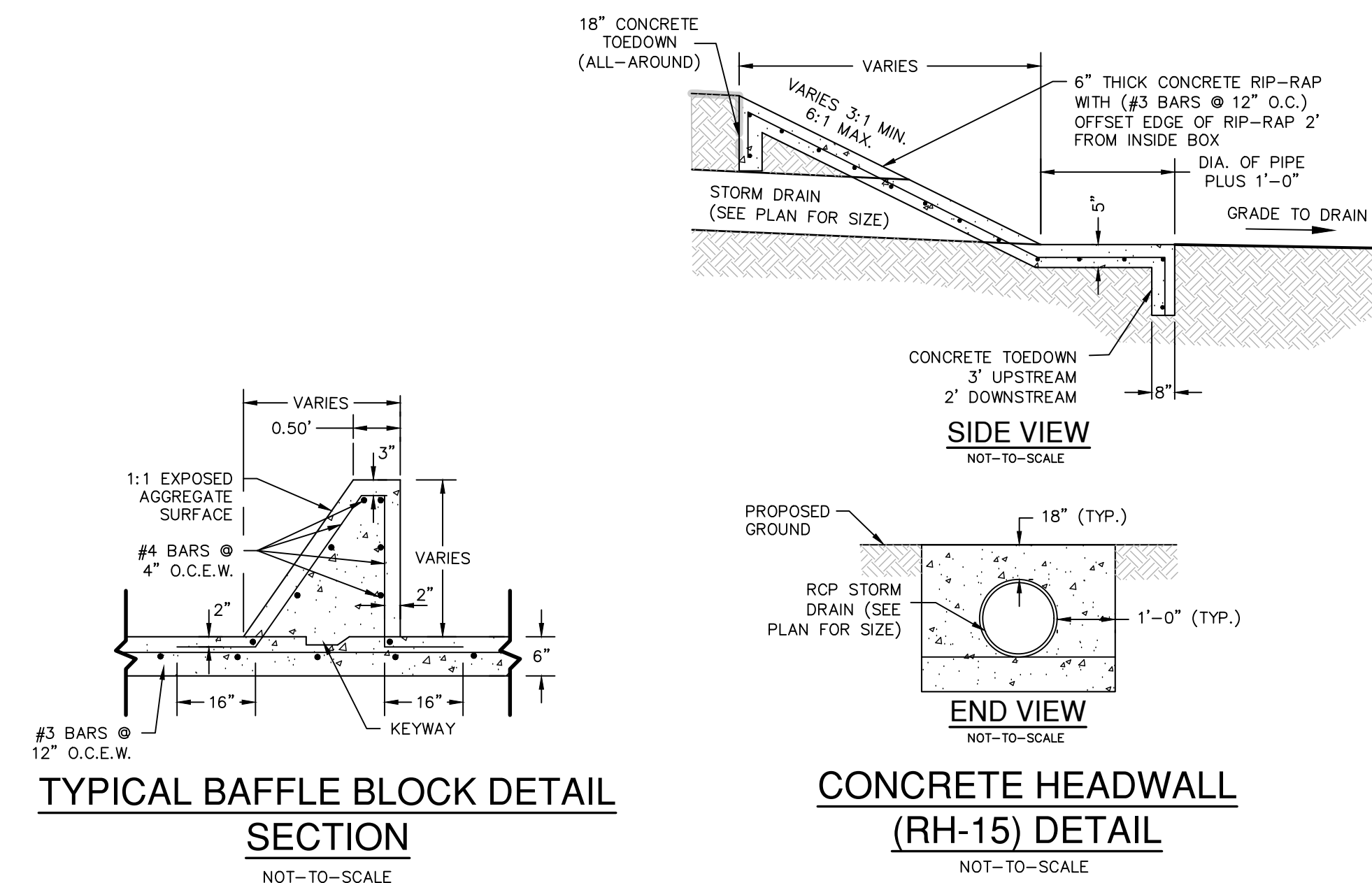
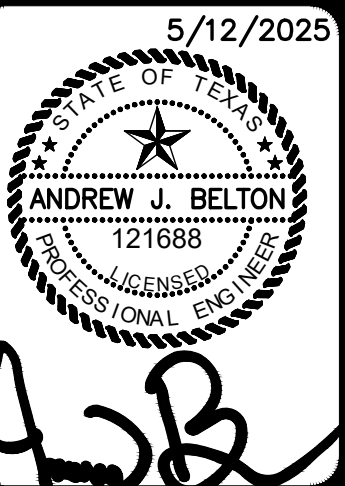
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1008800

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS

**DETAILED GRADING AND DRAINAGE PLAN - LOT B**

PLAT NO.	130256
JOB NO.	4910-75
DATE	MAY 2025
DESIGNER	KT/TR
CHECKED	WK/DS
DRAWN	JS/TR
SHEET	C2.03



[illegible]

**PAPE-DAWSON  
ENGINEERS**

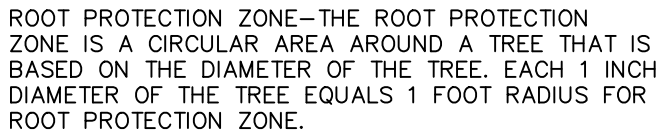
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM 4470 | TEXAS SURVEYING FIRM #1002800

**CBC PARKING EXPANSION**  
SAN ANTONIO, TEXAS  
**DRAINAGE DETAILS**

LAT NO. 130256  
 OB NO. 4910-75  
 DATE MAY 2025  
 DESIGNER KT/TR  
 CHECKED WK/DS DRAWN JS/TR  
 SHEET C2.10



Date: May 12, 2025, 3:50pm User ID: travitsky  
File: P:\49\10\75\Design\Civil\TR-491075.dwg

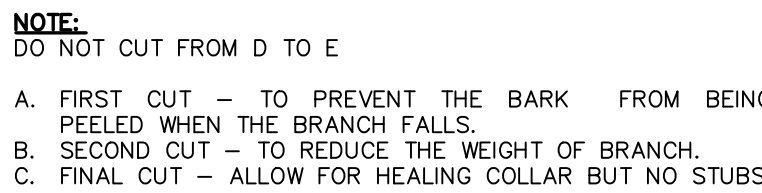


NOT TO SCALE



NOTE:  
1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY, WILL CONFORM TO THE DRIP LINE AND IS LIMITED TO PROJECT BOUNDARY.  
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECS.

NOT TO SCALE



NOT TO SCALE



**TOTAL NON-EXEMPT SIGNIFICANT > 6 CAL. INCHES (DBH) = 1,379**  
**SIGNIFICANT CAL. INCHES PRESERVED = 745**  
**REQUIRED SIGNIFICANT CLASS PRESERVATION RATIO = 40%**  
**SIGNIFICANT CLASS PRESERVATION RATIO = 54%**  
**SIGNIFICANT CLASS CAL. INCHES EXCESS / (MITIGATION) = 193**

**TOTAL HERITAGE CAL. INCHES (DBH) ON SITE = 90**  
**HERITAGE CAL. INCHES REMOVED = 61**  
**HERITAGE CLASS MITIGATION RATIO = 3:1**  
**HERITAGE CLASS CAL. INCHES EXCESS/ (MITIGATION), 3:1 = (183)**

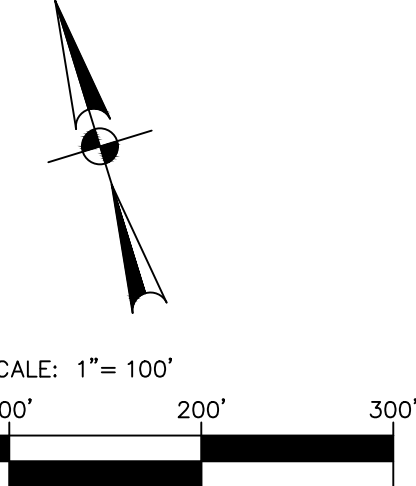
## TOTAL MITIGATION REQUIRED PER TREE INVENTORY

TOTAL MITIGATION REQUIRED PER TREE INVENTORY = 183 CAL. INCHES  
MITIGATION PROVIDED = 193 CAL. INCHES IN EXCESS PRESERVATION



**LEGAL DESCRIPTION:**  
LOT 9, BLOCK 2, NCB 15671  
COMMUNITY BIBLE CHURCH  
UNIT 1

ADDRESS:  
2477 N LOOP 1604 E  
SAN ANTONIO, TX 78232



PROPERTY LINE

EXISTING GRADE

### LIMITS OF CONSTRUCTION

TREE TO BE PRESERVED

TREE TO BE REMOVED

FEMA EFFECTIVE 1% ANNUAL  
CHANCE 100-YEAR FLOODPLAIN

60' ESA FLOODPLAIN BUFFER  
(SHOWN FOR CONTEXT ONLY  
NO PROPOSED DISTURBANCE OR  
TREE REMOVAL IN ESA BUFFER)

1. ALL EXISTING TREES DENOTED ON THIS PLAN TO BE PRESERVED AS SHOWN AND PROTECTED AT THE ROOT PROTECTION ZONE. THE ROOT PROTECTION ZONE SHALL BE DETERMINED BY TREE SIZE (RECOMMENDED 1' RADIUS FROM TRUNK FOR EVERY 1" DIAMETER OF TRUNK AT 4.5' FROM GROUND) WITH A MINIMUM 5' DIAMETER FROM THE TRUNK ON ONE SIDE OF THE TREE, BUT ONLY WITH APPROVED ALTERNATE CONSTRUCTION METHODS.

2. A (CHAINLINK OR ORANGE MESH FENCE) BARRIER AROUND THE ROOT PROTECTION ZONE SHALL BE ERECTED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
3. THE ROOT PROTECTION ZONE SHALL BE SUSTAINED IN A NATURAL STATE AND SHALL BE FREE FROM VEHICULAR OR MECHANICAL TRAFFIC, FLOODING, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED INSIDE THE PROTECTIVE LAYER.
4. THE ROOT PROTECTION ZONE SHALL BE COVERED WITH MULCH TO REDUCE MOISTURE STRESS.
5. ANY DAMAGE DONE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY. ALL WOUNDS TO TRUNKS SHALL BE PAINTED WITH SEALING PASTE WITHIN 30 MINUTES. DAMAGE, ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS WILL BE CUT CLEANLY.
6. THE PROPOSED FINISHED GRADE AND ELEVATION OF LAND WITHIN THE ROOT PROTECTION ZONE OF ANY TREES TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THAN 3" IN ANY DIRECTION. REMEDIATION METHODS ARE ALLOWED OUTSIDE THE ROOT PROTECTION ZONE.
7. THE ROOT PROTECTION ZONE SHALL REMAIN PERVIOUS, I.E. GROUNDCOVER OR TURF AT COMPLETION OF LANDSCAPE DESIGN.
8. ALL TREES TO BE PRESERVED TO MEET MITIGATION REQUIREMENT SHALL BE PROTECTED.
9. ALL DISTURBED AREAS TO BE RE-SEEDDED WITH APPROVED NATIVE SEED MIX (SEE THIS SHEET) TO BE APPLIED USING A DRILL SEED METHOD. CONTRACTOR TO ACHIEVE 85% GRASS ESTABLISHMENT IN ALL DISTURBED AREAS PRIOR TO PROJECT COMPLETION AND COSA ACCEPTANCE.

1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO ITEM No. 802. TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE LEVEL 2 PROTECTION AS PER ITEM No. 802. TREES TO RECEIVE LEVEL 1 PROTECTION AS PER ITEM No. 802 ARE SHOWN ON TREE PROTECTION TABLE ON THIS SHEET.

2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN DETERMINED AND APPROVED.
4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE TRUNK FROM THE TREE TRUNK TO THE TREE TRUNK IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS ONE FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE MUST HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT OUTLINELY ACCORDING TO PROPER PRUNING TECHNIQUES. THE SAME AREAS SHALL BE PAINTED OVER WITHIN 20 MINUTES TO PREVENT AOK WILT.
7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND OR AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.

