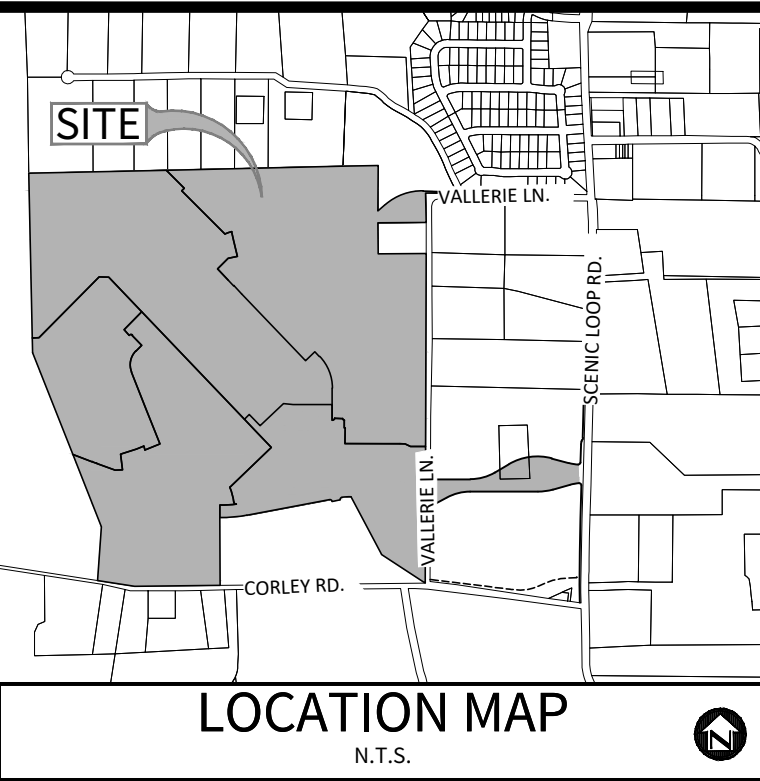
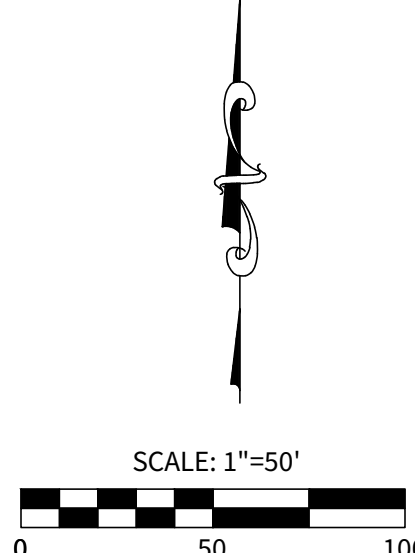




OWNER/DEVELOPER:
PULTE HOMES OF TEXAS, L.P.
CONTACT PERSON: FELIPE GONZALEZ
1718 DRY CREEK WAY, SUITE 120
SAN ANTONIO, TX 78259
TEL: (210) 818-7104
FAX: (210) 496-0449

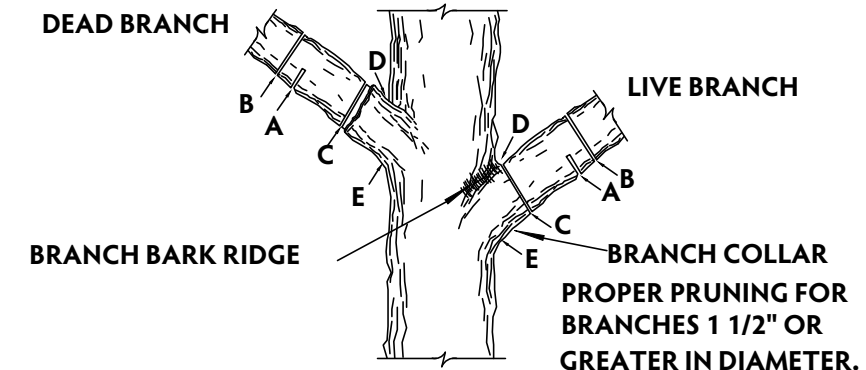
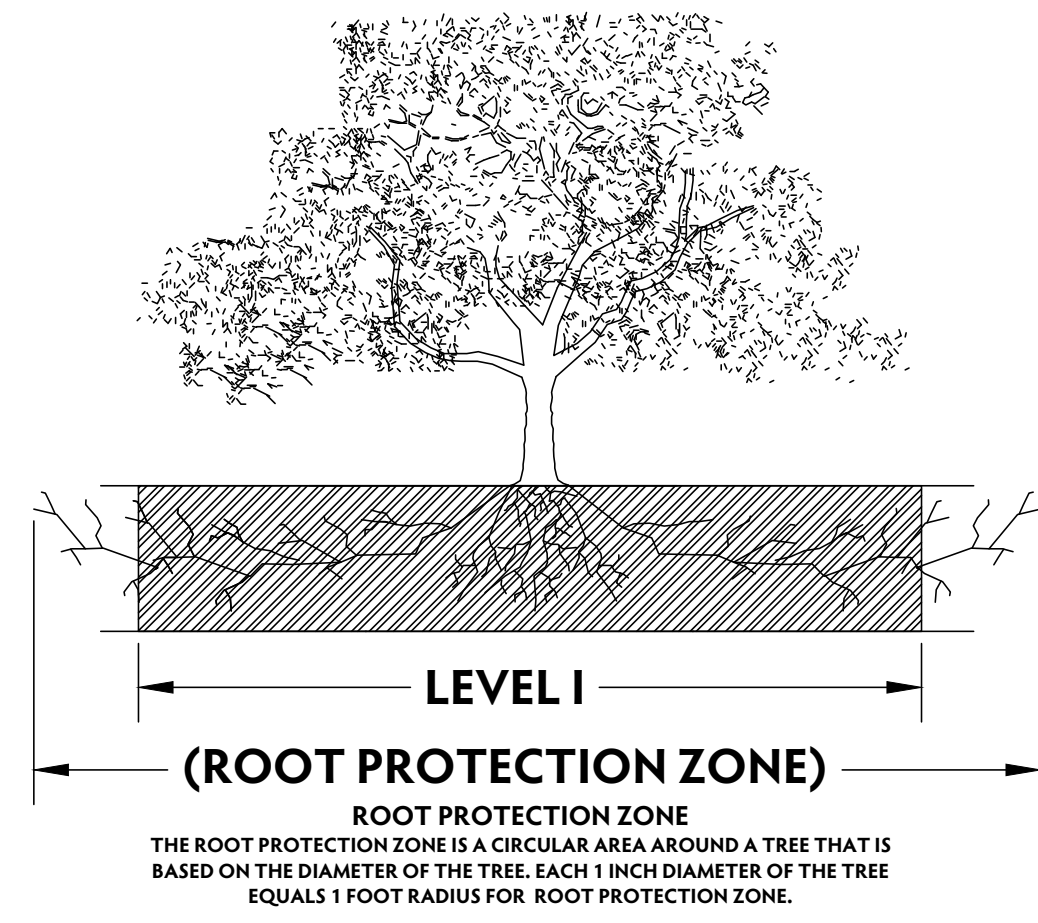
CIVIL ENGINEER:
M.W. CUDE ENGINEERS, L.L.C.
CONTACT PERSON: DAVID D. CUPIT II, P.E.
4122 POND HILL ROAD, SUITE 101
SAN ANTONIO, TX 78231
TEL: (210) 681-2951
FAX: (210) 523-7112

- NOTES:
1. CORLEY FARMS IS SUBJECT TO THE CITY OF SAN ANTONIO 2010 TREE ORDINANCE.
 2. CONTRACTOR TO UPDATE TREE PRESERVATION PLAN FOR CHANGES DURING CONSTRUCTION AND NOTIFY ENGINEER ACCORDINGLY. THE REVISED TREE PRESERVATION PLAN WILL BE RESUBMITTED AND APPROVED BY THE DISTRICT UPON FINAL ACCEPTANCE OF ALL SUBDIVISION IMPROVEMENTS.
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LEGEND

- SIGNIFICANT TREE TO BE PRESERVED
- SIGNIFICANT TREE TO BE REMOVED
- HERITAGE TREE TO BE PRESERVED
- HERITAGE TREE TO BE REMOVED
- EXEMPT TREE PRESERVED
- EXEMPT TREE REMOVED
- POOR CONDITION TREE TO BE REMOVED
- TREE PLAN LIMITS



NOTE: DO NOT CUT FROM D to E.

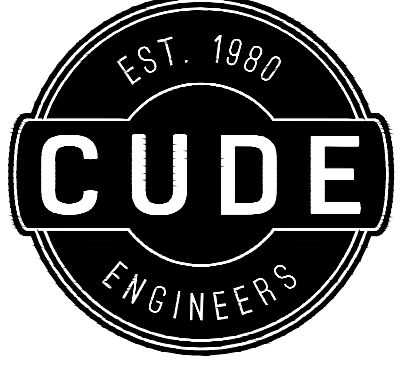
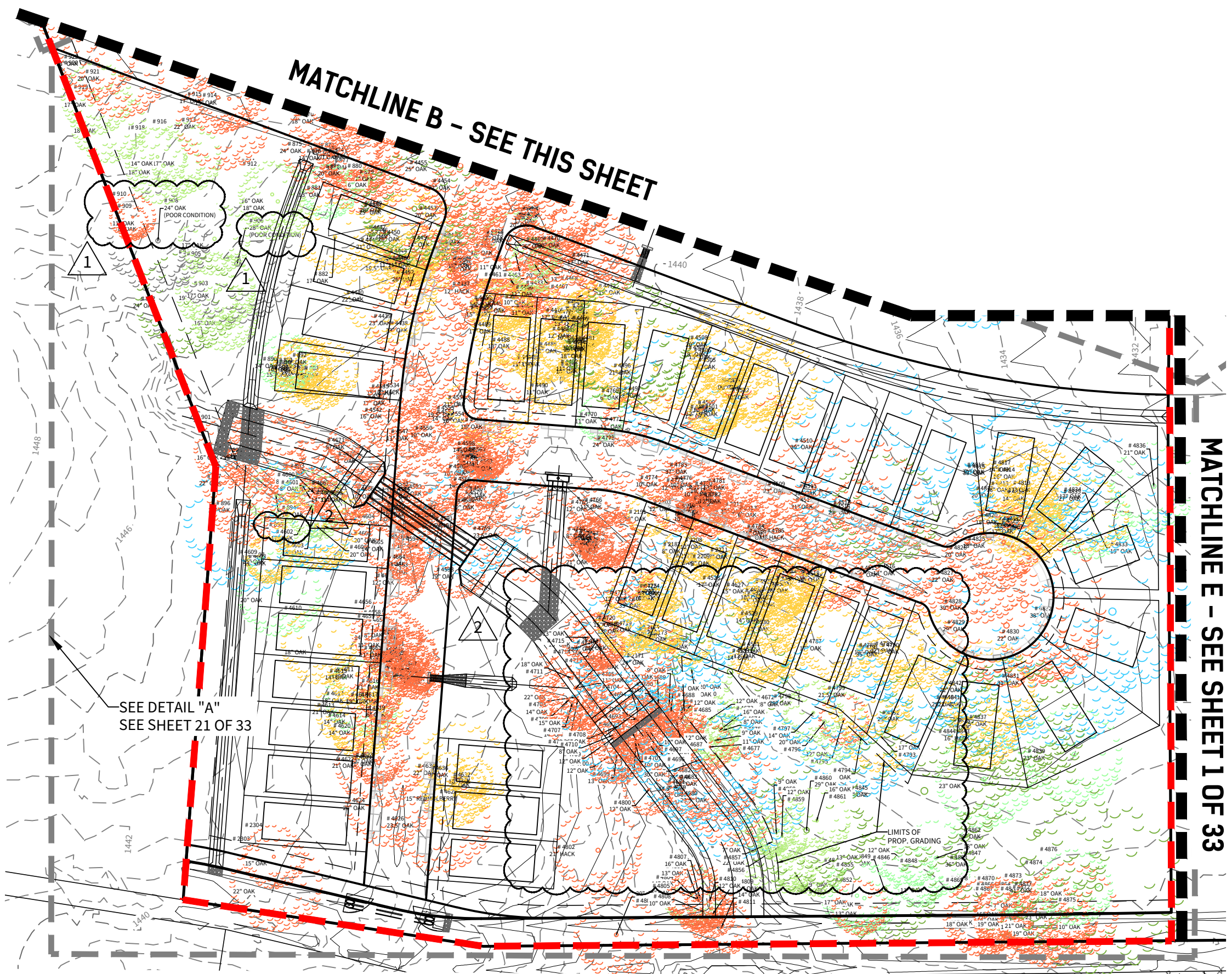
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CORLEY FARMS
TAKE 1 & 2
TREE PRESERVATION PLAN

DATE
05/14/2024

PROJECT NO.
03481.000

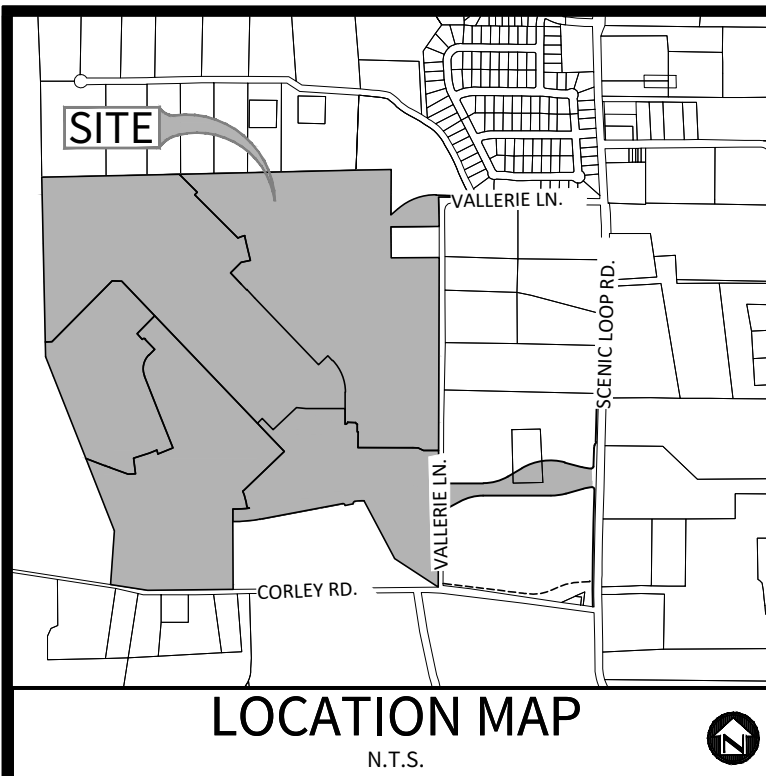
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C3

CHECKED BY
AL/AD

REVISIONS	
1.	2022-04-05 - DISTRICT COMMENTS
2.	2024-05-14 - TREE PRESERVATION UPDATE
3.	
4.	
5.	
6.	
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8.	
9.	

CUDE ENGINEERS
TBPE No. 455
TBPLS No. 10048500

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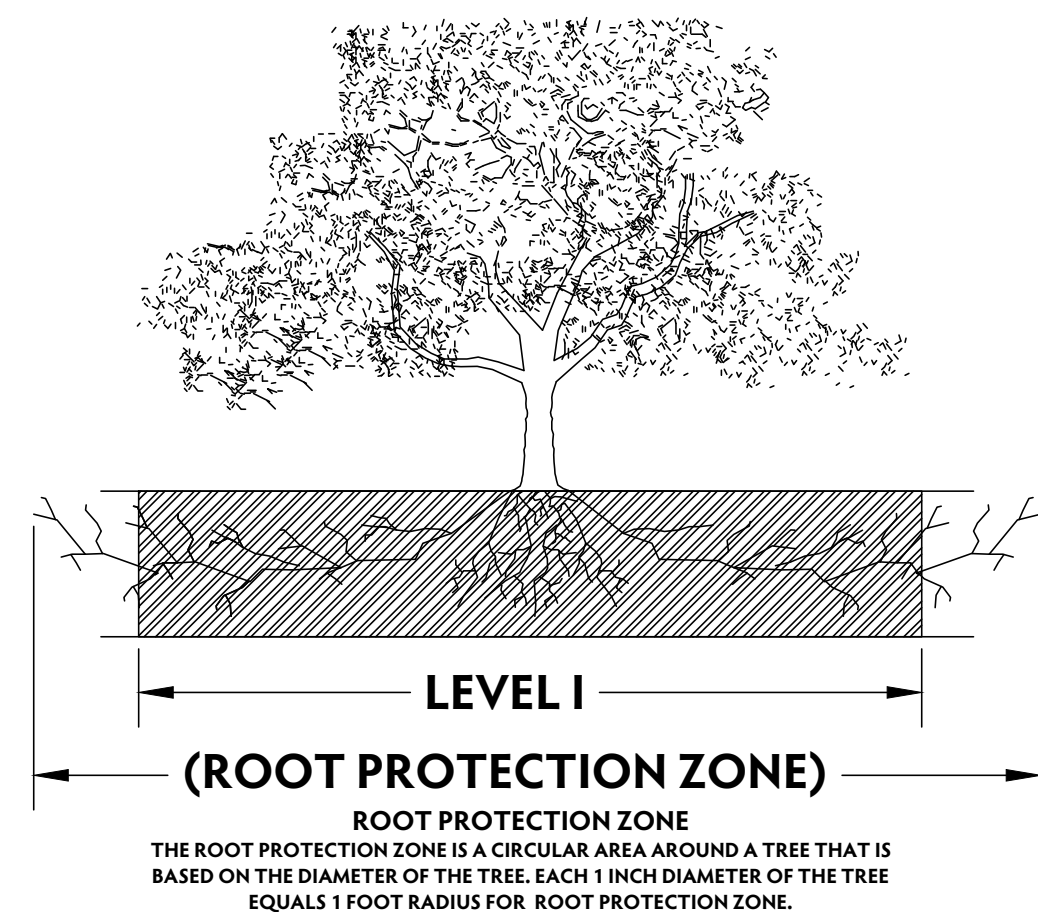


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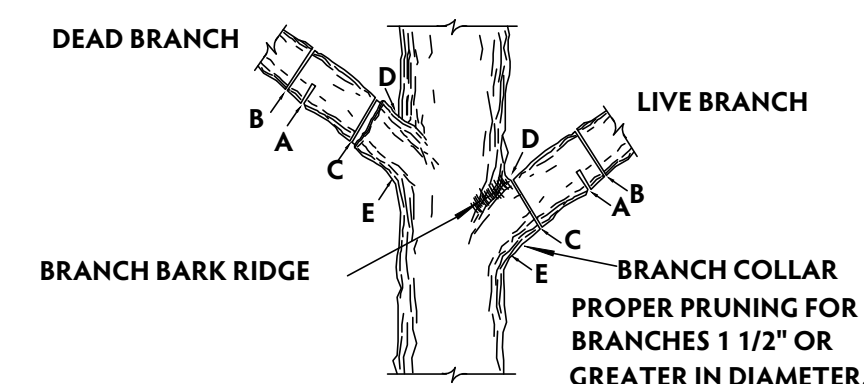
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TYPICAL LOT PLANTING - DETAIL
NOT TO SCALE

NOTE: TREES PLANTED IN THE SOUTH OR WEST OF PROPOSED HOME SHALL RECEIVE ENERGY CREDIT PER UDC SECTION 35-523.



NOTE: DO NOT CUT FROM D to E.

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LEGEND



SIGNIFICANT TREE TO BE PRESERVED

SIGNIFICANT TREE TO BE REMOVED

HERITAGE TREE TO BE PRESERVED

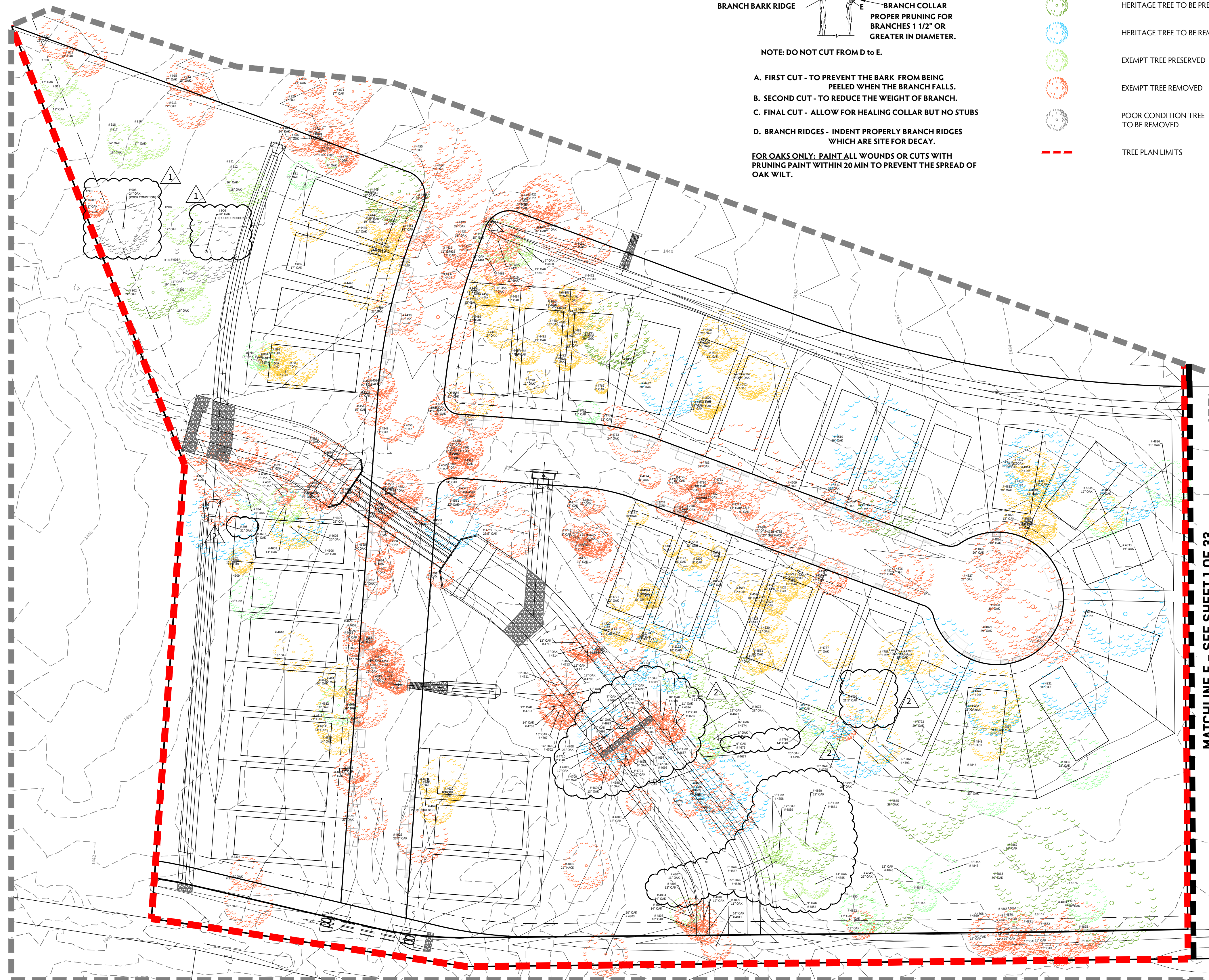
HERITAGE TREE TO BE REMOVED

EXEMPT TREE PRESERVED

EXEMPT TREE REMOVED

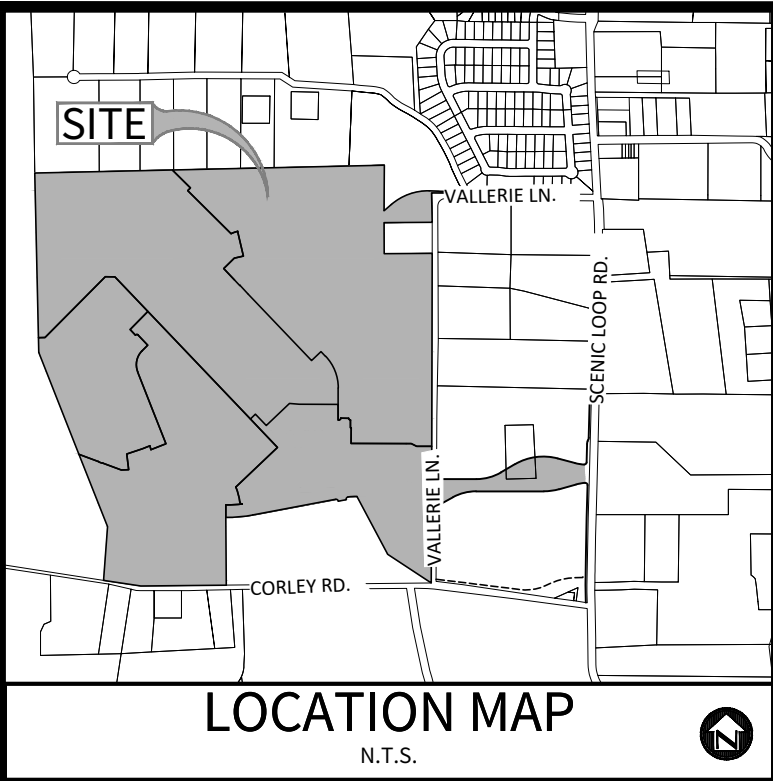
POOR CONDITION TREE
TO BE REMOVED

TREE PLAN LIMITS



DETAIL "A"

1" = 50'

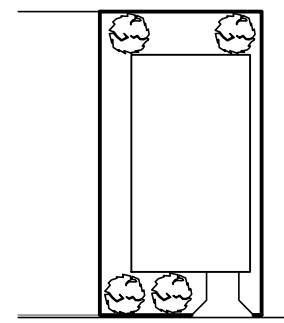


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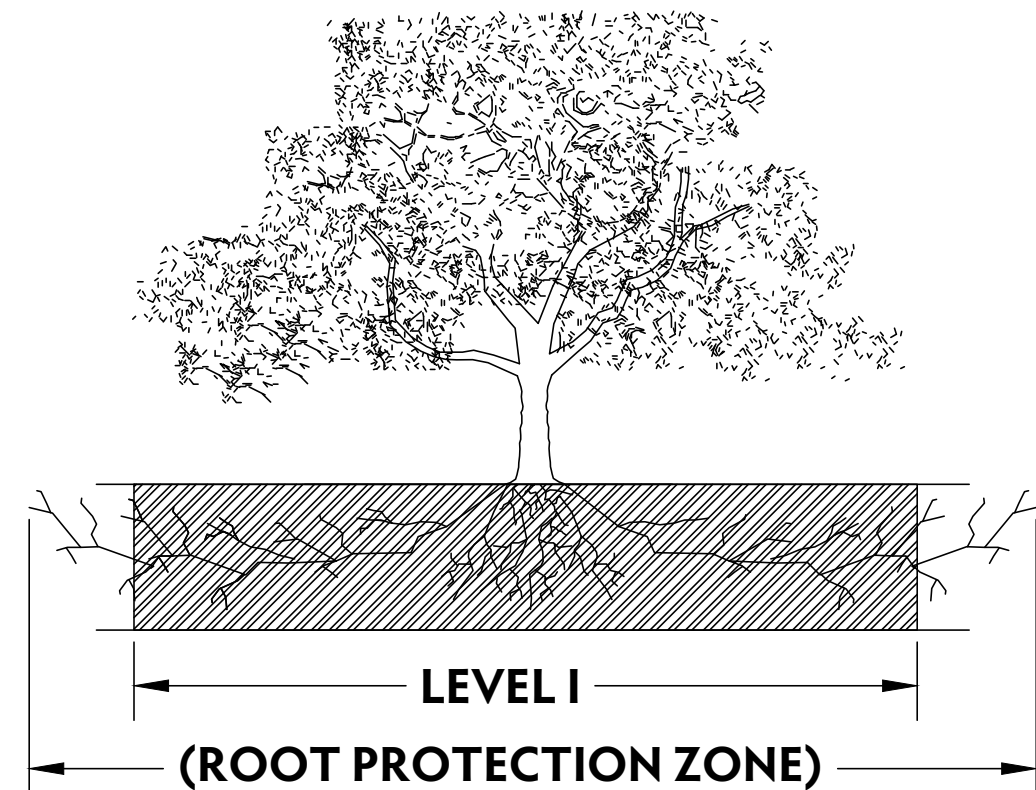
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TYPICAL LOT PLANTING - DETAIL
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ROOT PROTECTION ZONE
THE ROOT PROTECTION ZONE IS A CIRCULAR AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE. EACH 1 INCH DIAMETER OF THE TREE EQUALS 1 FOOT RADIUS FOR ROOT PROTECTION ZONE.

NOTES:

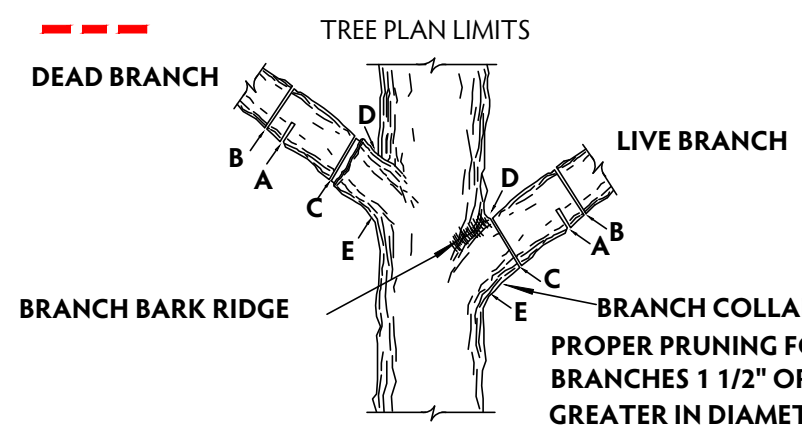
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DETAIL "B"

1" = 50'

LEGEND

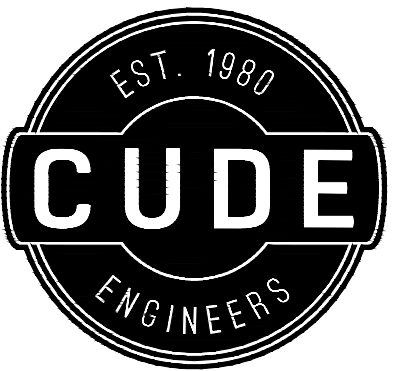
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- HERITAGE TREE TO BE REMOVED
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NOTE: DO NOT CUT FROM D to E.

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**CORLEY FARMS
TAKE 1 & 2
TREE PRESERVATION PLAN
DETAIL SHEET**

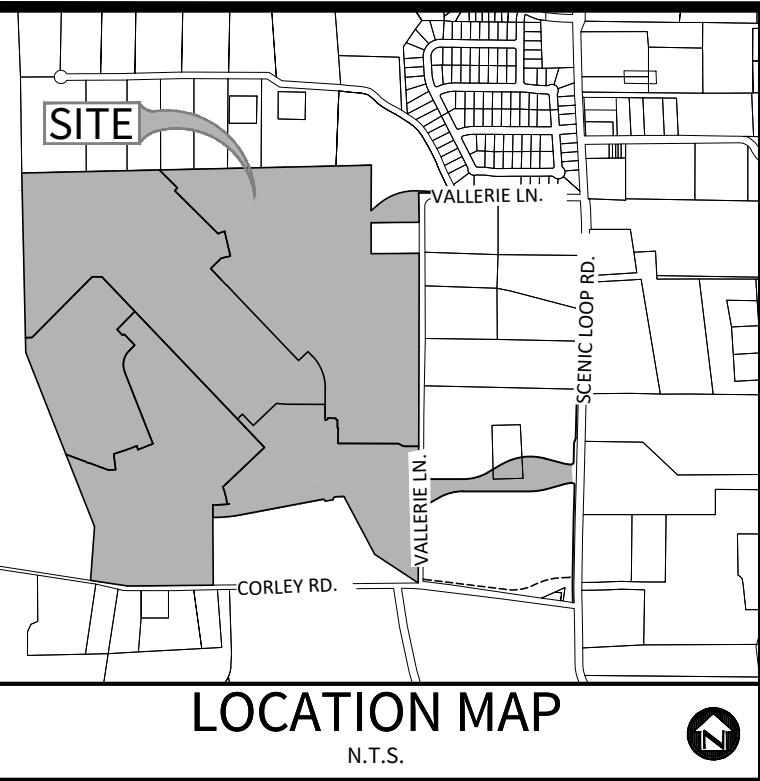
DATE
11/06/2023
PROJECT NO.
03481.000
DRAWN BY
C3
CHECKED BY
JC/DDC

REVISIONS	
1.	2022-04-05 - DISTRICT COMMENTS
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CUDE ENGINEERS
TBPE No. 455
TBPLS No. 10048500

TPP-22

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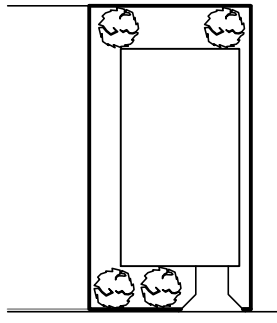
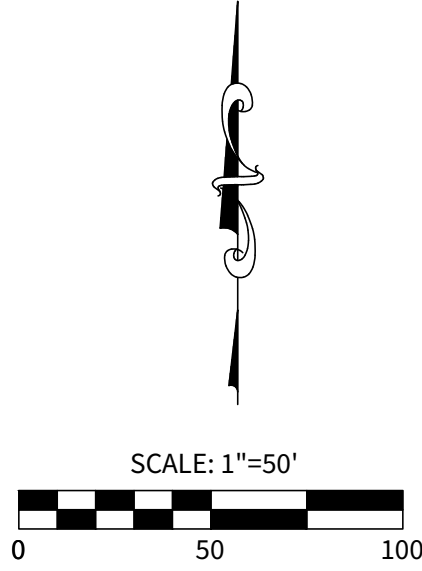


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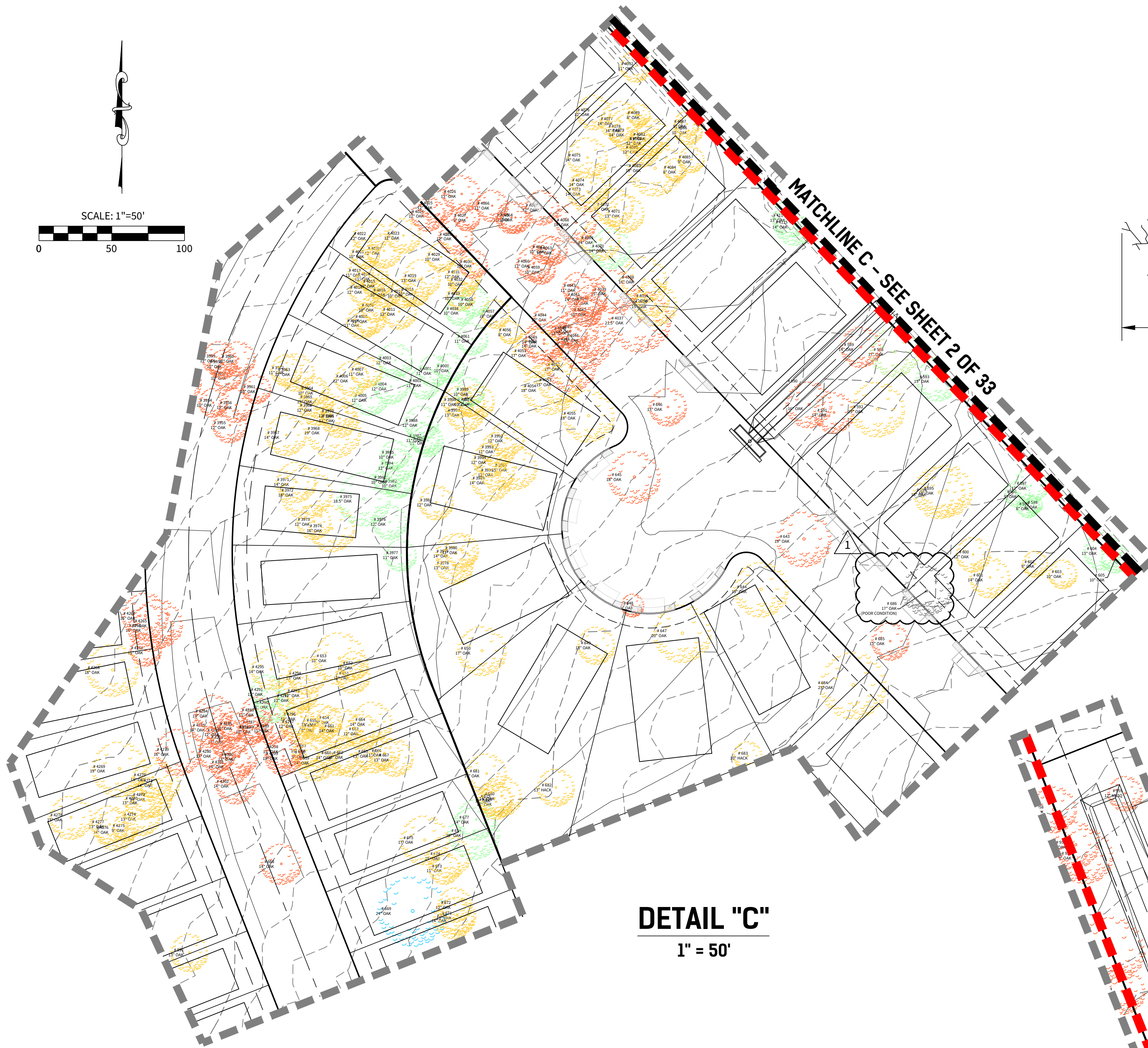
TYPICAL LOT PLANTING - DETAIL

NOT TO SCALE

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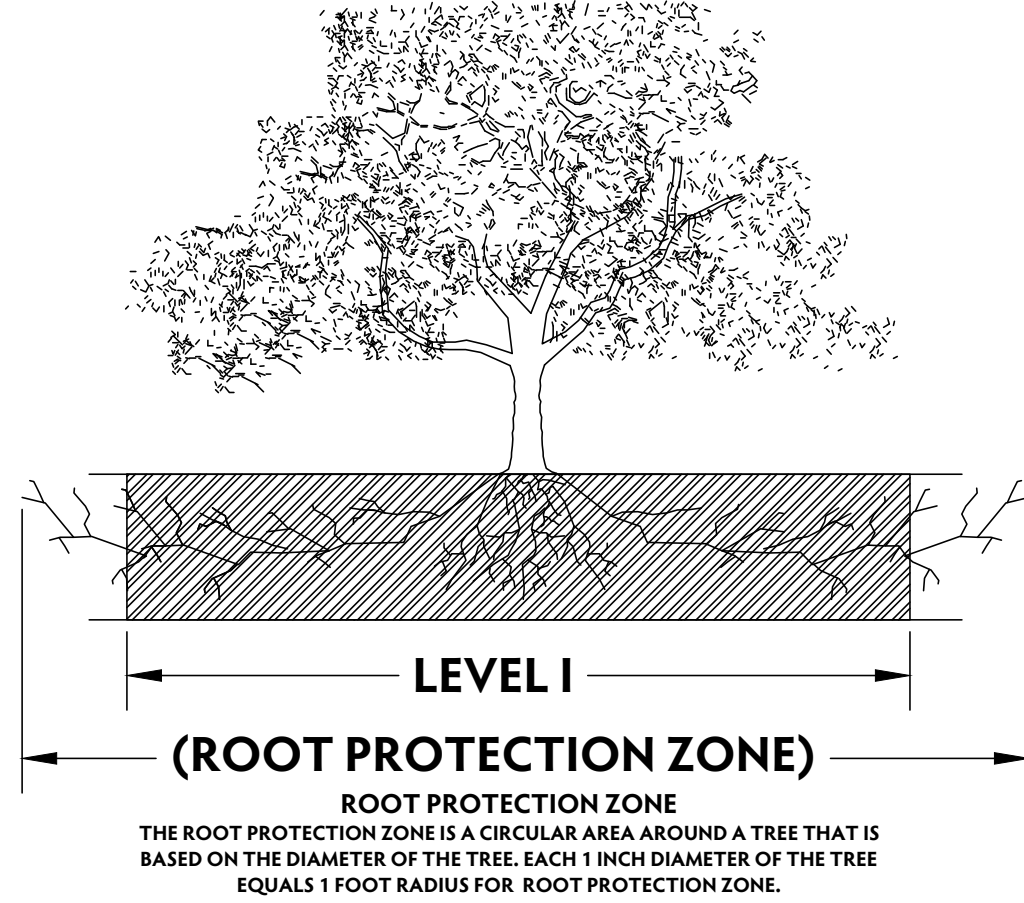
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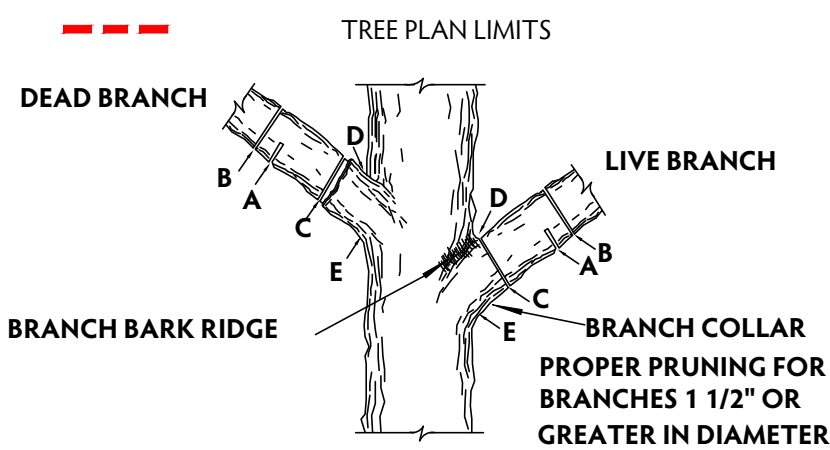
DETAIL "C"

1" = 50'



LEGEND

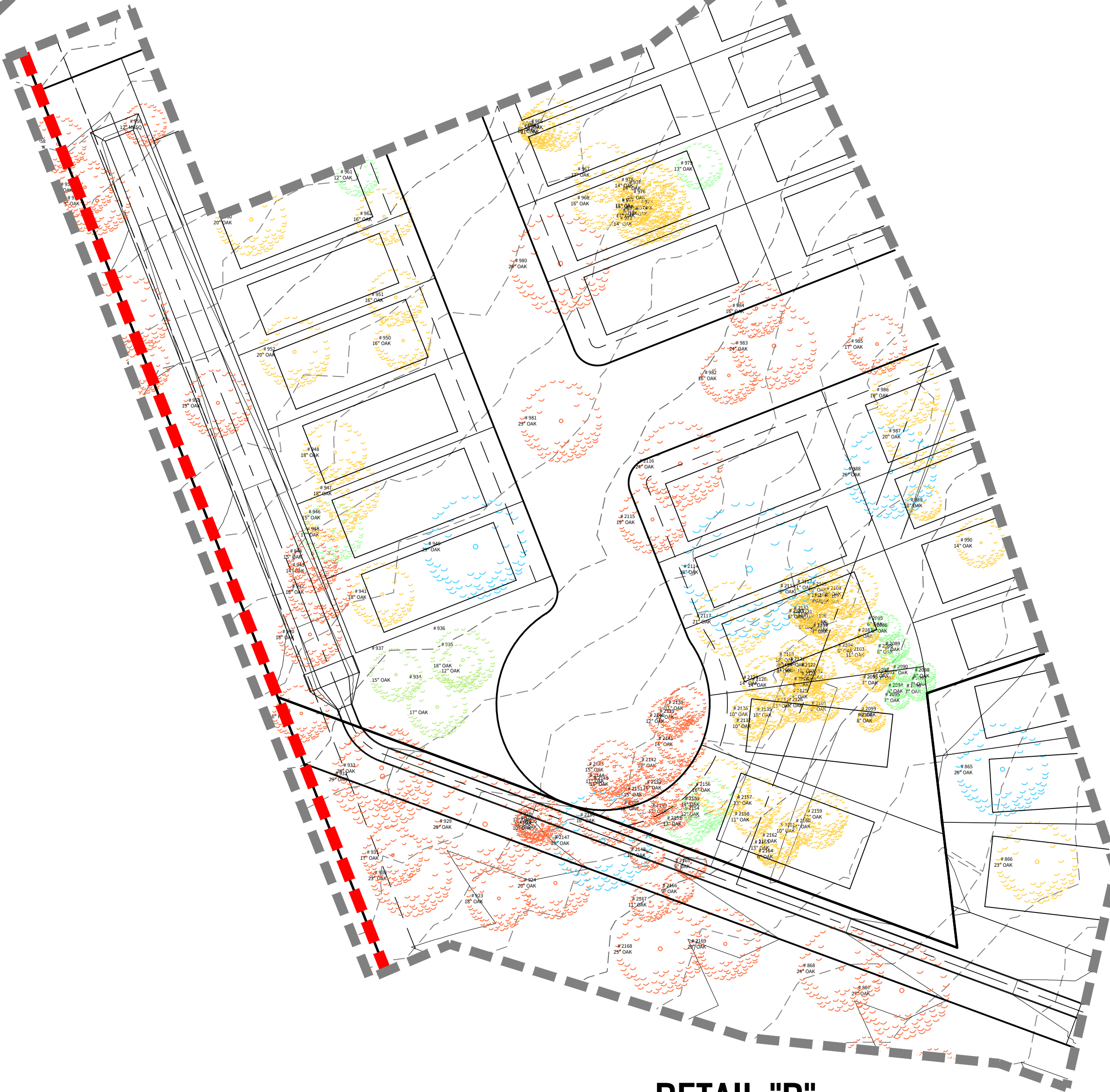
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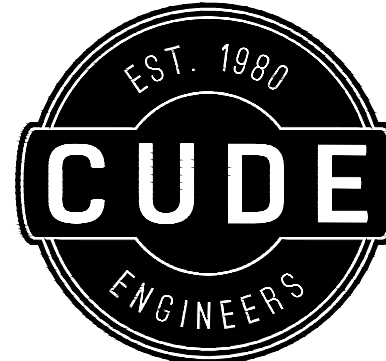
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DETAIL "D"

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CORLEY FARMS
TAKE 1 & 2

TREE PRESERVATION PLAN
DETAIL SHEET

DATE

11/06/2023

PROJECT NO.

03481.000

DRAWN BY

C3

CHECKED BY

JC/DDC

REVISIONS

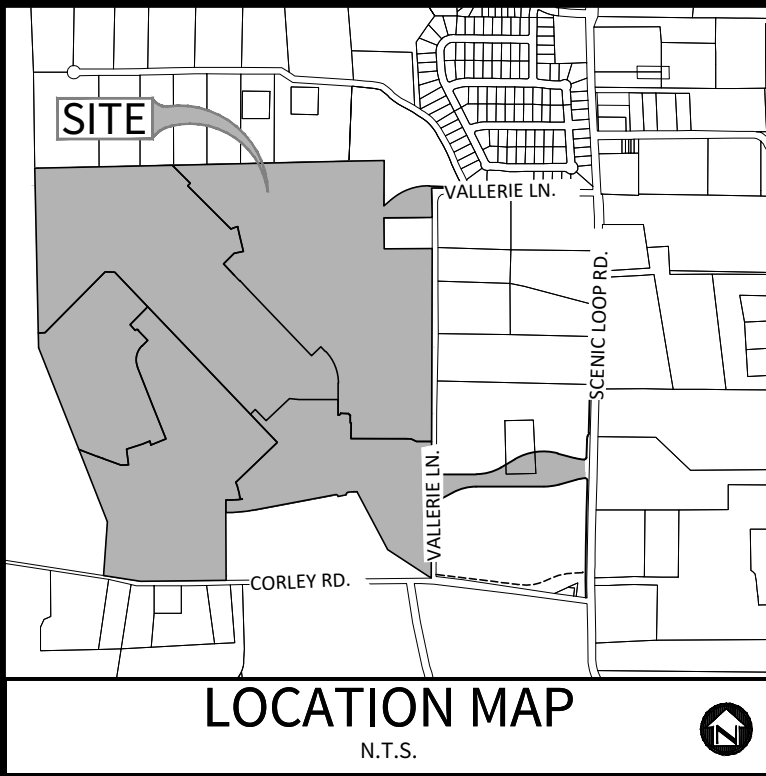
- 2022-04-05 - DISTRICT COMMENTS
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CUDE ENGINEERS

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TPP-23



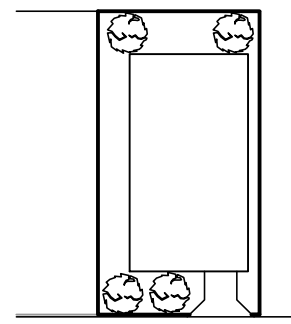
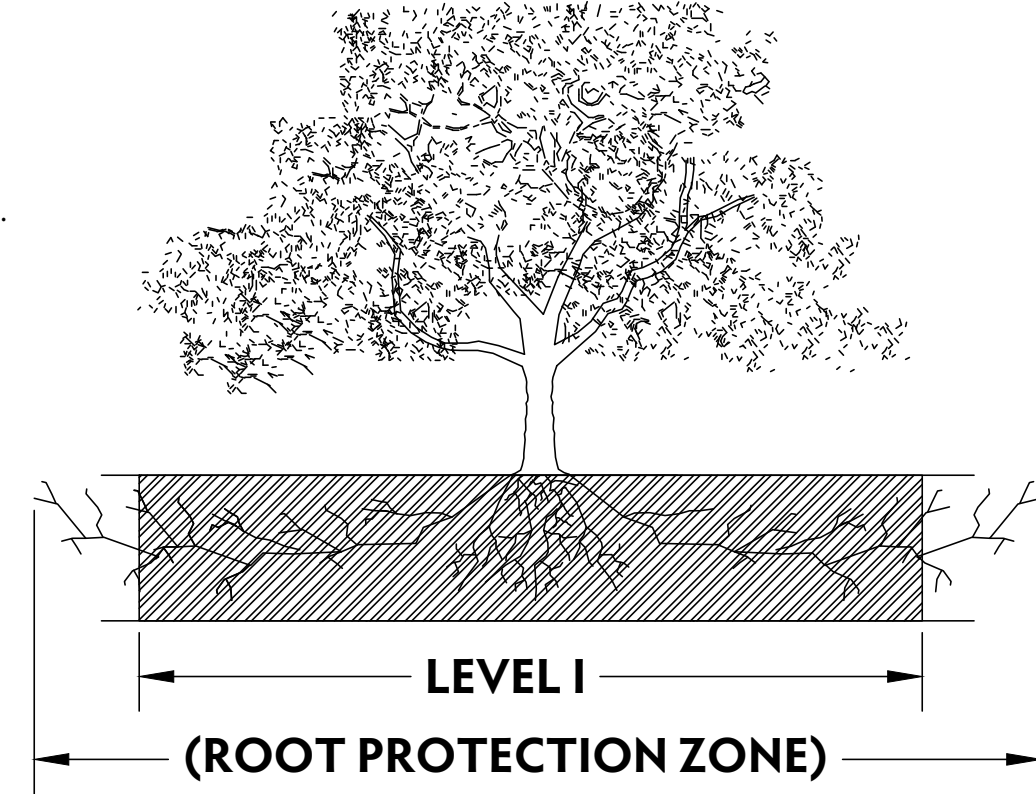
OWNER/DEVELOPER:

PULTE HOMES OF TEXAS, L.P.
CONTACT PERSON: FELIPE GONZALEZ
1718 DRY CREEK WAY, SUITE 120
SAN ANTONIO, TX 78259
TEL: (210) 818-7104
FAX: (210) 496-0449

CIVIL ENGINEER:

M.W. CUDE ENGINEERS, L.L.C.
CONTACT PERSON: DAVID D. CUPIT II, P.E.
4122 POND HILL ROAD, SUITE 101
SAN ANTONIO, TX 78231
TEL: (210) 681-2951
FAX: (210) 523-7112

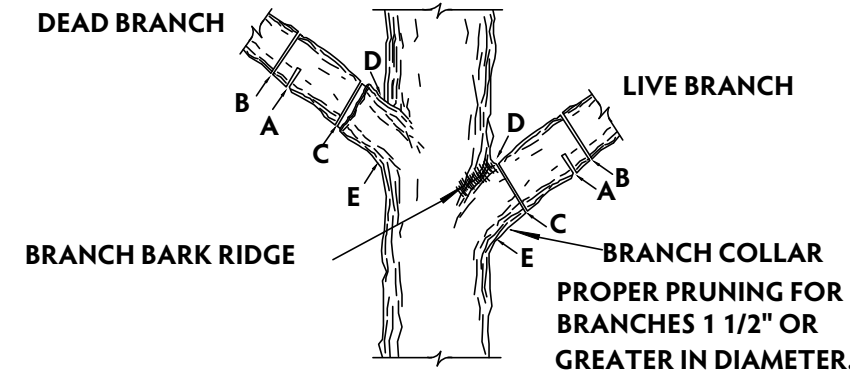
SCALE: 1"=50'
0 50 100



TYPICAL LOT PLANTING - DETAIL

NOT TO SCALE

NOTE: TREES PLANTED IN THE SOUTH OR WEST OF PROPOSED HOME SHALL RECEIVE ENERGY CREDIT PER UDC SECTION 35-523.



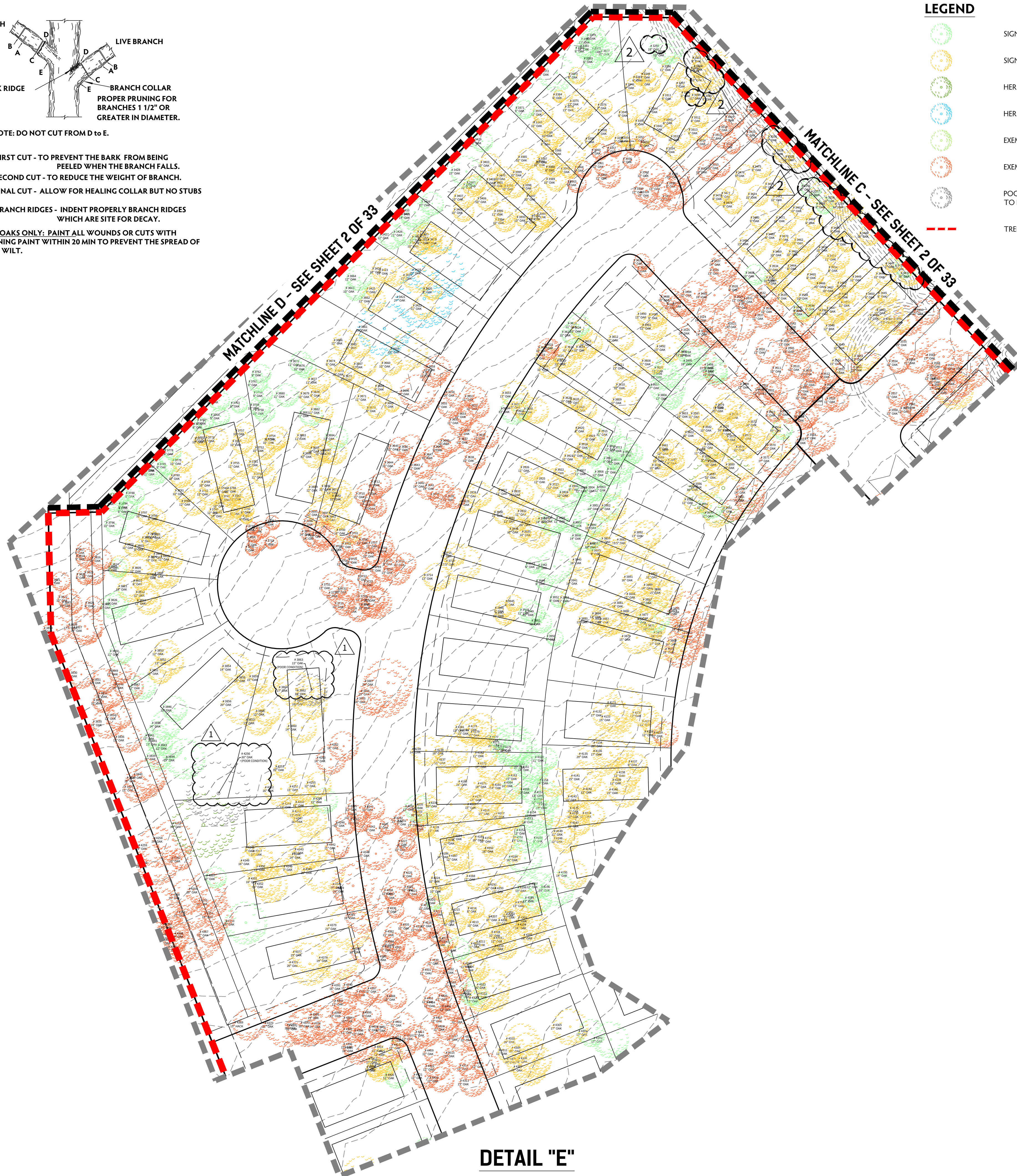
NOTE: DO NOT CUT FROM D to E.

- FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.
- SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
- FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS
- BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

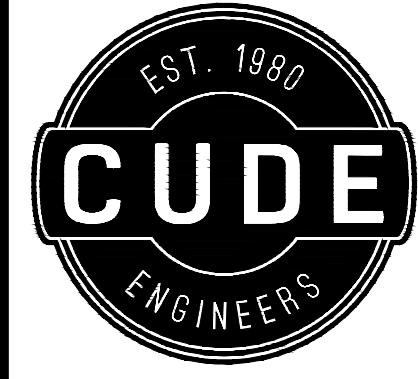
LEGEND

- SIGNIFICANT TREE TO BE PRESERVED
- SIGNIFICANT TREE TO BE REMOVED
- HERITAGE TREE TO BE PRESERVED
- HERITAGE TREE TO BE REMOVED
- EXEMPT TREE PRESERVED
- EXEMPT TREE REMOVED
- POOR CONDITION TREE TO BE REMOVED
- TREE PLAN LIMITS



NOTES:

- CORLEY FARMS IS SUBJECT TO THE CITY OF SAN ANTONIO 2010 TREE ORDINANCE.
- CONTRACTOR TO UPDATE TREE PRESERVATION PLAN FOR CHANGES DURING CONSTRUCTION AND NOTIFY ENGINEER ACCORDINGLY. THE REVISED TREE PRESERVATION PLAN WILL BE RESUBMITTED AND APPROVED BY THE DISTRICT UPON FINAL ACCEPTANCE OF ALL SUBDIVISION IMPROVEMENTS.
- THE RPZ SHALL BE DETERMINED BY TREE SIZE (12" RADIUS FROM TRUNK FOR EVERY 1" DIAMETER OF TRUNK AT 4.5' FROM GROUND) WITH A MINIMUM 5' DIAMETER FROM THE TRUNK.
- A (CHAINLINK OR ORANGE MESH FENCE) BARRIER AROUND THE RPZ SHALL BE ERRECTED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
- RPZ SHALL BE SUSTAINED IN A NATURAL STATE AND SHALL BE FREE FROM VEHICULAR OR MECHANICAL TRAFFIC; NO FILL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED INSIDE THE PROTECTIVE BARRIER.
- THE RPZ SHALL BE COVERED WITH 6" OF COARSE MULCH TO REDUCE MOISTURE STRESS.
- ANY DAMAGE DONE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY. ALL WOUNDS TO OAKS WILL BE PAINTED WITH PRUNING PAINT WITHIN 30 MINUTES AFTER DAMAGE. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS WILL BY CUT CLEANLY.
- THE PROPOSED FINISH GRADE AND ELEVATION OF LAND WITHIN THE ROOT PROTECTION ZONE OF ANY TREE TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THEN 3". WELLING AND RETAINING METHODS ARE ALLOWED OUTSIDE THE RPZ.
- THE RPZ SHALL REMAIN PERVIOUS, I.E. GROUNDCOVER OR TURF AT COMPLETION OF LANDSCAPE DESIGN.
- THE DEVELOPER OR BUILDER SHALL BE RESPONSIBLE FOR PLANTING TWO (2) 2" CALIPER TREES PER RESIDENTIAL LOT. NOT MORE THAN 25% OF THESE PLANTED TREES SHALL BE OF THE SAME SPECIES.
- BUILDING SETBACK DIMENSIONS ARE AS FOLLOWS:
FRONT = 20' MIN.
REAR = 20'
SIDE = 5'
SIDE ADJACENT TO STREET = 10'
- THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE PLANTING, ESTABLISHMENT & MAINTENANCE OF THE TREES LOCATED IN COMMON AREAS.
- TREES PLANTED IN EASEMENTS CONTAINING OVERHEAD ELECTRIC LINES SHALL BE SMALL TO MEDIUM SPECIES.



4122 Pond Hill Road, Suite 101
San Antonio, Texas 78231
P:(210) 681.2951 F: (210) 523.7112

**CORLEY FARMS
TAKE 1 & 2
TREE PRESERVATION PLAN
DETAIL SHEET**

DATE	05/14/2024
PROJECT NO.	03481.000
DRAWN BY	C3
CHECKED BY	AL/AD

REVISIONS
1. 2022-04-05 - DISTRICT COMMENTS
2. 2024-05-14 - TREE PRESERVATION UPDATE
3.
4.
5.
6.
7.
8.
9.

CUDE ENGINEERS
TBPE No. 455
TBPLS No. 10048500

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