

GREENSPPOINT HEIGHTS

UNIT 3B

SEGUIN, TEXAS

CIVIL SITE CONSTRUCTION PLANS

M/I HOMES OF SAN ANTONIO, LLC
4949 N. LOOP 1604 WEST
SAN ANTONIO, TEXAS 78249



PROJECT LOCATION MAP

SCALE: N.T.S.

PROJECT BENCHMARK

SITE TBM #52
SET MAG IN BOC
N: 13767808.168
E: 2281821.220
ELEV: 578.61

SITE TBM #54
SET MAG IN BOC
N: 13768766.896
E: 2281744.113
ELEV: 592.12

LEGAL DESCRIPTION

BEING A 10.38 ACRE TRACT OF LAND SITUATED IN THE JOHN D. CLEMENTS SURVEY, ABSTRACT NO. 11, GUADALUPE COUNTY, TEXAS, BEING A PORTION OF A 214.411 ACRE TRACT RECORDED IN DOCUMENT NO. 2018-99023476, OFFICIAL PUBLIC RECORDS, GUADALUPE COUNTY, TEXAS.

SPRINGS HILL WATER SUPPLY CORPORATION NOTES:

- EXISTING WATER INFRASTRUCTURE IN THE VICINITY OF THE TRACT IS AVAILABLE TO SERVE THE PROPOSED DEVELOPMENT. IF THE DEVELOPMENT EXCEEDS THE CAPACITY OF THE EXISTING WATER INFRASTRUCTURE, THEN IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO MAKE THE NECESSARY IMPROVEMENTS TO THE EXISTING WATER INFRASTRUCTURE TO PROVIDE SUFFICIENT CAPACITY. THE EXTENT OF THE NECESSARY WATER IMPROVEMENTS WILL BE OUTLINED IN A MEMORANDUM OF UNDERSTANDING OR NON-STANDARD SERVICE AGREEMENT PRIOR TO THE APPROVAL OF ANY FINAL PLAT.
- SHWSC SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
- ANY EASEMENT DESIGNATED AS A SHWSC UTILITY EASEMENT SHALL REMAIN OPEN ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
- ALL SHWSC EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ANY SHWSC FACILITY LOCATED WITHIN SAID EASEMENT.
- WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH SPRINGS HILL WATER SUPPLY CORPORATION STANDARD DRAWINGS AND SPECIFICATIONS.
- WATER MAIN SHALL HAVE A MINIMUM OF 30 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
- CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
- NO METER BOXES TO BE SET IN DRIVEWAYS. ANY METER BOX SET IN A DRIVEWAY WILL BE RELOCATED AT THE CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, DRIVEWAYS, OR ROADWAYS. SHWSC WILL NOT BE RESPONSIBLE FOR ANY DAMAGES TO CONCRETE OR PAVED AREAS IF DEVELOPER DOES NOT COMPLY.
- PERMANENT TIE-INS TO IN-SERVICE MAINS SHALL ONLY BE CONSTRUCTED FOLLOWING FLUSHING, DISINFECTION, TESTING, AND APPROVAL BY SHWSC. TEMPORARY CONNECTIONS FOR FILLING, FLUSHING, AND TESTING MUST BE EQUIPPED WITH SHWSC-PROVIDED BACKFLOW PREVENTION TO MAINTAIN CROSS-CONNECTION CONTROL

GENERAL NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER OF RECORD. IN ACCEPTING THESE PLANS, THE CITY OF SEGUIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE ENGINEER OF RECORD.
- IF CONSTRUCTION HAS NOT COMMENCED WITHIN TWO-YEAR OF CITY APPROVAL FOR CONSTRUCTION, THAT APPROVAL IS NO LONGER VALID.
- THE MOST CURRENT EDITIONS OF THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS AND THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES SHALL FOLLOWED FOR ALL CONSTRUCTION EXCEPT AS AMENDED BY THE CITY OF SEGUIN STANDARD DETAILS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE CITY SEGUIN TO SET A PRE-CONSTRUCTION MEETING.
- CONTRACTOR TO CONTACT ASSIGNED CAPITAL PROJECTS CONSTRUCTION INSPECTOR OR CONSTRUCTION PROJECT MANAGER IN ACCORDANCE WITH THE PRE-CONSTRUCTION MEETING REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL DEVICES ARE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS AND LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IF THE NEED ARISES, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES MAY BE ORDERED BY THE ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO INCREASING RUNOFF FROM THE SITE.
- NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE GUADALUPE COUNTY, TEXAS, FIRM PANEL NUMBER 48187C0260F EFFECTIVE DATE 11/02/2007, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THIS PROJECT IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
- GAS UTILITIES ARE NOT INCLUDED IN THE CIVIL CONSTRUCTION PLANS. FINAL GAS UTILITY DESIGN SHALL BE APPROVED BY THE CITY FOR WORK WITHIN PUBLIC RIGHT-OF-WAY.

REQUIRED PERMITS

NUMBER

- CITY OF SEGUIN (STREETS & DRAINAGE) #
- CITY OF SEGUIN (SANITARY SEWER) #
- SPRINGS HILL WATER CO. (WATER) #
- GUADALUPE VALLEY ELECTRIC CO-OP (ELEC) #

SPRINGS HILL WATER SUPPLY CORPORATION

Date

Note: The Springs Hill Water Supply Corporation (SHWSC) signature above indicates that SHWSC has reviewed this document for general conformance with SHWSC requirements. SHWSC assumes no responsibility for the completeness and/or accuracy of these documents. Responsibility for the engineering adequacy of the facilities depicted in this document lies solely with the Texas Licensed Professional Engineer whose seal and signature is affixed to this document.

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JANUARY 2024



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NOTE TO CONTRACTOR:

BY THE ACT OF SUBMITTING A BID FOR THIS PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS, SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS' AND MATERIAL SUPPLIERS' KNOWLEDGE, ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION ONLY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH OF THE INDIVIDUAL UTILITIES FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION.

ANY QUANTITIES PROVIDED BY HMT OR OWNER ON THE PLANS, OPINION OF PROBABLE COST, BID SUMMARIES, ETC. ARE FOR CURSORY USE ONLY. CONTRACTOR IS RESPONSIBLE FOR BIDDING SIGNED AND SEALED CONSTRUCTION PLANS. IF A DISCREPANCY EXISTS, CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY.

CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION AND ELEVATION OF ALL DOWNSTREAM CONNECTION POINTS PRIOR TO CONSTRUCTION. IF A DISCREPANCY EXISTS, CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY.

CONTRACTOR SHALL INSTALL ALL GRAVITY SEWER, GRAVITY STORM SEWER, CURBS AND PAVEMENT FROM THE MOST DOWNSTREAM POINT OF CONNECTION. IF IMPROVEMENTS ARE CONSTRUCTED FROM UPSTREAM TO DOWNSTREAM, THEN THE CONTRACTOR WILL TAKE FULL RISK AND LIABILITY OF ANY ISSUES THAT MIGHT ARISE FROM FLOWLINE ELEVATION DISCREPANCIES, UTILITY CONFLICTS, ETC.

CONTRACTOR IS RESPONSIBLE FOR THE STOCKPILING OF ANY EXCESS DIRT. ALL BIDS FROM CONTRACTOR SHOULD ACCOUNT FOR THE REMOVAL AND PLACEMENT OF ALL EARTHWORK TO INCLUDE STOCKPILING, EXPORT, IMPORT, ETC. IF A LOCATION OF PLACEMENT OF EXCESS DIRT IS NOT SHOWN ON THE PLANS, THEN CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE THE MOST SUITABLE STOCKPILE LOCATION.

GREENSPPOINT HEIGHTS UNIT 3B
CIVIL SITE CONSTRUCTION PLANS

HMT # 310.012

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL COMPLY WITH:

A. CURRENT CITY OF SEGUIN CONSTRUCTION SPECIFICATIONS AND STANDARDS AS OF THE DATE OF THIS CONTRACT

B. THE MOST CURRENT EDITION OF TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES".

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT TEXAS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES," ALONG WITH CURRENT CITY OF SEGUIN AND GUADALUPE COUNTY SPECIFICATIONS. ANY DISCREPANCIES BETWEEN SPECIFICATIONS SHALL BE RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES, AND TAXES AREA AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.

ANY EXISTING OFF-SITE IMPROVEMENTS THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE OWNER OF THE EXISTING IMPROVEMENT AT THE CONTRACTOR'S EXPENSE. (NO SEPARATE PAY ITEM)

WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OR CONSENT OF THE DESIGNER OR ENGINEER WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100YR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.

BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE PROVIDING CONTINUOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.

CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.

WHEN MATCHING EXISTING PAVEMENTS, CURBS, DRIVES, AND WALKS, THEY SHALL BE SAW CUT FULL DEPTH AND REMOVED TO ALLOW FOR PROPOSED CONSTRUCTION. IF ANY EXISTING JOINT IS ENCOUNTERED, PRECAUTION SHALL BE TAKEN DURING REMOVAL OF CONCRETE SO AS NOT TO DAMAGE EXISTING DOWELS. ALL EXISTING DOWELS SHALL BE EXPOSED AND CLEANED.

ITEM OF WORK DESIGNATED "BY OTHERS" SHALL NOT BE CONSIDERED PART OF THIS CONTRACT.

ALL "COMPACTED SUBGRADE" SHALL CONSIST OF NATIVE MATERIAL SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES AND COMPACTED TO 95% DENSITY ACCORDING TO DENSITY TEST METHOD TEX-115E OR ACCORDING TO ASTM D-698 AND TESTED BY ASTM D-2922.

ALL "FLEXIBLE BASE" SHALL BE TYPE "A", GRADE 4, ACCORDING TO TXDOT ITEM 247, COMPACTED TO 95% MODIFIED DENSITY AT A MOISTURE CONTENT BETWEEN -2 AND +3 OF OPTIMUM PERCENT MOISTURE ACCORDING TO ASTM D-1557 (MODIFIED PROCTOR) AND TESTED BY ASTM D-2922.

ASPHALT PAVEMENT SHALL BE THE TYPE SPECIFIED ON THE PLANS AND ACCORDING TO TXDOT ITEM 340 "HOT MIX ASPHALT CONCRETE PAVEMENT".

PRIME COAT USING MC-30 AT A RATE OF 0.2 GALLONS PER SQUARE YARD SHALL BE PLACED OVER PREPARED BASE AT LEAST ONE DAY PRIOR TO LAYING ASPHALTIC CONCRETE PAVEMENT. ANY NECESSARY TACK COAT SHALL BE MC-30 AT 0.05 GALLONS PER SQUARE YARD. IT IS REQUIRED THAT BOTH THE PRIME COAT AND THE TACK COAT BE APPLIED AT THE TEMPERATURE SPECIFIED UNDER TXDOT ITEM 300.3.

CONCRETE SHALL BE CLASS "A" ACCORDING TO TXDOT ITEM 421 UNLESS OTHERWISE ON PLANS.

REINFORCING STEEL SHALL BE FROM NEW BILLET AND SHALL CONFORM TO TXDOT ITEM 440. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTER OF BARS EXCEPT WHEN REFERRING TO CLEARANCE.

ALL SAWED JOINTS SHALL BE SAWED WITHIN 24 HOURS OF POURING.

ABSOLUTELY NO WELDING OF REINFORCING BARS OR TORCHING TO BEND REINFORCING BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.

ORDINARY COMPACTION CONTROL IS REQUIRED ON THIS PROJECT.

ALL ROLLING FOR COMPACTION OF ASPHALTIC CONCRETE PAVEMENT SHALL BE COMPLETED BEFORE THE MIXTURE TEMPERATURE DROPS BELOW 175 DEG. (F).

ALL FILL MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL.

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS, OFFICES, DIRECTORS, OR CONSULTANTS, HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.

ALL CMP (CORRUGATED METAL PIPE) USED ON THIS PROJECT SHALL HAVE A MANNING'S "N" VALUE OF 0.024., UNLESS OTHERWISE SHOWN ON PLANS.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTING PER CURRENT CITY OF SEGUIN REQUIREMENTS. ALL TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. ENGINEER AND OWNER RESERVE THE RIGHT TO HAVE THE CONTRACTOR REMOVE AND REPLACE ANY MATERIAL THAT WAS NOT TESTED OR FAILED TESTING. ALL COST ASSOCIATED WITH THE REMOVAL, REPLACEMENT AND TESTING SHALL BE PAID BY THE CONTRACTOR.

ALL PVC SLEEVES SHALL BE INSTALLED 3 FEET BELOW FINISHED GRADE AND ENDS SHALL BE MARKED SO THAT LOCATIONS OF SLEEVES CAN BE EASILY IDENTIFIED.

PRE-CONSTRUCTION CONFERENCE IS REQUIRED, ENGINEER WILL ARRANGE SUCH CONFERENCE IN COORDINATION WITH CITY OF SEGUIN PROJECT MANAGER AND INSPECTOR. NO CONSTRUCTION MAY BEGIN PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.

CONTRACTOR SHALL COORDINATE WITH DRY UTILITY INSTALLERS AND SHARED TRENCHING SHALL BE UTILIZED. CUTTING THE STREETS AFTER COMPLETION BY DRY UTILITIES SHALL NOT BE ACCEPTABLE.

WHEN ALL IMPROVEMENTS ARE FOUND TO BE CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND WITH THE CITY'S STANDARDS, AND UPON RECEIPT OF ONE SET OF "RECORD DRAWINGS" PLANS, AND A DIGITAL COPY OF ALL PLANS (AUTOCAD 2000 MINIMUM) THE CITY ENGINEER SHALL ACCEPT SUCH IMPROVEMENTS FOR THE CITY OF SEGUIN, SUBJECT TO THE GUARANTY OF MATERIAL AND WORKMANSHIP PROVISIONS IN THIS SECTION.

EROSION / SEDIMENTATION CONTROL

AT A MINIMUM, THESE CONTROLS SHALL CONSIST OF ROCK BERMS AND/OR SILT FENCES CONSTRUCTED PARALLEL TO AND DOWN GRADIENT FROM THE TRENCHES. THE ROCK BERM OR SILT FENCES SHALL BE INSTALLED IN A MANNER SUCH THAT ANY RAINFALL RUNOFF SHALL BE FILTERED. HAY BALES SHALL NOT BE USED FOR TEMPORARY EROSION AND SEDIMENTATION CONTROLS.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR. THE CONTRACTOR SHALL REMOVE THE CONTROLS WHEN VEGETATION IS ESTABLISHED AND THE CONSTRUCTION AREA IS STABILIZED (31 TAC 313.5 (C)(12)). ADDITIONAL PROTECTION MAY BE REQUIRED IF EXCESSIVE SOLIDS ARE BEING DISCHARGED FROM THE SITE.

ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER/ENGINEER.

PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS. ACTUAL LOCATIONS MAY VARY SLIGHTLY FROM THE PLANS, BUT WILL BE VERIFIED BY THE ENGINEER/INSPECTOR IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE CONTROLS AT WEEKLY INTERVALS AND AFTER EVERY SIGNIFICANT RAINFALL TO INSURE DISTURBANCE OF THE STRUCTURES HAS NOT OCCURRED. SEDIMENT DEPOSITED AFTER A RAINFALL SHALL BE REMOVED FROM THE SITE OR PLACED IN AN ENGINEER APPROVED DESIGNATED DISPOSAL AREA.

CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT NO EROSION CONTROL MEASURES BLOCK THE DRAINAGE SYSTEM FROM WORKING AS DESIGNED.

UTILITIES

LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION, INCLUDING THOSE NOT SHOWN ON THE DRAWINGS.

ANY EXISTING UTILITIES, ON OR OFF THE SITE, THAT ARE DAMAGED OR UNDERCUT BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND APPROVED BY THE RESPECTIVE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AT:

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO EXCAVATION

SPRINGS HILL WATER SUPPLY CORPORATION (WATER)	(830) 379-7683
CITY OF SEGUIN (SEWER)	(830) 401-2222
GUADALUPE VALLEY ELECTRIC COOPERATIVE (ELECTRIC)	(830) 857-1200
TIME WARNER CABLE	(830) 625-3408
AT&T	(830) 303-1333
TEXAS ONE CALL SYSTEM	(800) 245-4545

DUE TO FEDERAL REGULATIONS TITLE 49, PART 192(B), GAS COMPANIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

CONTRACTOR SHALL REFERENCE GVEC UTILITIES PLANS FOR FINAL ELECTRICAL LINE DESIGNS AND LAYOUT.

WASTEWATER NOTES

REVISION DATE: 3/31/11

- THE CONTRACTOR SHALL MAINTAIN SERVICE TO EXISTING WASTEWATER SYSTEM AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM OF 8" WASTEWATER PIPE AND FITTING (P.V.C. SDR-26, ASTM, D-3034, D-3212, F-477) ARE REQUIRED ON NEW INSTALLATION.
- ALL RESIDENTIAL WASTEWATER SERVICE LATERALS SHALL BE EXTENDED TO THE PROPERTY LINE AND A CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE. SERVICES TO LOTS WILL EXTEND FOUR (4) FEET PAST THE UNDERGROUND ELECTRIC CONDUIT IF ELECTRIC IS INSTALLED IN THE FRONT EASEMENT.
- PIPE BEDDING OF WASTEWATER LINES SHALL BE MANUFACTURED No. 67 CRUSHED STONE.
- SECONDARY BACKFILL OF WASTEWATER LINES SHALL GENERALLY CONSIST OF MATERIALS REMOVED FROM THE TRENCH AND SHALL BE FREE FROM BRUSH, DEBRIS AND TRASH, NO ROCKS OR STONES HAVING ANY DIMENSION LARGER THAN 6 INCHES AT THE LARGEST DIMENSION.
- ALL WASTEWATER PIPES SHALL HAVE COMPRESSION OR MECHANICAL JOINTS AS PER 30 TAC §217.53 (C) (2).
- FOR WASTEWATER LINES LESS THAN 24" IN DIAMETER, SELECT INITIAL BACKFILL MATERIAL SHALL BE PLACED IN TWO LIFTS.
- THE FIRST LIFT SHALL BE SPREAD UNIFORMLY AND SIMULTANEOUSLY ON EACH SIDE AND UNDER THE SHOULDERS OF THE PIPE TO THE MID POINT OR SPRING LINE OF THE PIPE.
- THE SECOND LIFT SHALL BE PLACED TO A DEPTH AS SHOWN ON THE PIPE BACKFILL DETAIL. FOR PIPES LARGER THAN 24", 12" MAXIMUM LIFTS SHALL BE USED.
- ALL MANHOLES MUST BE WATER TIGHT, EITHER MONOLITHIC, CAST-IN-PLACE CONCRETE STRUCTURES OR PREFABRICATED MANHOLES SPECIFICALLY APPROVED BY CITY OF SEGUIN. THE MANHOLES SHALL HAVE WATER-TIGHT RINGS AND COVERS. WHEREEVER THEY ARE WITHIN THE 100 YEAR FLOODPLAIN, THE MANHOLE COVERS SHALL BE BOLTED. EVERY THIRD MANHOLE IN SEQUENCE SHALL HAVE AN ALTERNATE MEANS OF VENTING. 30 TAC §213.5 (C)(3)(A) AND 30 TAC §217.55 (O).
- ALL MANHOLES SHALL BE CONSTRUCTED SO THAT THE TOP OF THE RING IS TWO INCHES (2") ABOVE SURROUNDING GROUND EXCEPT WHEN LOCATED IN PAVED AREA. IN PAVED AREES, THE MANHOLE RING SHALL BE FLUSH WITH PAVEMENT.
- ALL NEW MANHOLES UNLESS APPROVED BY CITY ENGINEERING, ARE TO HAVE COVERS WITH 32" OPENINGS.
- WASTEWATER PIPE CONNECTIONS TO PRE-CAST MANHOLES WILL BE COMPRESSION JOINTS OR MECHANICAL "BOOT TYPE" JOINT AS APPROVED BY CITY OF SEGUIN.
- WASTEWATER LINES SHALL BE TESTED FROM MANHOLE TO MANHOLE.
- IN AREAS WHERE A NEW WASTEWATER MANHOLE IS TO BE CONSTRUCTED OVER AN EXISTING WASTEWATER SYSTEM, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TEST THE EXISTING MANHOLES BEFORE CONSTRUCTION. AFTER THE PROPOSED MANHOLE(S) HAS BEEN BUILT, THE CONTRACTOR SHALL RE-TEST THE EXISTING SYSTEM TO THE SATISFACTION OF THE CONSTRUCTION INSPECTOR. (NO SEPARATE PAY ITEM).
- WHERE THE MINIMUM 9 FOOT SEPARATION DISTANCE BETWEEN WASTEWATER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WASTEWATER LINES SHALL BE IN STRICT ACCORDANCE WITH TCEQ. THE WASTEWATER LINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING THE ASTM SPECIFICATION FOR BOTH PIPES AND JOINTS OF 150 PSI AND SHALL BE IN ACCORDANCE WITH 30 TAC §217.53 (O) & 30 TAC §217.55 (O).
- NO TESTING WILL BE PERFORMED PRIOR TO 30 DAYS FROM COMPLETE INSTALLATION OF THE WASTEWATER LINES. THE FOLLOWING SEQUENCE WILL BE STRICTLY ADHERED TO:
 - PULL MANDREL
 - PERFORM AIR TEST
 - CLEANING OF ANY DEBRIS
 - FLUSHING OF SYSTEM
 - TV INSPECTION (WITHIN 72 HOURS OF FLUSHING)
- A MINIMUM OF 5 FEET OF COVER IS TO BE MAINTAINED OVER THE WASTEWATER MAIN AND LATERALS AT SUBGRADE.
- WASTEWATER MAIN CONNECTIONS MADE DIRECTLY TO EXISTING MANHOLES WILL REQUIRE SUCCESSFUL TESTING OF THE MANHOLE IN ACCORDANCE WITH CITY OF SEGUIN CONSTRUCTION POLICY MANUAL.
- TCEQ AND EPA REQUIRE EROSION AND SEDIMENTATION CONTROL FOR CONSTRUCTION OF WASTEWATER COLLECTION SYSTEMS. DEVELOPER OR AUTHORIZED REPRESENTATIVE SHALL PROVIDE EROSION AND SEDIMENTATION CONTROL AS NOTES ON THE PROJECT'S PLAN AND PROFILE SHEETS. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE REMOVED BY THE CONTRACTOR AT FINAL ACCEPTANCE OF THE PROJECT BY CITY OF SEGUIN.

WATER NOTES

REVISED 03/22

SHWSC GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THE PROJECT SHALL BE APPROVED BY SHWSC AND COMPLY WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL WRITTEN APPROVAL IS OBTAINED FROM SHWSC. WORK COMPLETED BY THE CONTRACTOR, WHICH HAS NOT RECEIVED AN APPROVAL, WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR AT THE PREROGATIVE OF SHWSC.
- THE DEVELOPER DEDICATES THE WATER MAINS UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY SHWSC. SHWSC WILL OWN AND MAINTAIN SAID WATER MAINS WHICH ARE LOCATED WITHIN SAID SUBDIVISION (AS APPLICABLE).
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNERS AND THE ENGINEER AND HIS EMPLOYEES, PARTNERS OFFICERS, DIRECTORS, OR CONSULTANTS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER, ENGINEER'S DIRECTORS, OFFICERS, EMPLOYEES, OR CONSULTANTS.
- CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION, ANY DAMAGES DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES, AND EXISTING UTILITIES (NOT ADJUSTED ON PLANS). COST OF RESTORATIONS, IF ANY, SHALL BE THE CONTRACTOR'S ENTIRE EXPENSE.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION.
- CONTRACTOR SHALL PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, FEES AND TAXES AND GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
- NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
- THE CONTRACTOR SHALL NOT PLACE ANY MATERIALS ON THE RECHARGE ZONE OF THE EDWARDS AQUIFER WITHOUT AN APPROVED WATER POLLUTION ABATEMENT PLAN FROM THE TCEQ 31 TAC 313.4 AND 31 TAC 313.9.
- BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SHALL BE LOCATED TO PROVIDE MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT WHILE ALWAYS PROVIDING CONTINUOUS TRAFFIC FLOW DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL DEVICES DURING CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO VERIFY PROJECT ELEVATIONS. THE TERM "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH HORIZONTAL AND VERTICAL ALIGNMENT.
- THE LOCATION OF UTILITIES, EITHER UNDERGROUND OR OVERHEAD, SHOWN WITHIN THE RIGHT OF WAY ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION OPERATIONS.

- OSHA REGULATIONS PROHIBIT OPERATIONS THAT WILL BRING PERSONS OR EQUIPMENT WITHIN 10 FEET OF AN ENERGIZED LINE. WHERE WORKMEN AND/OR EQUIPMENT HAVE TO WORK CLOSE TO AN ENERGIZED ELECTRICAL LINE, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL POWER COMPANY INVOLVED AND MAKE WHATEVER ADJUSTMENTS NECESSARY TO ENSURE THE SAFETY OF THOSE WORKMEN.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION. UTILITY COMPANIES ARE ALSO PREVIOUSLY MENTIONED IN "UTILITY COMPANY NOTIFICATION".
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192 (B), GAS COMPANIES MUST ALWAYS MAINTAIN ACCESS TO GAS VALVES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE TRAFFIC CONTROL AND WILL BE RESPONSIBLE FOR FURNISHING ALL TRAFFIC CONTROL DEVICES, AND FLAGGERS. THE CONSTRUCTION METHODS SHALL BE CONDUCTED TO PROVIDE THE LEAST POSSIBLE INTERFERENCE TO TRAFFIC TO ALWAYS PERMIT THE CONTINUOUS MOVEMENT OF THE TRAFFIC IN ONE DIRECTION. THE CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE WORK AREA ANY LOOSE MATERIAL RESULTING FROM CONTRACT OPERATIONS AT THE END OF EACH WORKDAY.
- PRIOR TO ORDERING MATERIALS TO BE USED IN CONSTRUCTION, CONTRACTOR SHALL PROVIDE SHWSC WITH FOUR (4) COPIES OF THE SOURCE, TYPE, GRADATION, MATERIAL SPECIFICATION DATA AND / OR SHOP DRAWINGS, AS APPLICABLE, TO SATISFY THE REQUIREMENTS OF THE FOLLOWING ITEMS AND ALL MATERIAL ITEMS REFERRED TO IN THESE LISTED ITEMS: A. WATER MAINS AND SERVICES
- NO METER BOXES, VALVES, TO BE SET IN DRIVEWAYS OR SIDEWALKS. ANY METER BOXES SET IN THESE AREAS WILL BE RELOCATED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- WHERE THE MINIMUM 9-FOOT SEPARATION DISTANCE BETWEEN SEWER LINES AND WATER LINES / MAINS CANNOT BE MAINTAINED, THE INSTALLATION OF WATER LINES SHALL BE IN STRICT ACCORDANCE WITH TCEQ.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNER/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- UTILITY TRENCH COMPACTION WITH STREET RIGHT-OF-WAY.

- ALL UTILITY TRENCH COMPACTION TEST WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER.
- FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE.
- EACH LAYER OF MATERIAL SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E.
- THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEO-TECHNICAL ENGINEER AND APPROVED BY SHWSC.
- UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE SHWSC INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CONSTRUCTION NOTES

GROUNDWATER

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS, BUILDERS, GEO-TECHNICAL ENGINEER, AND PROJECT ENGINEER TO IMMEDIATELY NOTIFY THE OFFICE OF THE CITY ENGINEER AND PROJECT ENGINEER IF THE PRESENCE OF GROUNDWATER WITHIN THE SITE IS EVIDENT. UPON NOTIFICATION THE PROJECT ENGINEER SHALL RESPOND WITH PLAN REVISIONS FOR THE MITIGATION OF THE GROUNDWATER ISSUE. THE CITY ENGINEER SHALL RESPOND WITHIN TWO (2) BUSINESS DAYS UPON RECEIPT OF THE MITIGATION PLAN. ALL CONSTRUCTION ACTIVITY, IMPACTED BY THE DISCOVERY OF GROUNDWATER, SHALL BE SUSPENDED UNTIL THE CITY ENGINEER GRANTS A WRITTEN APPROVAL OF THE GROUNDWATER MITIGATION PLAN.

DRAINAGE NOTE

DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE THE IMPACT OF CONSTRUCTION SHALL BE INSTALLED PRIOR TO INCREASING RUNOFF FROM THE SITE.

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.

ROADWAY

ALL ROADWAY COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER. FLEXIBLE BASE OR FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED SIX-INCHES (6") COMPACTED. EACH LAYER OF MATERIAL, INCLUSIVE OF SUBGRADE, SHALL BE COMPACTED AS SPECIFIED AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL

BE DETERMINED BY THE GEO-TECHNICAL ENGINEER AND APPROVED BY THE CITY STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY DOOF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER WILL PROVIDE THE CITY OF SEGUIN STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FLEXIBLE BASE, AND FILL MATERIAL, AND SUBGRADE, HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

ITEM 340

ASPHALTIC CONCRETE PAVEMENT SHALL BE TYPE "D" HOT MIX ASPHALT AS DEFINED IN TXDOT'S STANDARD SPECIFICATIONS FOR TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREET AND BRIDGES, 2004 OR LATEST EDITION.

THE CITY OF SEGUIN WILL NOT ACCEPT THE USE OF RECYCLED ASPHALT PAVEMENT (RAP) OR RECYCLED ASPHALT SHINGLES (RAS) IN ASPHALT MIXTURES FOR NEW ROADWAYS. ANY DEBRIS INCLUSIONS WITHIN NEW ASPHALT PAVEMENTS WILL RESULT IN ASPHALT REMOVAL AND REPLACEMENT FROM CURB TO CURB FOR LIMITS TO BE DETERMINED BY THE CITY OF SEGUIN.

THE ASPHALTIC CONCRETE SURFACE COURSE SHALL BE PLANT MIXED, HOT LAID TYPE "D" MEETING THE SPECIFICATION REQUIREMENTS OF 2004 TXDOT ITEM 340. THE MIX SHALL BE DESIGNED FOR A STABILITY OF AT LEAST 35 AND SHALL BE ACCEPTED TO BETWEEN 91 AND 95 PERCENT OF THE MAXIMUM THEORETICAL DENSITY AS DETERMINED BY TXDOT TEST METHOD TEX-227-F. THE ASPHALT CEMENT CONTENT BY PERCENT OF TOTAL MIXTURE WEIGHT SHALL FALL WITHIN A TOLERANCE OF +0.5 PERCENT FROM A SPECIFIC MIX DESIGN.

UTILITY TRENCH COMPACTION (ADDED TO THE CONSTRUCTION PLANS ON ALL UTILITY PLAN SHEETS)).

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEO-TECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E, TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEO-TECHNICAL ENGINEER AND APPROVED BY THE CITY OF SEGUIN STREET INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 100LF FOR EACH LIFT. UPON COMPLETION OF TESTING THE GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CITY OF SEGUIN STREET INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

CURB CUT DUE TO CONSTRUCTION OF NEW RIGHT-OF-WAY CONSTRUCTION

(INDICATE THE 2 OPTIONS ON THE CONSTRUCTION PLANS).

- SAWCUT EXISTING STREET AND MATCH TO NEW CONSTRUCTION.
- SAWCUT EXISTING CURB TO THE INTO EXISTING CONSTRUCTION.

CONSTRUCTION STABILIZED ENTRANCE

SAWCUT CURB FOR CONSTRUCTION ENTRANCE.

STABILIZED CONSTRUCTION AREA SHALL BE CONSTRUCTED OF 3"X5" ROCK TO BE PLACED A MINIMUM LENGTH OF 25-FT. AND MAINTAINED SO THAT CONSTRUCTION DEBRIS DOES NOT FALL WITHIN THE CITY RIGHT-OF-WAY. RIGHT-OF-WAY MUST BE CLEARED FROM MUD, ROCKS, ETC. AT ALL TIMES.

(NOTES TO BE PLACED ON ALL WW PLAN & DETAIL SHEETS)

ENSURE ALL DRIVEWAY APPROACHES ARE BUILT IN GENERAL ACCORDANCE WITH A.D.A. SPECIFICATIONS.

NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, OR DRIVEWAYS.

SIGNING AND PAVEMENT MARKING PLAN NOTES

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY AND WARNING SIGNS, STREETS NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CITY WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

THE CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKINGS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE INSTALLATION OF ALL SEALER AND FINAL MARKINGS. THE CITY WILL INSPECT ALL MARKINGS AT FINAL APPLICATION.

SIGNAGE NOTES

INSTALLATION

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY, WARNING AND STREET NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH APPROVED ENGINEERING PLANS.

MOUNTING

THE WEDGE ANCHOR STEEL SYSTEM AND THIN-WALLED TUBING POST SHALL BE USED FOR SIGNS WITH UP TO 10 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (TWT) - 08.

THE TRIANGULAR SLIP BASE SYSTEM AND 10 BWG TUBING POST SHALL BE USED FOR SIGNS THAT HAVE 10 TO 16 SQUARE FEET OF SIGN AREA. MATERIALS AND INSTALLATION SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS SMD (GEN) - 08 AND SMD (SLIP-1-3)- 08.

OBJECT MARKERS MATERIALS AND INSTALLATION SHOULD FOLLOW THE

TXDOT TRAFFIC STANDARDS D & OM (1 - 5) - 10.

MATERIALS

SIGN MATERIALS INCLUDING ALUMINUM SIGN BLANKS AND SIGN FACE MATERIALS SHOULD FOLLOW THE TXDOT TRAFFIC STANDARDS TSR (1 - 5) - 08 AND DEPARTMENTAL MATERIAL SPECIFICATIONS DMS-7110 AND DMS-8300.

THE CITY OF SEGUIN WILL INSPECT ALL SIGNS AT FINAL INSPECTION.

SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROLS PER APPROVED PLAN.
- TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
- CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
- CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
- CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
- CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
- INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
- CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 70% VEGETATION PRIOR TO COMPLETION
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
- TPDES REQUIREMENTS - DISTURBED AREAS ON WICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY WILL BEGIN AGAIN WITHIN 21 DAYS

290 S. CASTELL AVE., STE. 100

NEW BRAUNFELS, TX 78130

TBPE FIRM F-10961

TBPLS FIRM 1053600



STATE OF TEXAS

CHRISTOPHER J. CRIM

111347

REGISTERED PROFESSIONAL ENGINEER

01/04/2024

GENERAL NOTES

GREENSPPOINT HEIGHTS UNIT 3B

SEGUIN, TEXAS

REVISION DATE

NO.

REVISION DESCRIPTION

DATE: JANUARY 2024

DRAWN BY: MK/RR

DESIGNED BY: MA

REVIEWED BY: CC

HMT PROJECT NO.: 310.012

SHEET

C0.02

Drawing Name: N:_Projects\310 - MI Homes of San Antonio, LLC\012 - Greenspoint Heights Unit 3B\CDA\310.012_PLAT.dwg User: malla Jan 04, 2024 - 8:57am

Drawing Name: T:\310 - MI Homes of San Antonio, LLC\012 - Greenspoint Heights Unit 3B\Plot\Greenspoint Heights Unit 3B Plot.dwg User: RANDY-RUSSELL Jan 03, 2024 - 1:16pm

PLAT NOTES:

1. THIS PROPERTY WILL BE SERVED BY THE FOLLOWING:
ELECTRIC - GUADALUPE VALLEY ELECTRIC COOPERATIVE
TELEPHONE - AT&T
WATER - SPRINGS HILL WATER SUPPLY CORPORATION
SEWER - CITY OF SEGUIN UTILITIES
2. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. GRID DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00015.
3. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON PINS WITH PLASTIC CAP STAMPED "HMT" IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
4. THIS SUBDIVISION IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
5. THIS SUBDIVISION IS WITHIN THE CITY LIMITS OF SEGUIN, TEXAS.
6. THIS SUBDIVISION IS WITHIN THE SEGUIN INDEPENDENT SCHOOL DISTRICT.
7. NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREA (100 YR. FLOOD), AS DEFINED BY THE GUADALUPE COUNTY, TEXAS, FLOOD INSURANCE RATE MAP NUMBER 4818702Z06P, EFFECTIVE DATE NOVEMBER 2, 2007 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
8. NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASE THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF SEGUIN SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
9. THE ELEVATION OF THE LOWEST FLOOR OF STRUCTURE SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
10. THIS UNIT CONTAINS 4 RESIDENTIAL BLOCKS AND 51 BUILDABLE RESIDENTIAL LOTS.
11. SIDEWALKS IN R-2 ZONING DISTRICTS SHALL BE BUILT ALONG AND DIRECTLY ADJACENT TO THE STREET CURB. SIDEWALKS ON RESIDENTIAL LOTS SHALL BE BUILT WHEN BUILDING PERMITS ARE ISSUED FOR HOMES. ALL OTHER SIDEWALKS SHALL BE BUILT WHEN THE ADJACENT STREET IS CONSTRUCTED.
12. DEVELOPMENT IS SUBJECT TO THE CITY OF SEGUIN'S PARKLAND DEDICATION ORDINANCE. HOME OWNERS ASSOCIATION (HOA)/PRIVATE PARKLAND DEDICATION AND OTHER COMMON AREAS WILL BE MAINTAINED IN PERPETUITY BY THE HOA. ALL PARK AMENITIES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE PARK DEVELOPMENT AGREEMENT. THE FEE IN-LIEU-OF WILL BE IN ACCORDANCE WITH THE PARK DEVELOPMENT AGREEMENT.

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED DOROTHY J. TAYLOR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

DOROTHY J. TAYLOR
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6295
290 S. CASTELL AVE., SUITE 100, NEW BRAUNFELS, TEXAS 78130

PLAT PREPARED OCTOBER 11, 2023



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 10153600

FINAL PLAT ESTABLISHING
GREENSPOINT HEIGHTS, UNIT 3B

BEING A 10.38 ACRE TRACT OF LAND SITUATED IN THE JOHN D. CLEMENTS SURVEY,
ABSTRACT NO. 11, GUADALUPE COUNTY, TEXAS, BEING A PORTION OF A 214.411
ACRE TRACT RECORDED IN DOCUMENT NO. 2018-99023476, OFFICIAL PUBLIC
RECORDS, GUADALUPE COUNTY, TEXAS.

SHWSC NOTES

1. THE TRACT IS WITHIN THE BOUNDARIES OF WATER CERTIFICATE OF CONVENIENCE AND NECESSITY NO. 10666, WHICH IS POSSESSED BY SHWSC. SHWSC HAS EXISTING INFRASTRUCTURE IN THE VICINITY OF THE TRACT AVAILABLE TO SERVE THE TRACT.

SHWSC WILL PROVIDE WATER SERVICE AND FIRE FLOW TO SERVE (51 LUE) LIVING UNIT EQUIVALENTS TO BE CONSTRUCTED ON THE REFERENCED TRACT, PURSUANT TO A NON-STANDARD SERVICE AGREEMENT THAT HAS BEEN EXECUTED BY SHWSC AND THE LANDOWNER THAT ASSUMES THE COMPLETION OF THE FOLLOWING PUBLIC INFRASTRUCTURE:

A. 8 INCH MAIN EXTENSION THAT WILL BE CONSTRUCTED
B. FIRE HYDRANTS (2)
2. SHWSC SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
3. ANY EASEMENTS DESIGNATED AS SHWSC UTILITY EASEMENTS SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
4. ALL SHWSC EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING, BUT NOT LIMITED TO, REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ANY SHWSC FACILITY LOCATED WITHIN SAID EASEMENT.

AUTHORIZED AGENT _____ DATE _____
SPRINGS HILL WATER SUPPLY CORPORATION

GVEC NOTES:

1. GVEC WILL POSSESS A 5-FOOT WIDE EASEMENT TO THE SERVICE METER LOCATION. EASEMENT TO FOLLOW SERVICE LINE AND WILL VARY DEPENDING ON LOCATION OF BUILDING OR STRUCTURE.
2. GVEC SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
3. ANY EASEMENT DESIGNATED AS A GVEC 20'x20' UTILITY EASEMENT SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
4. ALL UTILITY EASEMENTS ARE FOR THE CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
5. ALL ELECTRIC EASEMENTS, FOR BOTH PRIMARY AND SECONDARY ELECTRIC SERVICE, INCLUDE RIGHTS OF INGRESS AND EGRESS ACROSS THE SUBDIVISION FOR THE PURPOSE OF INSTALLING, SERVING, AND MAINTAINING THE ELECTRICAL FACILITIES.
6. ANY REQUEST TO SUBSEQUENTLY RELOCATE ANY PORTION OF THE ELECTRIC FACILITIES INSTALLED SHALL BE SUBJECT TO THE COOPERATIVE'S REASONABLE DISCRETION AND THE REQUESTING PARTY SHALL BEAR ALL COSTS ASSOCIATED WITH SUCH RELOCATION.
7. THE COOPERATIVE SHALL ONLY BE REQUIRED TO FILL, GRADE, AND RESTORE GROUND COVER BACK TO ORIGINAL GRADE AS A RESULT OF ANY EXCAVATION BY OR ON BEHALF OF THE COOPERATIVE.

THIS SUBDIVISION PLAT OF GREENSPOINT HEIGHTS UNIT 3B SUBMITTED TO AND APPROVED BY GUADALUPE VALLEY ELECTRIC COOPERATIVE, INC. FOR EASEMENT.

AGENT FOR GUADALUPE VALLEY ELECTRIC COOP., INC. _____ DATE _____

APPROVED THIS THE _____ DAY OF _____, 20____,
BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF
SEGUIN, TEXAS.

CHAIRMAN _____

APPROVED FOR ACCEPTANCE

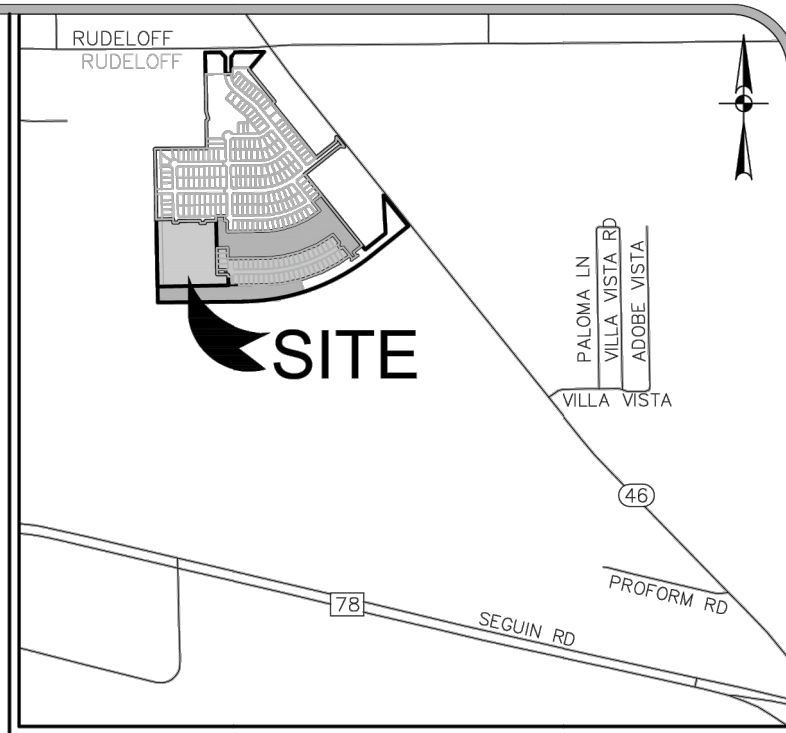
DATE PLANNING DIRECTOR

DATE CITY ENGINEER

STATE OF TEXAS
COUNTY OF GUADALUPE

COUNTY CLERK, GUADALUPE COUNTY, TEXAS

DEPUTY _____



LOCATION MAP
NOT TO SCALE

SHEET 1 OF 2

PLAT (1 OF 2)

GREENSPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JANUARY 2024
DRAWN BY: MK/RR
DESIGNED BY: MA
REVIEWED BY: CC
HMT PROJECT NO.: 310.012

SHEET
C0.03



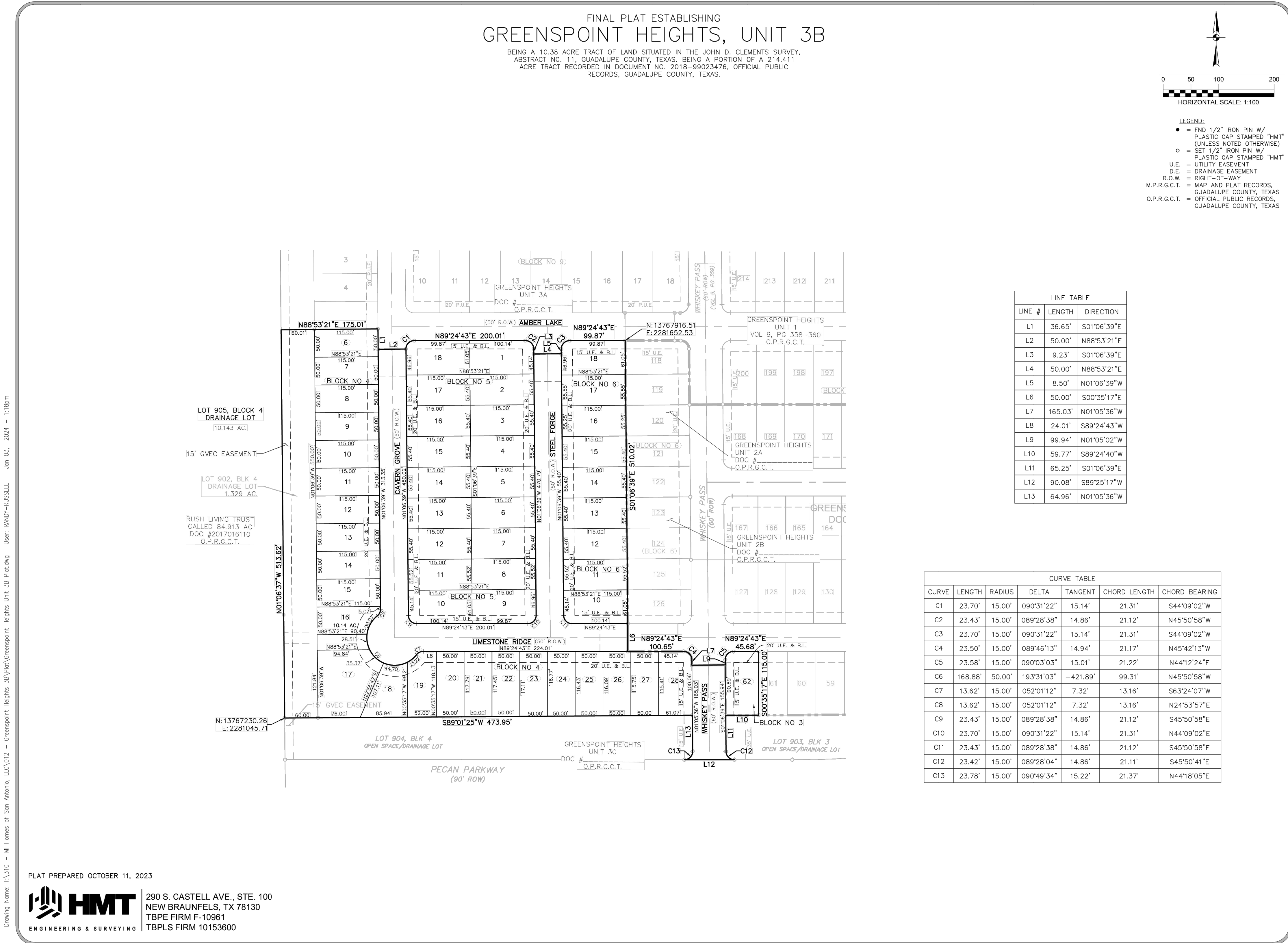
01/04/2024

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TBPE FIRM F-10961
TBPLS FIRM 1053600



FOR REFERENCE ONLY

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FOR REFERENCE ONLY

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

**HMT**
ENGINEERING & SURVEYING


01/04/2024

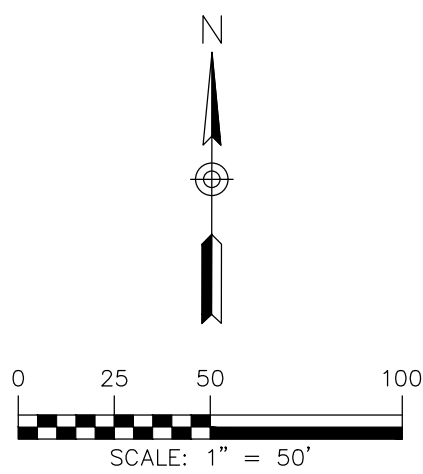
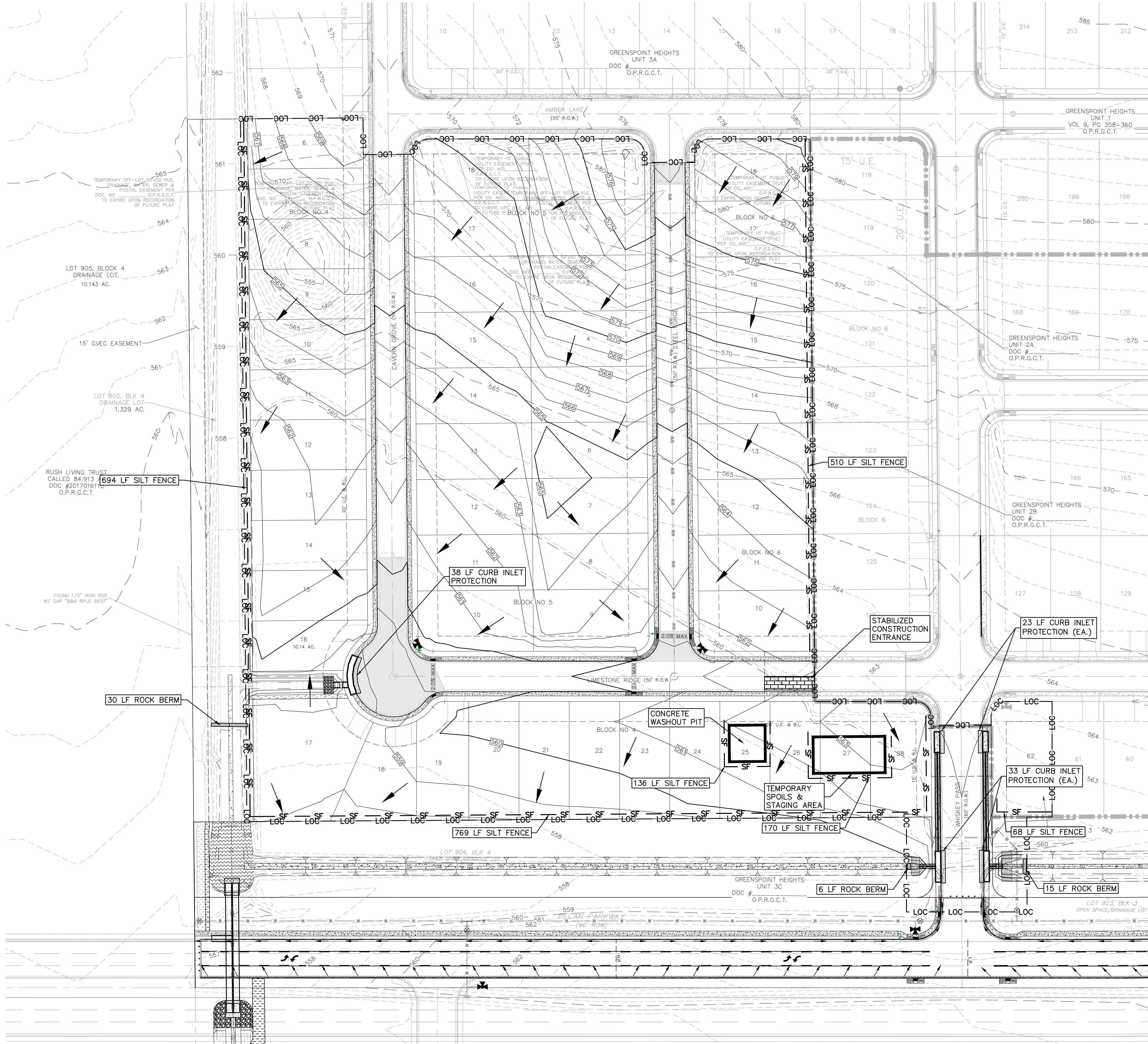
PLAT (2 OF 2)

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JANUARY 2024
DRAWN BY: MK/RR
DESIGNED BY: MA
REVIEWED BY: CC
HMT PROJECT NO.: 310.012

SHEET
C0.04



- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - DRAINAGE FLOW DIRECTION
 - SF — SF — SILT FENCE
 - LOC — LOC — LIMIT OF CONSTRUCTION
 - [Brick Pattern] STABILIZED CONSTRUCTION ENTRANCE
 - [Hatched] FILTER DIKE CURB INLET PROTECTION
 - [Solid] ROCK BERM

NOTE:

PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENT) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING AND/OR HYDROMULCH DOES NOT CONSTITUTE STABILIZATION, MINIMUM 70 PERCENT VEGETATIVE COVER OR DISTURBED AREAS ID REQUIRED.

SILT FENCE AT PROPERTY LINE MAY BE SHOWN GRAPHICALLY OFFSET FROM PROPERTY LINE TO AVOID OVERLAP OF LINEWORK. CONTRACTOR SHALL NOT INSTALL EROSION CONTROL MEASURES BEYOND LIMITS OF CONSTRUCTION REGARDLESS OF GRAPHIC REPRESENTATION.

- SEQUENCE OF CONSTRUCTION**
1. INSTALL EROSION CONTROLS PER APPROVED PLAN.
 2. TEMPORARY CONTROLS TO BE INSPECTED AND MAINTAINED WEEKLY AND PRIOR TO ANTICIPATED RAINFALL EVENTS, AND AFTER RAINFALL EVENTS, AS NEEDED. CONTRACTOR/OWNER SHALL PROVIDE A CONTACT NAME AND NUMBER FOR EROSION CONTROL ISSUES.
 3. CONDUCT DEMOLITION ACTIVITIES, IF APPLICABLE.
 4. CONSTRUCT DRAINAGE IMPROVEMENTS, IF APPLICABLE.
 5. CONSTRUCT CURB INLET PROTECTION AT THE TIME OF CURB INLET INSTALLATION.
 6. CONSTRUCT DEVELOPMENT PER APPROVED PLANS.
 7. INSTALL STREETScape AND/OR LANDSCAPING IMPROVEMENTS.
 8. CONTRACTOR TO VEGETATE ANY DISTURBED AREAS ONCE FINAL GRADING IS COMPLETE, AND ESTABLISH A MIN OF 80% VEGETATION PRIOR TO COMPLETION. PER TPDES REQUIREMENTS, DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARILY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY RESUMES WITHIN 21 DAYS. SEEDING DOES NOT CONSTITUTE AS STABILIZATION.
 9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
 10. TPDES REQUIREMENTS - DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE CEASED (TEMPORARY OR PERMANENTLY) SHALL BE STABILIZED WITHIN 14 DAYS UNLESS ACTIVITY WILL BEGIN AGAIN WITHIN 21 DAYS

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

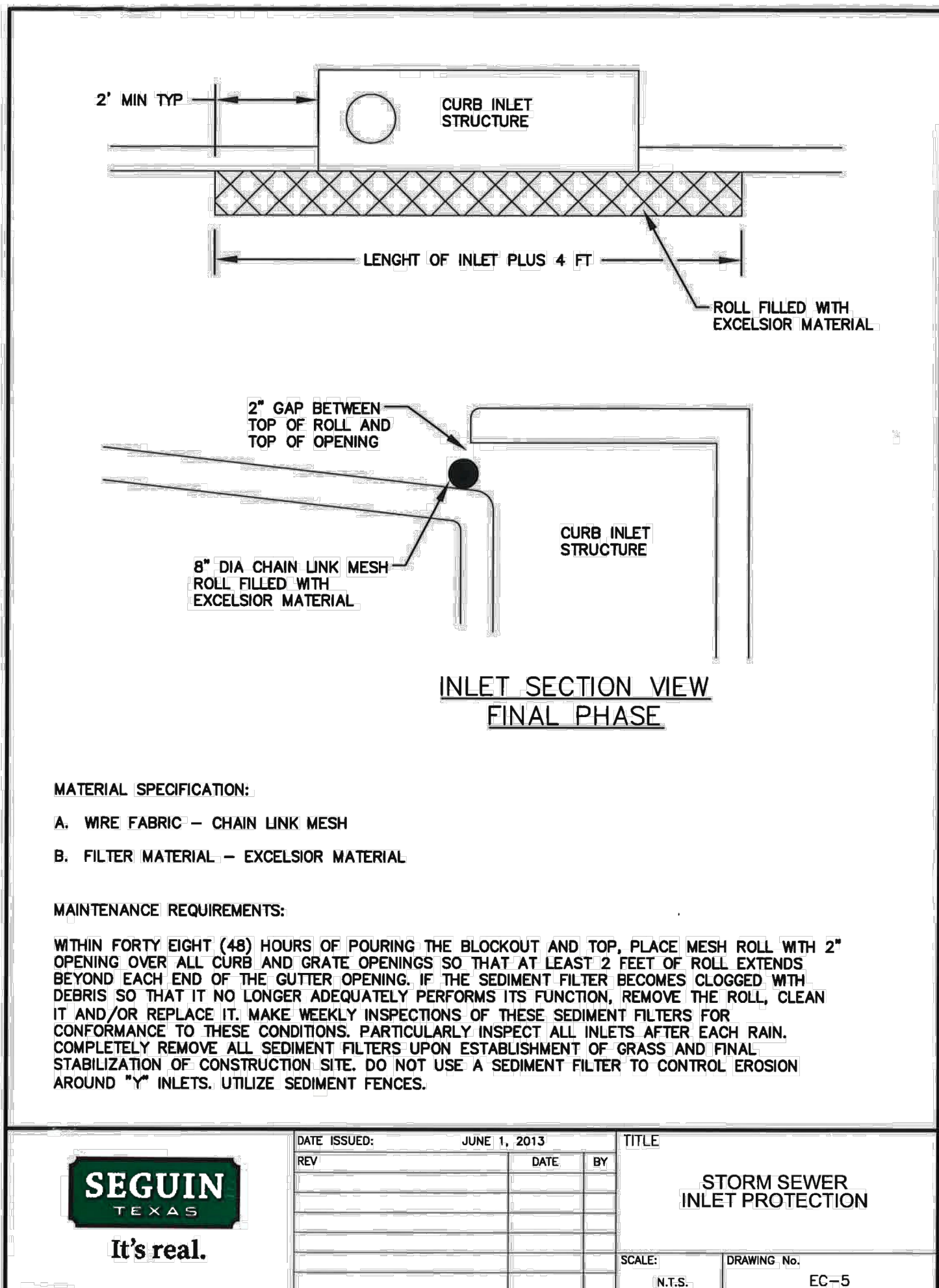
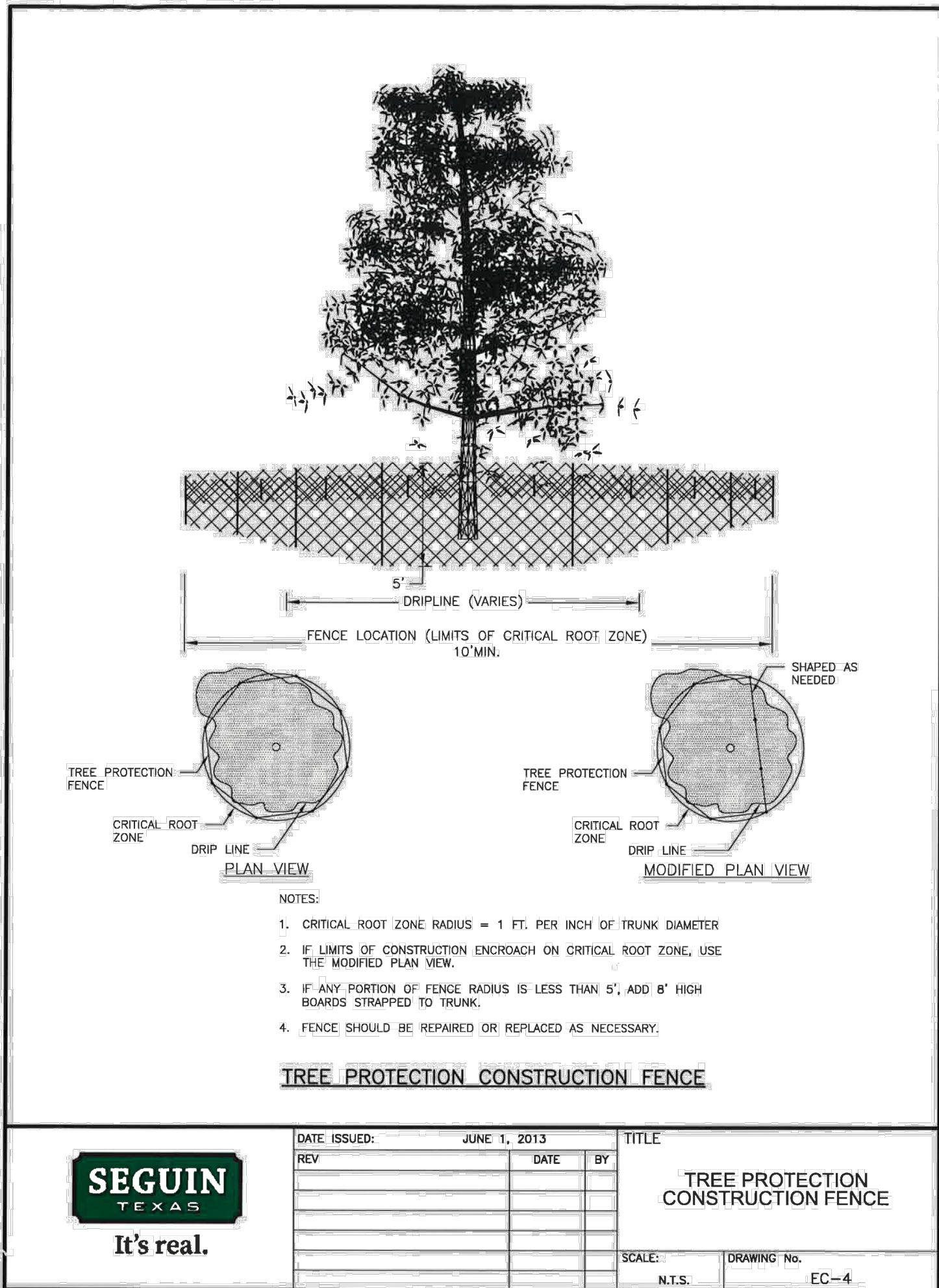
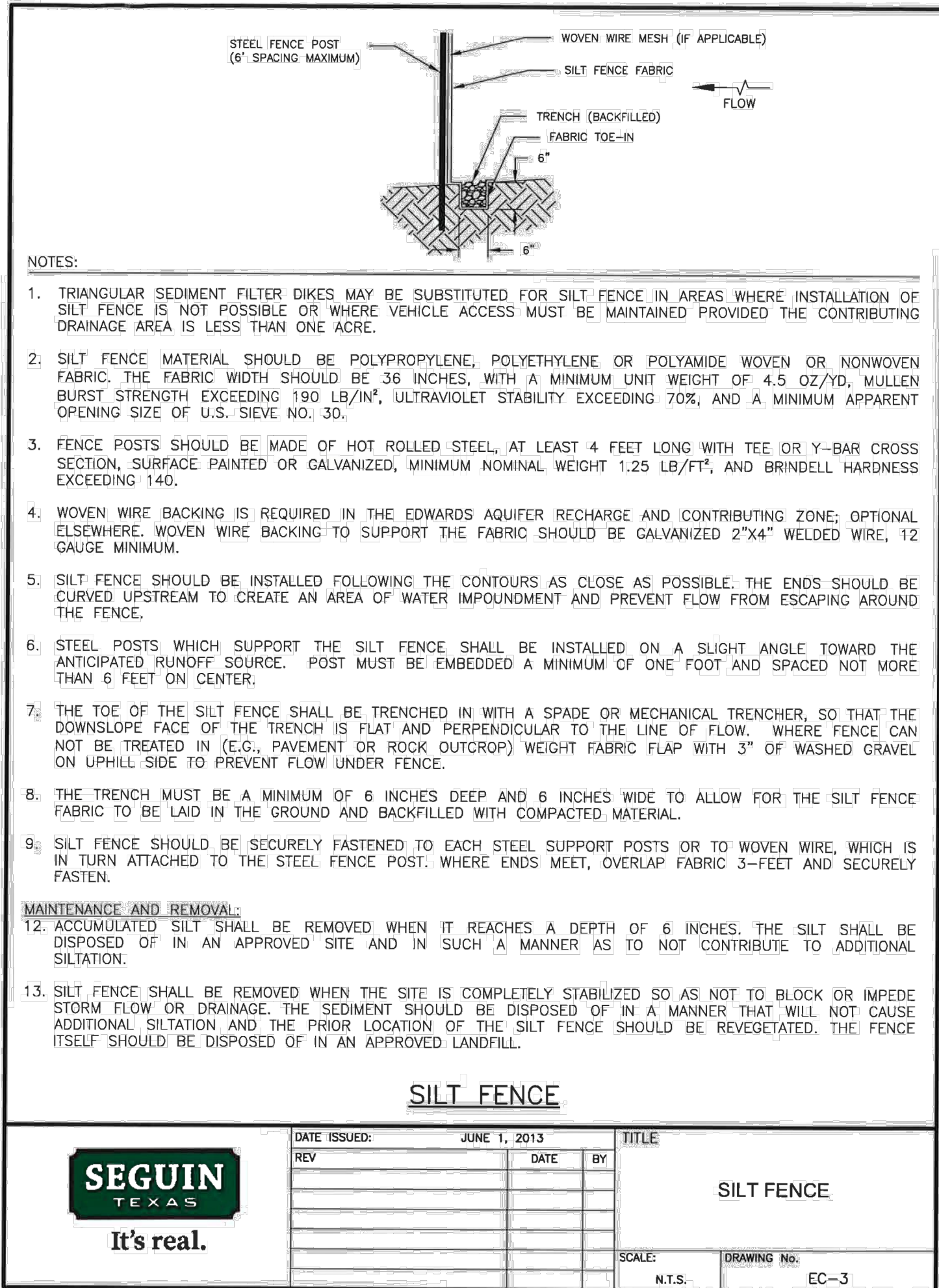
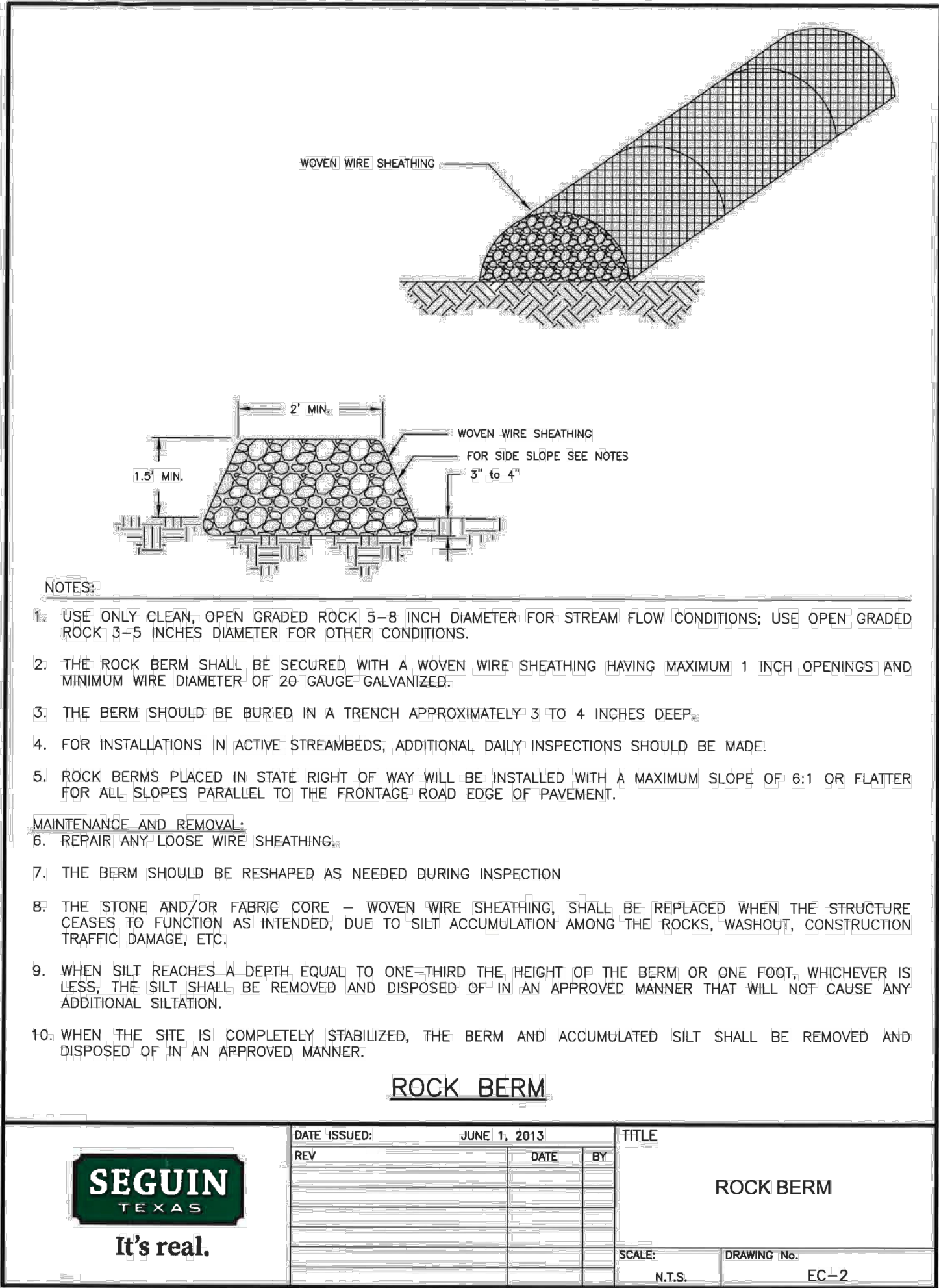
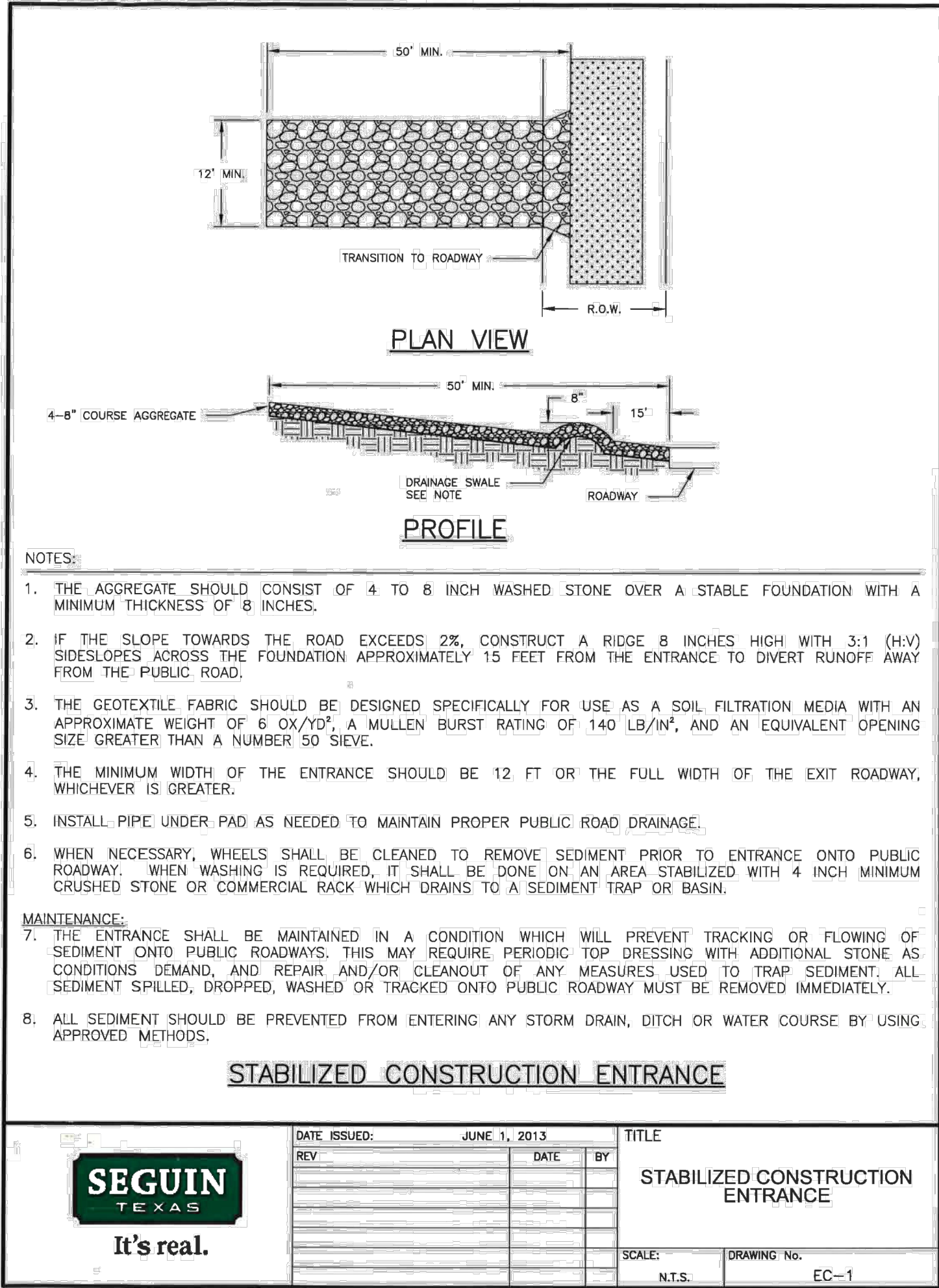
**EROSION AND SEDIMENT
CONTROL PLAN**

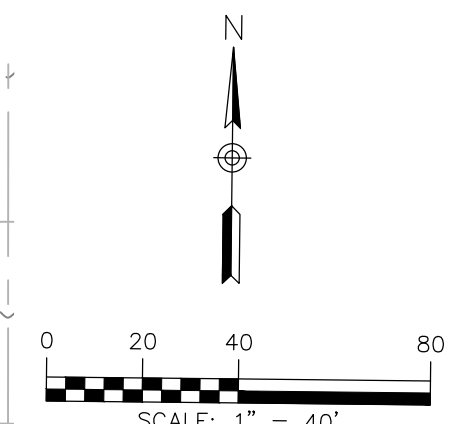
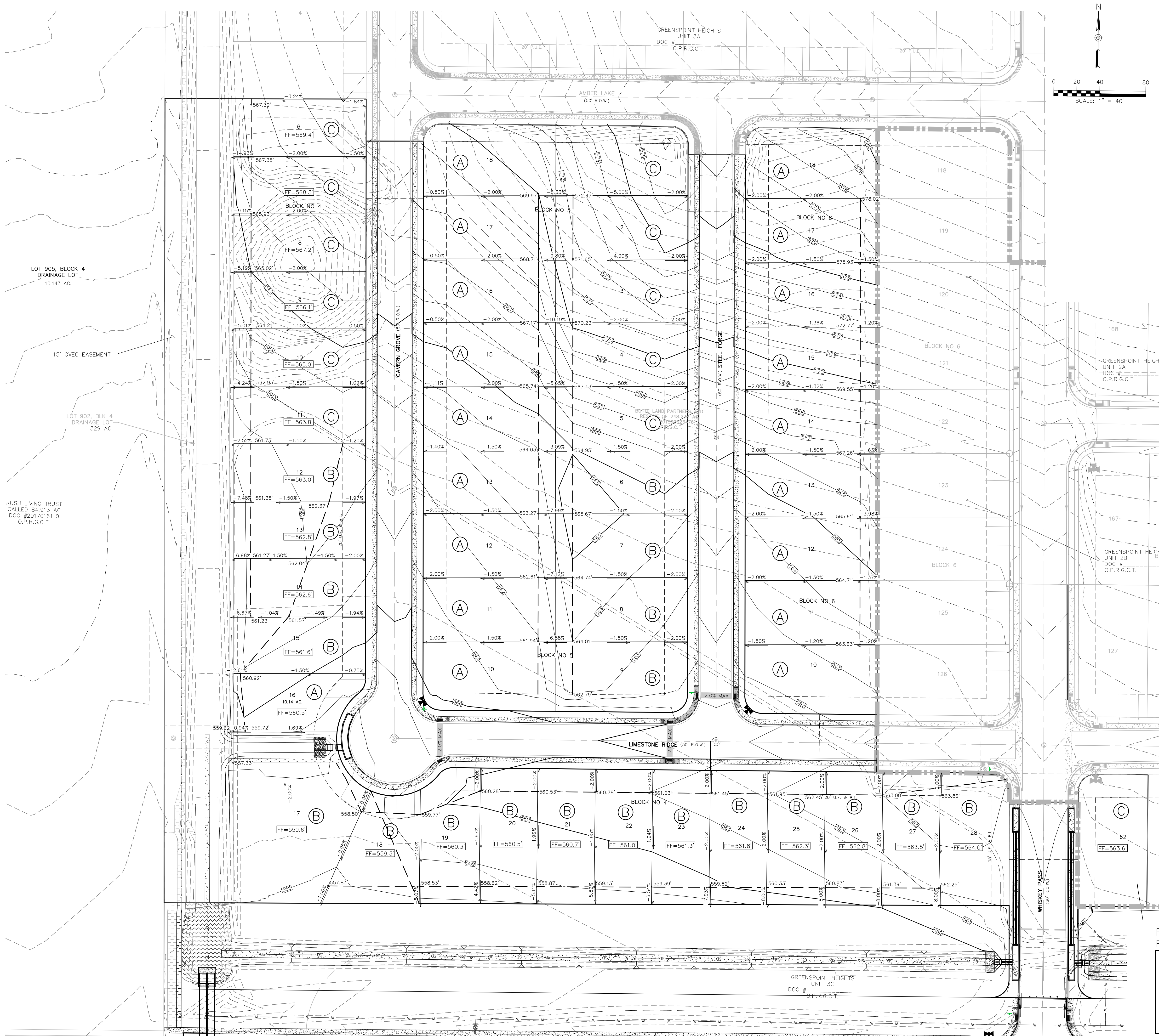
GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **JANUARY 2024**
DRAWN BY: **MK/RR**
DESIGNED BY: **MA**
REVIEWED BY: **CC**
HMT PROJECT NO.: **310.012**

SHEET
C1.01





- LEGEND**
- 700 — EXISTING CONTOURS
 - 700 — PROPOSED CONTOURS
 - B.L. — BUILDING SETBACK LINE
 - U.E. — UTILITY EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - (A) — LOT GRADING SEE DETAILS SHEET C2.02
 - — DRAINAGE FLOW DIRECTION
 - FF=XXX.X' — MINIMUM FINISHED FLOOR ELEVATION
 - — GRADE BREAK

- NOTES:**
- DRAINAGE IMPROVEMENTS SUFFICIENT TO MITIGATE OFFSITE IMPACT OF CONSTRUCTION MUST BE COMPLETED AND IN PLACE PRIOR TO ADDING IMPERVIOUS COVER TO THE SITE.
 - ALL FINISHED FLOOR ELEVATIONS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - PER NOTE 9 ON PLAT SHEET C0.03.
 - HUD DETAILS SHOWN ON SHEET C2.02.
 - WHEN POSSIBLE, CONTRACTOR SHALL PHASE GRADING SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST PERIOD OF TIME.
 - FOR ANY LOTS ADJACENT TO A DRAINAGE STRUCTURE, HOME BUILDER TO ENSURE FINISHED FLOOR HAS A MINIMUM ELEVATION AS LABELED OR AS PER NOTE 2 ABOVE, WHICHEVER IS GREATER.
 - STRIPPING OF VEGETATION FROM PROJECT SITES SHALL BE PHASED SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST POSSIBLE PERIOD OF TIME.

DRAINAGE FEATURES, DETENTION BASIN MAINTENANCE AND EQUIPMENT ACCESS REQUIREMENTS.

SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.

- TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
- ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
- CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME A BASIN DOES NOT DRAIN COMPLETELY WITHIN 60 HOURS OR CESSATION OF INFLOW DURING CONSTRUCTION OF THE SUBDIVISION IMPROVEMENTS (IE: NO STANDING WATER IS ALLOWED).
- STRUCTURAL INTEGRITY OF BASINS SHALL BE MAINTAINED AT ALL TIMES.
- MAINTENANCE ACCESS DRIVES ARE TO BE A MINIMUM OF 4' WIDE WITH A 2% CROSS SLOPE TOWARDS CHANNEL/POND. VEHICLE FOR POND ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.

REFER TO THE COVER SHEET FOR BENCHMARK INFORMATION.

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GRADING PLAN

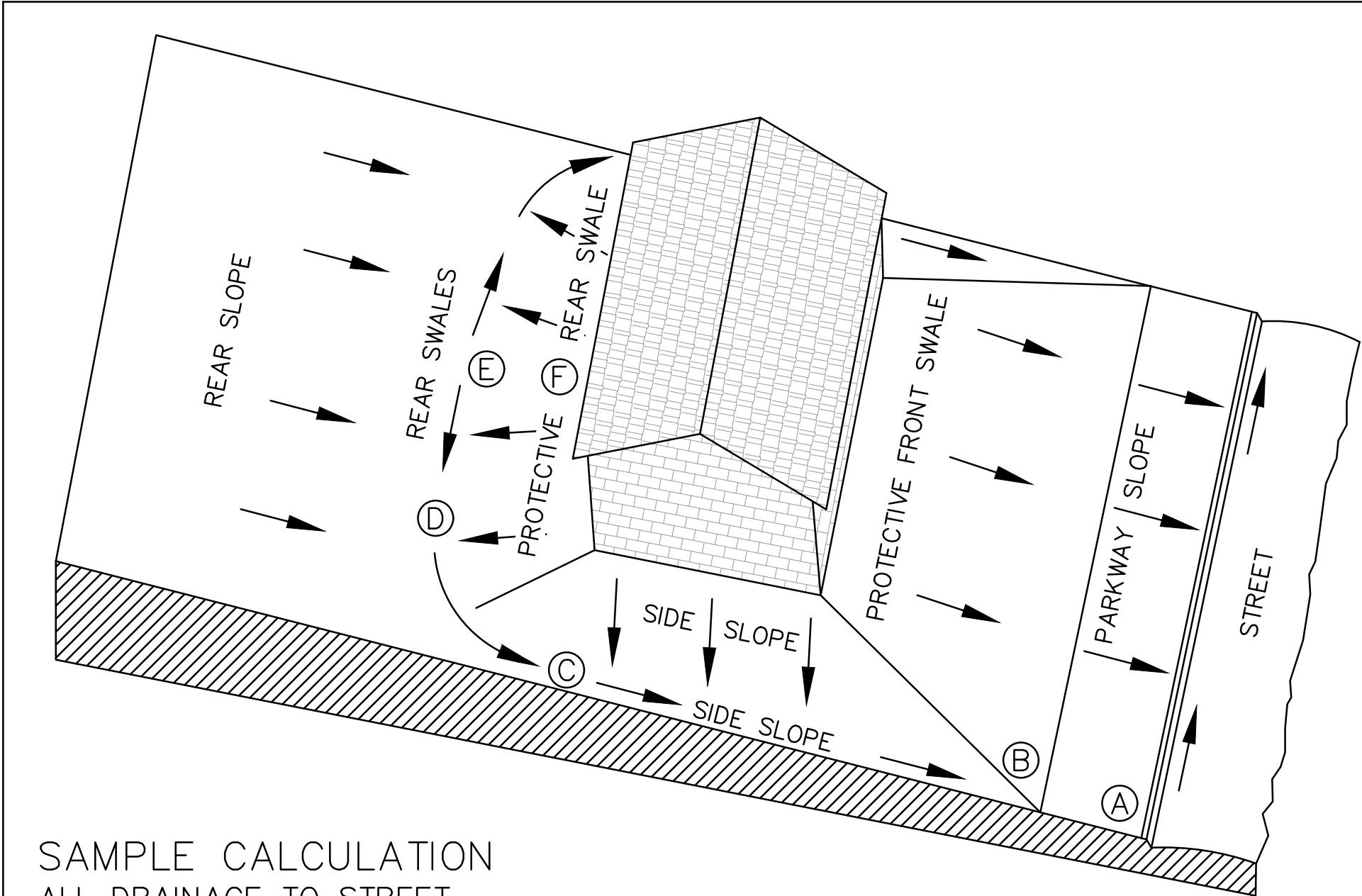
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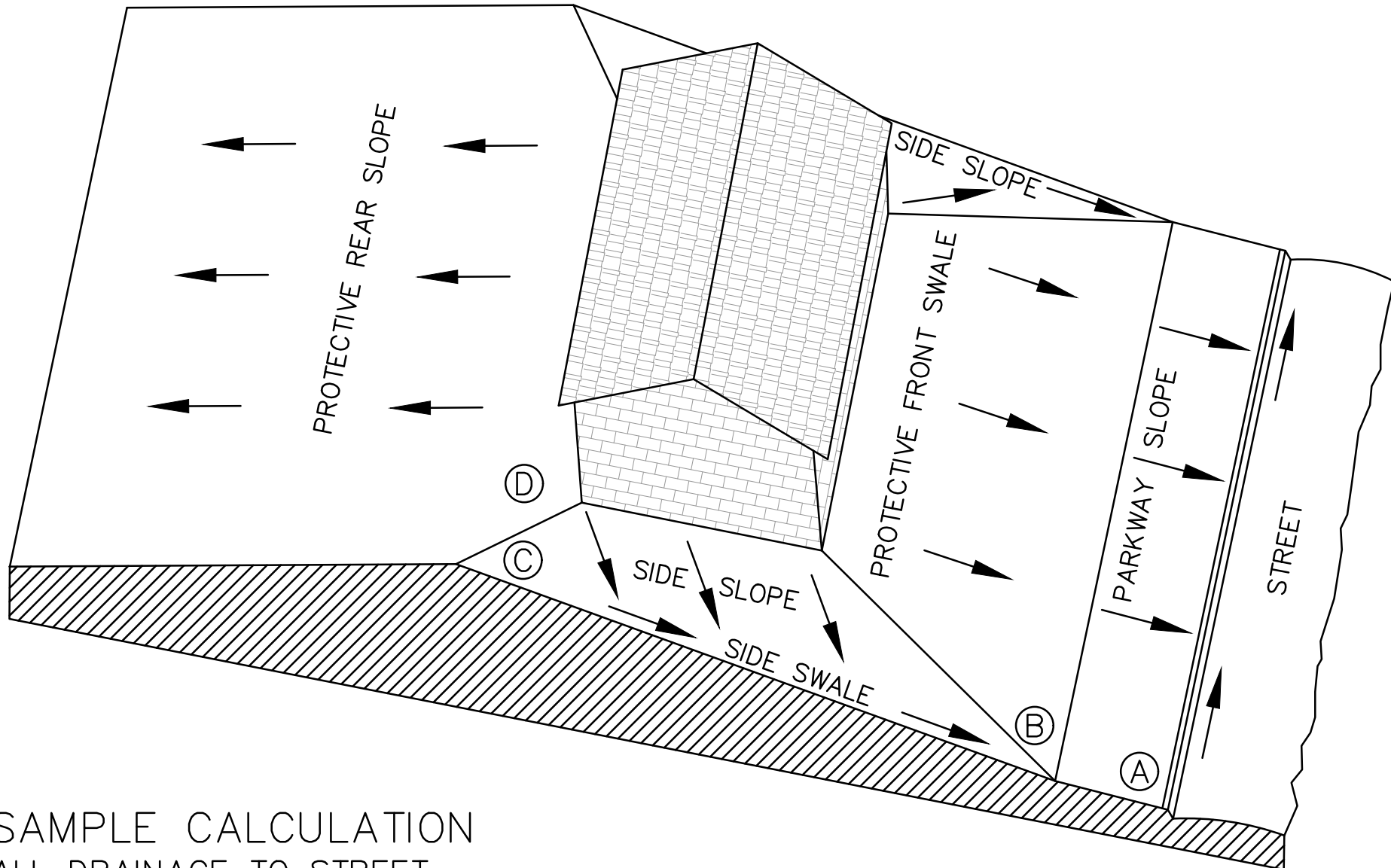
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SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES		CALCULATIONS FOR 2% SWALES
A	CURB—TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER					
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			15 x 0.25' = 3½" 85 x 0.25' = 21½" 16 x 0.25' = 4" 13 x 0.25' = 3¼" 10 x 0.25' = 2½" <hr/> 34½"
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21" (1.8')	11" (0.9')			
CD	SWALE TURN WITH 10' RADIUS:16' GRASS AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			
DE**	REAR SWALE: 13' GRASS AT 1/4"/FT. (2%)	3" (0.3')	2" (0.2')			
EF*	PROTECTIVE REAR SLOPE UP FROM HIGH POINT OF SWALES	3" (0.3')	3" (0.3')			CALCULATIONS USE 0.25" PER FOOT GRADIENT FOR A 2% SWALE.
SUB—TOTAL AF FROM CURB TOP TO GROUND AT REAL BLDG WALL			35" (3.0')	20" (1.7')	34½"	
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 35" + 8"			43" (3.6')	28" (2.3')		
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"			54" (4.5')	39" (3.3')		
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						
** LENGTH DE = [1/2(LOT WIDTH - (2x SWALE TURN RADIUS))] - [LOT WIDTH x (STREET GRADIENT x SWALE GRADIENT)]						

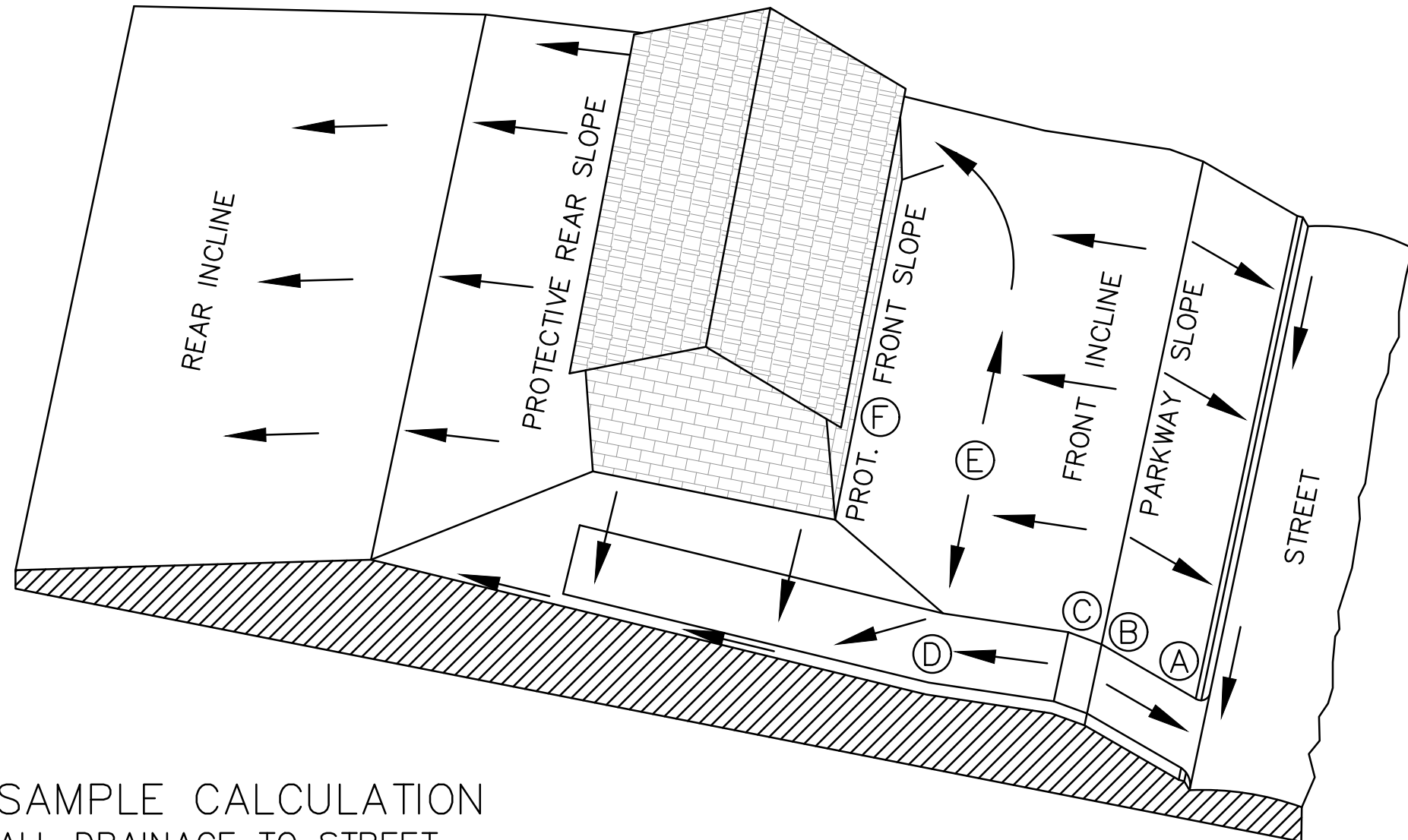
LOT TYPE A



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE AF FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 0.5% STREET, WITH 60' BUILDING DEPTH AND 2% SWALES.				RESULTS OF 1% SWALES		<div>CALCULATIONS FOR 2% SWALES</div> <div>15 x 0.25' = 3³/_{4"}</div> <div>85 x 0.25' = 21¹/_{2"}</div> <div>6 x 0.25' = 1¹/_{2"}</div> <div>26¹/_{2"}</div>
A	CURB-TOP ON LOT LINE EXTENSION AT HIGH LOT CORNER					
AB	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')			
BC	SIDE SWALE: 85' GRASS AT 1/4"/FT. (2%)	21" (1.8')	11" (0.9')			
CD*	PROTECTIVE SIDE SLOPE @ REAR BLDG. WALL EXTENSION	3" (0.3')	3" (0.3')			
SUB-TOTAL AD FROM CURB TOP TO GROUND AT REAL BLDG WALL		27" (2.4')	16" (1.4')			
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: 27" + 8"				35" (2.9')	24" (2.0')	<div>CALCULATIONS USE 0.25" PER FOOT GRADIENT FOR A 2% SWALE.</div>
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: 35" + 9"		46" (3.8')	35" (2.9')			
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						

LOT TYPE B



SAMPLE CALCULATION
ALL DRAINAGE TO STREET

SAMPLE COMPUTATION OF GRADING CONTROL LINE \overline{AF} FOR A 60' WIDE LOT WITH A 25' BUILDING LINE, 13.5% DRIVEWAY, AND 16' FRONT SWALE \overline{DE} AT 2.0%.					RESULTS OF 1% SWALES	CALCULATIONS FOR SWALES
A	CURB-TOP HIGH SIDE OF DRIVE NEAR LOW LOT CORNER					$15 \times 0.25' = 3\frac{3}{4}"$
\overline{AB}	PARKWAY SLOPE: 15' GRASS AND WALK AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')		$0 \times 0.25' = 0"$	
\overline{BC}	DRIVEWAY GRADE CHANGE: 4' VERTICAL CURVE FROM UP-GRADE DRIVE IN STREET TO DOWN-GRADE DRIVE ON LOT	0" (0.0')	0" (0.0')		$-11 \times 1.625' = -17\frac{3}{4}"$	
\overline{CD}	DRIVEWAY DOWN-GRADE TO POINT 10 FEET OUT FROM FRONT OF BUILDING: -11' AT 18"/FT (13.5%)	-18" (-1.5')	-18" (-1.5')		$16 \times 0.25' = 4"$	
\overline{DE}	FRONT SWALE: 16' GRASS AT 1/4"/FT. (2%)	4" (0.3')	2" (0.2')		$10 \times 0.25' = 2\frac{1}{2}"$	
\overline{EF}^*	PROT. FRONT SLOPE UP FROM HIGH POINT OF SWALES	3" (0.3')	3" (0.3')		$-7\frac{1}{2}"$	
SUB-TOTAL \overline{AF} FROM CURB TOP TO GROUND AT FRONT BLDG WALL		-7" (-1.0')	-11" (1.3')			
MINIMUM RISE FROM CURB TOP TO SLAB FLOOR: -7" + 8"		1" (-0.3')	-3" (0.7')			
MINIMUM RISE FOR WOOD FLOOR USING 8" JOISTS: -7" + 19"		12" (-0.6')	8" (0.3')			
* WHERE THERE IS A HIGH BANK NEARBY OR A LONG SLOPE TOWARD HOUSE, A MINIMUM 6" PROTECTIVE SLOPE IS REQUIRED.						

LOT TYPE C

GENERAL SPECIFICATIONS FOR SITE PREPARATION

GENERAL DESCRIPTION

THIS ITEM SHALL CONSIST OF ALL CLEARING AND PREPARATION OF LAND TO BE FILLED, FILLING OF THE LAND, SPREADING, COMPACTION TESTING AND INSPECTION OF THE FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING OF THE CUT AND FILL AREAS TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS.

SCARIFYING THE AREA TO BE FILLED

ALL ORGANIC MATTER SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED, AND SURFACE SHALL BE DISKED OR SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES (6"), ALL SURFACE RUTS OR OTHER UNEVEN FEATURES WILL BE LEVELED PRIOR TO FIELD DENSITY TESTING.

COMPACTING THE AREA TO BE FILLED

FOLLOWING THE CLEARING AND DISKING OR SCARIFYING OF THE FILL AREA, IT SHALL BE BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS. THE AREA SHALL BE BROUGHT TO ADEQUATE MOISTURE CONTENT AND COMPACTED (TYPICALLY) TO NOT LESS THAN NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CURRENT ASTM D 1557 COMPACTION PROCEDURE, OR 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE THD-TEX-113-E COMPACTION PROCEDURE. ALL AREAS EXCEEDING (6") SIX INCHES IN DEPTH, MUST MEET WITH FHWA/HUD HANDBOOK 4140.30 SPECIFICATIONS FOR LAND DEVELOPMENTS ON CONTROLLED EARTHWORK, DATASHEET 79G.

FILL MATERIALS

THE MATERIALS USED SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES, SUCH AS TREES, BRUSH AND RUBBISH.

DEPTH AND MIXING OF FILL LAYERS

THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS WHICH, WHEN COMPACTED, SHALL HAVE A DENSITY CONFORMING TO THE STIPULATED ABOVE. EACH LAYER SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. COMPACTED LAYER THICKNESS MAY VARY DEPENDING ON THE COMPACTION EQUIPMENT OF THE DEMONSTRATED CAPABILITY.

ROCK

WHEN FILL MATERIAL INCLUDES ROCK, THE MAXIMUM ROCK SIZE SHALL BE AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO LARGE ROCKS SHALL BE ALLOWED TO NEST AND ALL VOIDS MUST BE FILLED WITH SMALL STONES OR SOIL AND ADEQUATELY COMPACTED.

COMPACTION OF FILL LAYER

COMPACTION EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE FILL TO THE SPECIFIED DENSITY. COMPACTION SHALL BE ACCOMPLISHED WHILE THE FILL MATERIAL IS AT OR NEAR THE APPROPRIATE MOISTURE CONTENT. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER THE ENTIRE STRUCTURAL AREA (BENEATH PROPOSED STRUCTURES).

COMPACTION OF SLOPES

THE FACES OF FILL SLOPES SHALL BE COMPACTED. COMPACTION OPERATIONS SHALL BE CONTINUED UNTIL THE SLOPE FACES ARE STABLE BUT NOT TO DENSE FOR PLANTING ON THE SLOPES. COMPACTION OF THE SLOPE FACE MAY BE DONE PROGRESSIVELY IN INCREMENTS OF THREE TO FIVE FEET (3' TO 5') IN FILL HEIGHT AS THIS FILL PROGRESSES OR AFTER THE FILL HAS BEEN BROUGHT TO ITS TOTAL HEIGHT.

DENSITY TEST

FIELD DENSITY TESTS SHALL BE PERFORMED ON ALL LAYERS OF FILL WHEN THE FILL IS BEING PLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE MAXIMUM FILL HEIGHT BETWEEN DENSITY TESTING SHALL BE TWELVE INCHES (12"). ALL TESTING SHALL BE REQUESTED BY THE CONTRACTOR TO MEET THE CONTRACTOR'S CONSTRUCTION SCHEDULE. NOTIFICATION BY THE CONTRACTOR TO CONDUCT TESTS SHALL BE AT LEAST THE DAY BEFORE. THIS NOTIFICATION SHALL INCLUDE THE FILL AREA LOCATION (LOT AND BLOCK), THE LIFT OR HEIGHT OF FILL AND APPROXIMATED DESIRED TIME OF TESTING. WHEN THESE TEST INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY, THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED AND RETESTED AT THE EXPENSE OF THE CONTRACTOR UNLESS THE CONTRACTOR CAN SHOW EVIDENCE THAT CIRCUMSTANCES BEYOND HIS CONTROL REQUIRED THE RETESTING. GENERALLY, THE SPECIFIC TESTING WILL BE AS FOLLOWS AND CONDUCTED BY A GEO-TECHNICAL ENGINEER OR STAFF.

- THE LAND TO BE FILLED (PREPARED SUBGRADE) SHALL BE PREPARED AND TESTED AT A FREQUENCY AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- THE FIRST LIFT OF COMPACTED FILL (GENERALLY 8-12 IN.) SHALL BE TESTED AS DETERMINED BY THE GEOTECHNICAL ENGINEER. ANY AREAS SUPPORTING THE PROPOSED STRUCTURES REQUIRING FILL SHALL BE TESTED FOR DENSITY COMPLIANCE.
- FILLS SHALL BE TESTED AT A MAXIMUM OF EACH TWELVE INCHES (12") OF FILL.
- TEST RESULTS WILL BE PROVIDED BY THE FIELD TECHNICIAN TO THE CONTRACTOR WHEN POSSIBLE; HOWEVER, ALL TEST RESULTS ARE TO BE REVIEWED BY THE GEOTECHNICAL ENGINEER FOR COMPLIANCE. THE ENGINEER WILL NOTIFY THE CONTRACTOR OF ALL TEST RESULTS.

CUT/FILL LOTS

AREAS INVOLVING CUT ON THE PORTION AND FILL ON ANOTHER PORTION OF A SPECIFIC LOT SHALL BE PREPARED TO A MINIMUM DEPTH OF 6 IN., AND WILL BE THE SAME MATERIAL CLASSIFICATION AT THE SAME COMPACTION AND MOISTURE CONTENT. FIELD DENSITY TESTS SHALL BE REQUIRED ON EACH CUT/FILL LOT FOR THE PURPOSE OF DETERMINING UNIFORMITY OF THE AREA SUPPORTING THE PROPOSED STRUCTURES.

HUD 79-G

HUD 79-G REQUIREMENT FOR FILL MATERIAL OF 6 INCHES AND MORE WILL BE CONDUCTED. ALL CUT AREAS WILL ALSO MEET THE REQUIREMENTS FOR HUD 79-G COMPACTION TESTING. IN ADDITION, ENGINEERS MUST PROVIDE VERIFICATION OF ALL AREAS WHICH DO NOT REQUIRE HUD 79-G. AFTER SITE GRADING IS COMPLETED, GEO-TECHNICAL ENGINEER SHALL PROVIDE THE CONTRACTOR AND OWNER A 79-G LETTER.

DRAINAGE NOTE

FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE.



GRADING DETAILS

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

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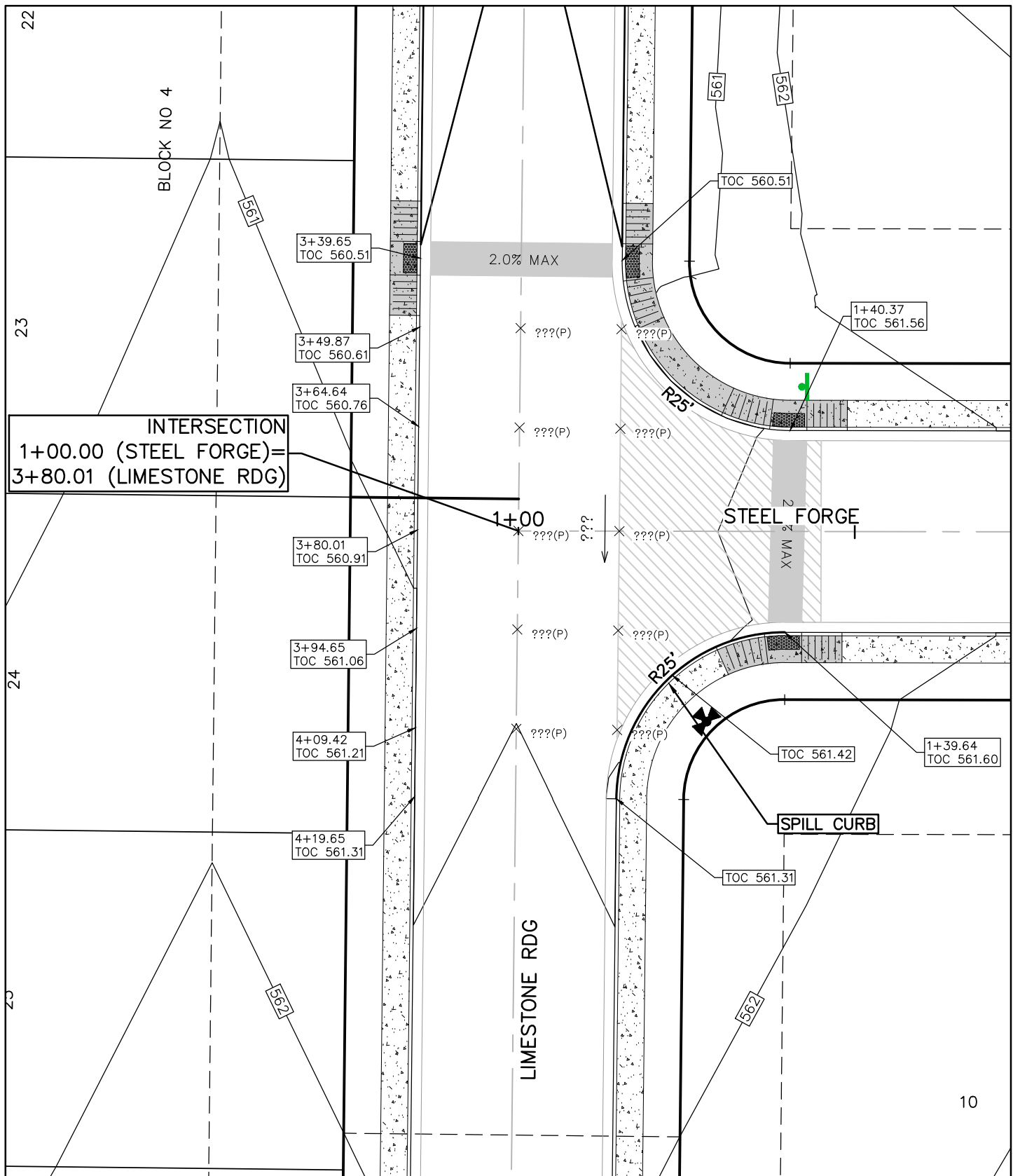
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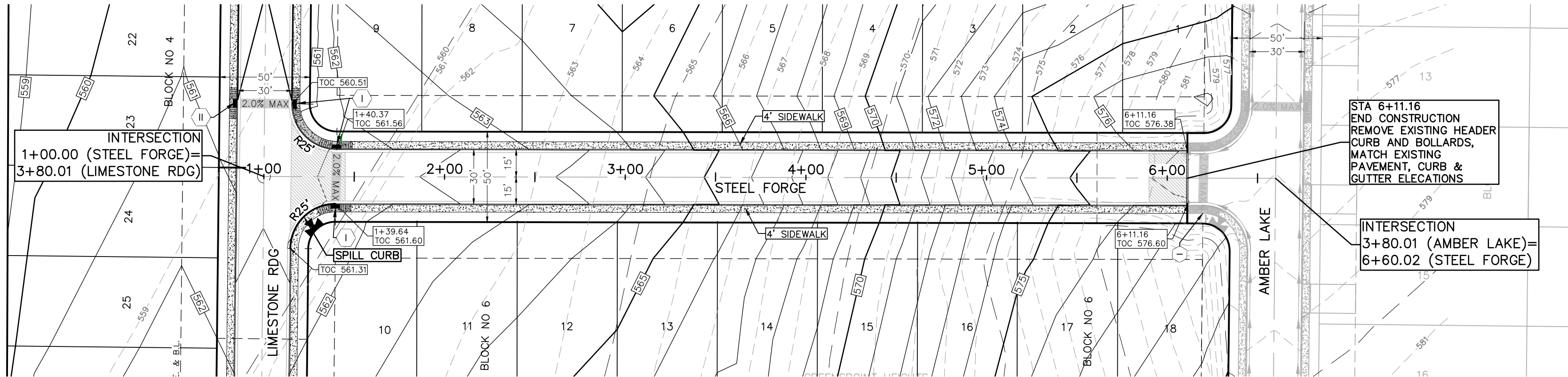
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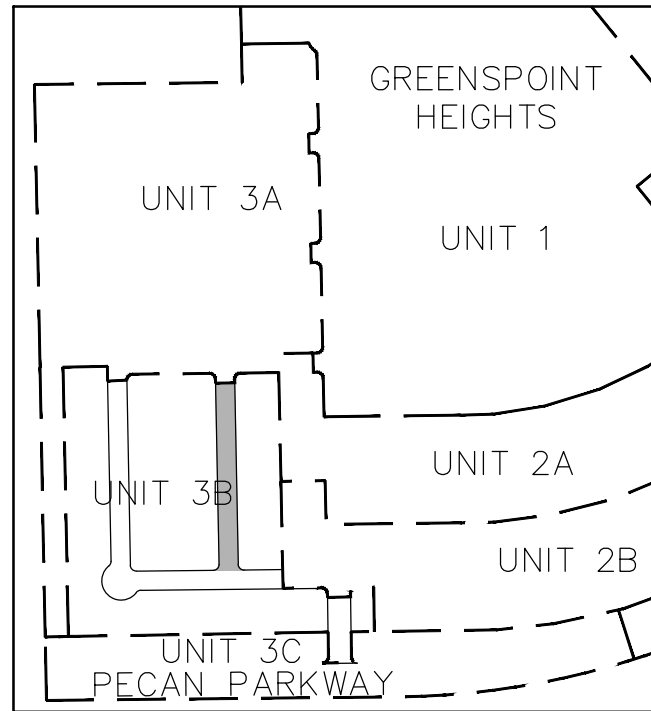
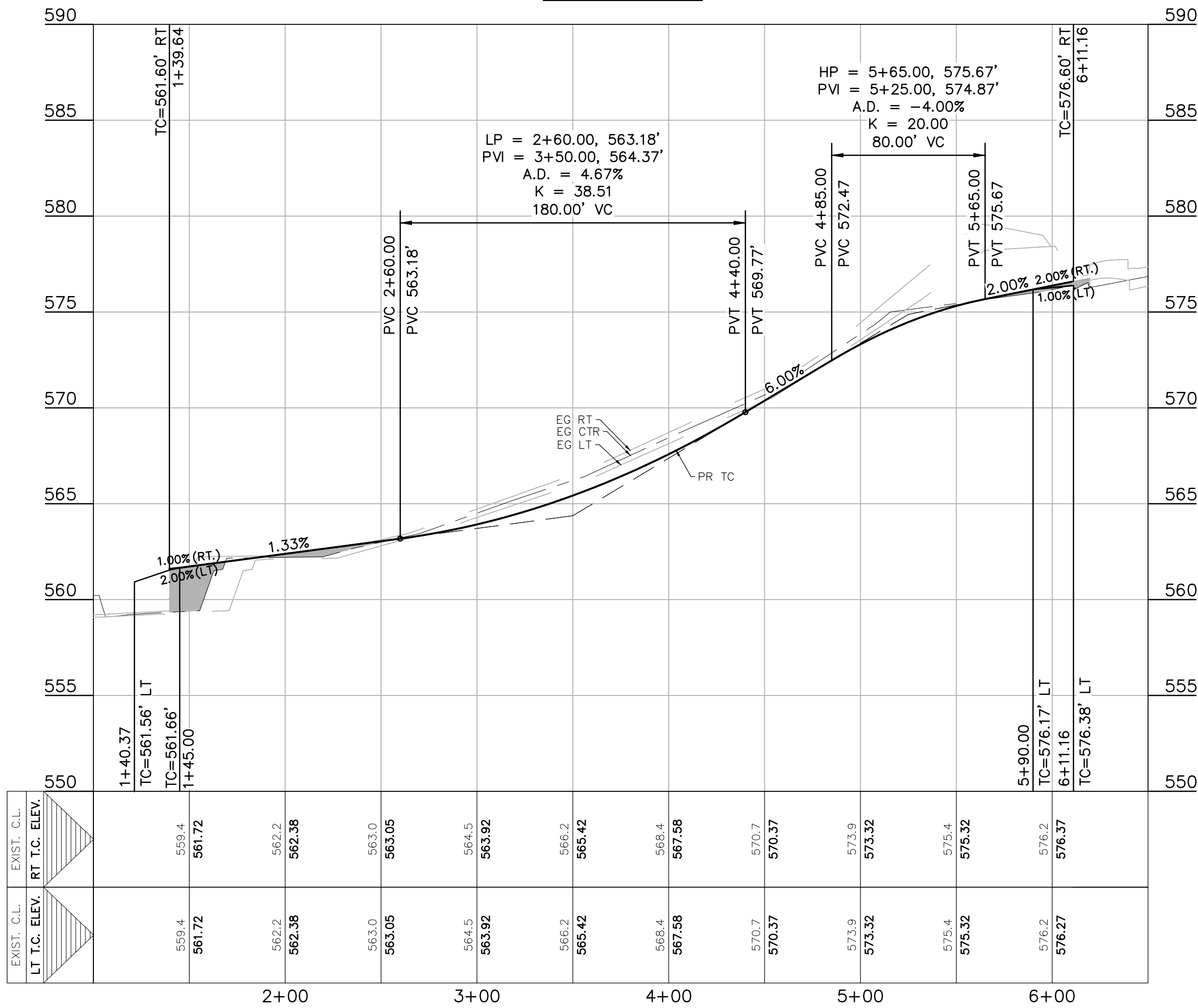




INTERSECTION DETAIL
LIMESTONE RDG / STEEL FORGE
SCALE: 1"=20'



STEEL FORGE
1+00 - 6+50

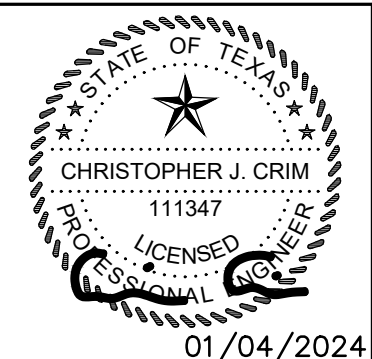


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 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - A.D.A. RAMP
 - FLOW ARROW
 - WASHOUT CROWN AREAS
 - SPILL CURB
 - EXISTING GROUND LEFT (EG LT)
 - EXISTING GROUND RIGHT (EG RT)
 - EXISTING GROUND CENTER (EG CTR)
 - PROPOSED TOP OF CURB (PR TC)
 - 2.0% MAX ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
 - SIDEWALK RAMP TYPE TO BE CONSTRUCTED AT TIME OF STREET CONSTRUCTION (SEE DETAIL SHEET C3.08)
 - SIDEWALK TO BE CONSTRUCTED BY SITE DEVELOPMENT CONTRACTOR

- NOTES**
- LOCAL STREETS WERE DESIGNED TO POSTED SPEED LIMIT OF 25 MPH.
 - IN WASHOUT CROWN AREAS, THE CURB ON THE HIGH SIDE OF THE STREET SHOULD BE SPILL CURB AS DESIGNATED ON THE PLANS.
 - CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



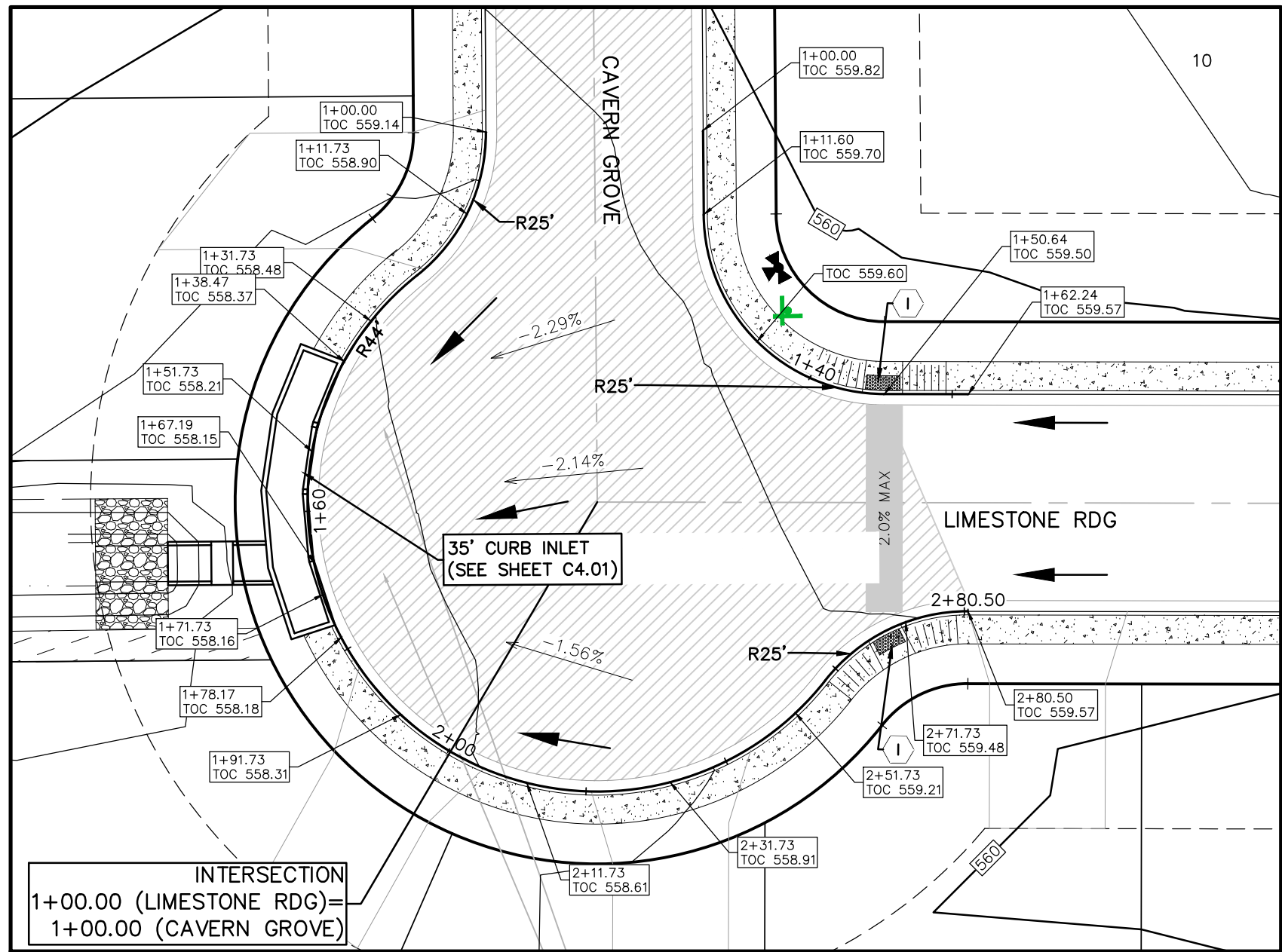
**STEEL FORGE
PLAN & PROFILE**
**GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS**

NO.	REVISION DESCRIPTION	REVISION DATE

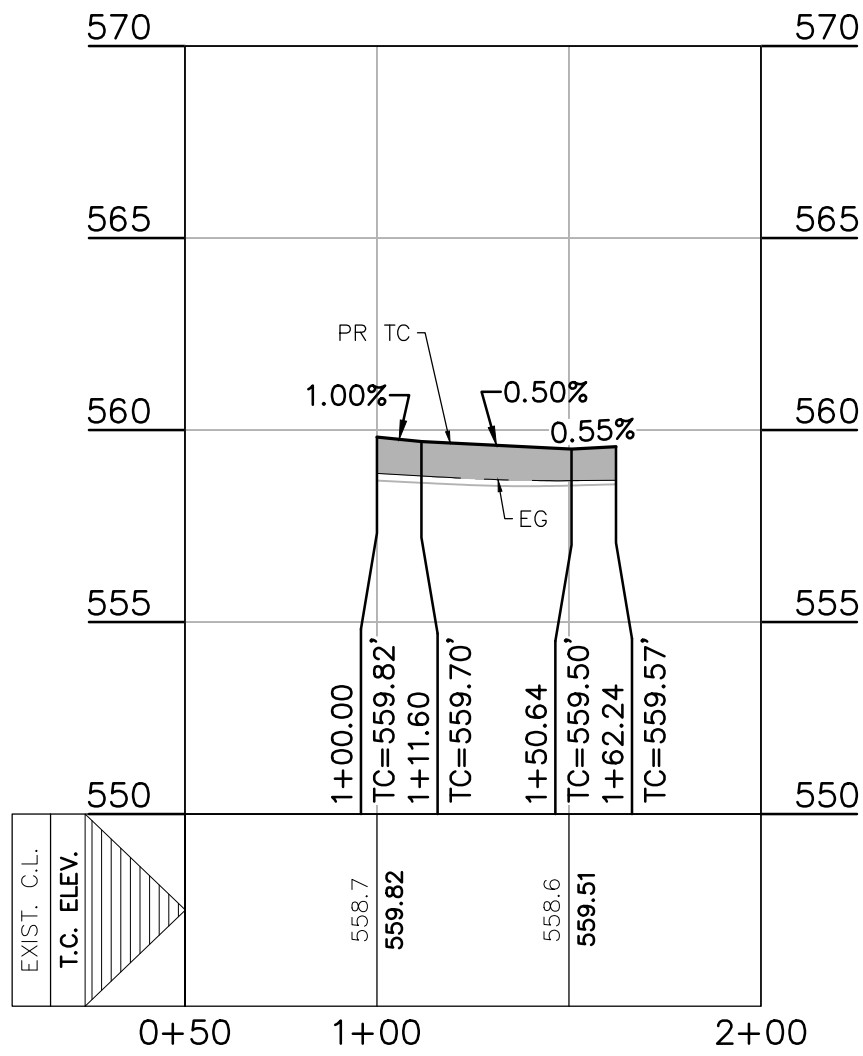
DATE: **JANUARY 2024**
DRAWN BY: **MK/RR**
DESIGNED BY: **MA**
REVIEWED BY: **CC**

HMT PROJECT NO.:
310.012

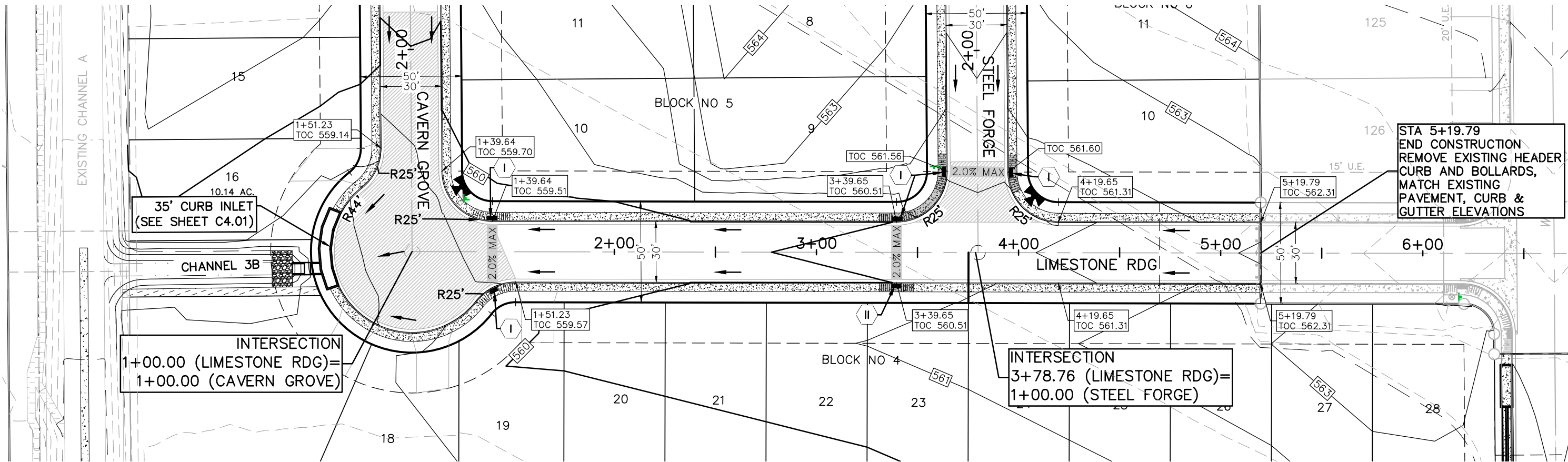
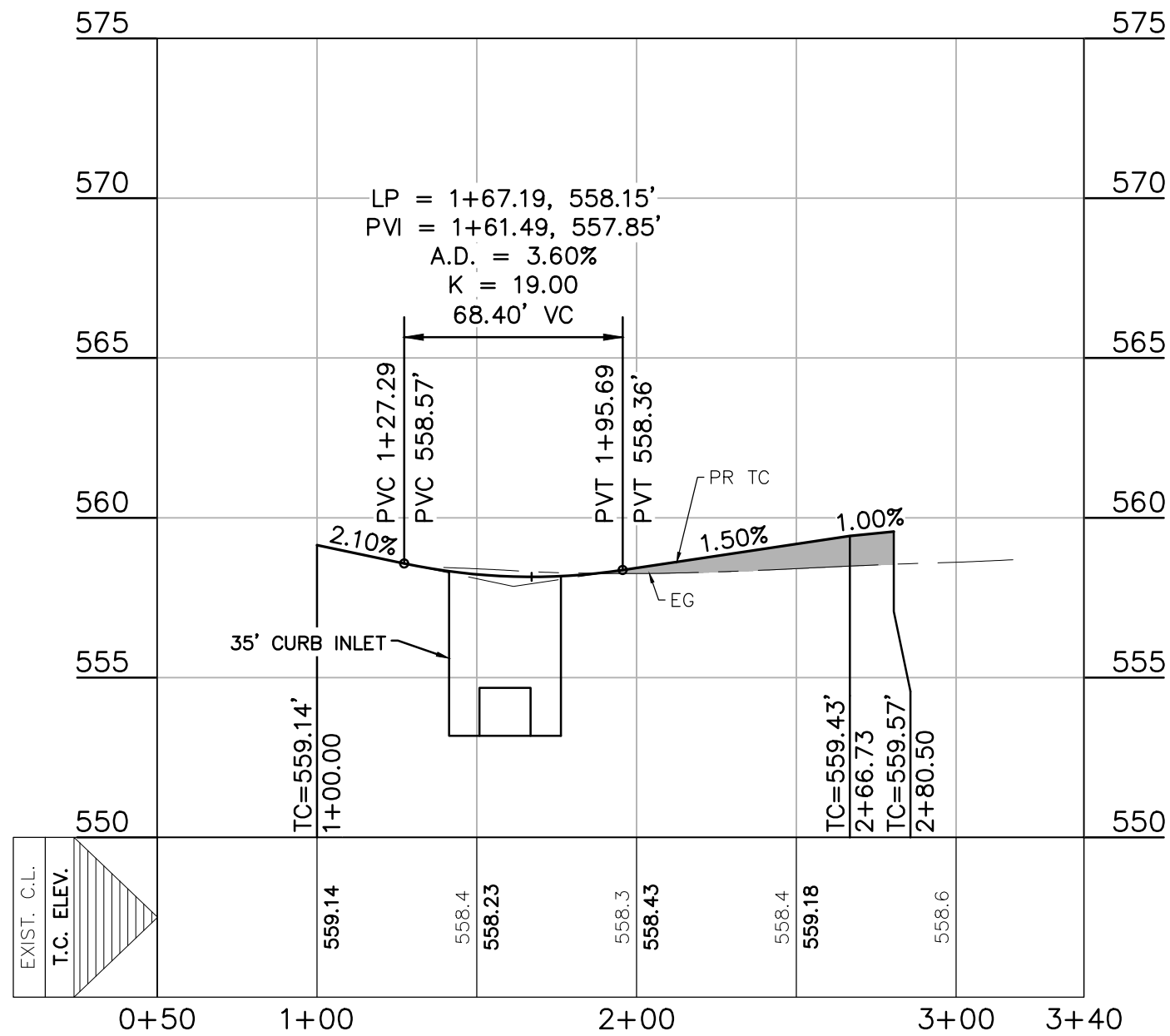
**SHEET
C3.02**



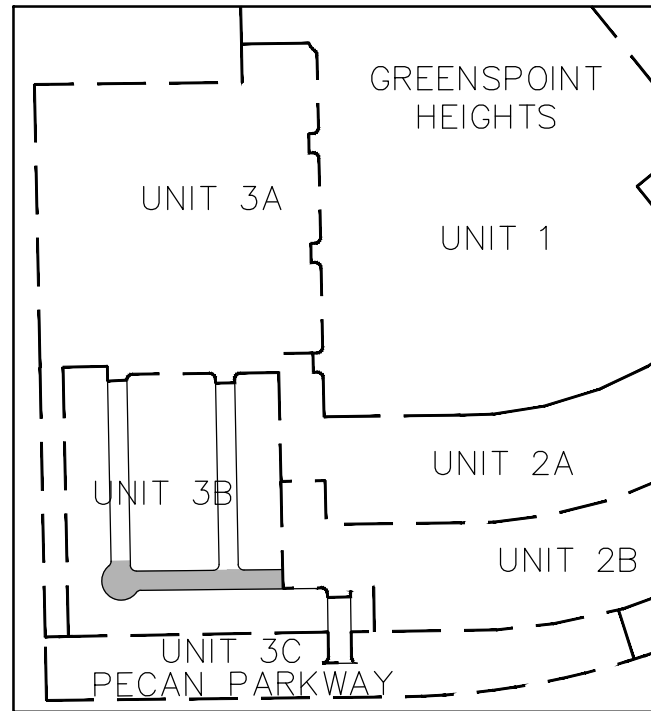
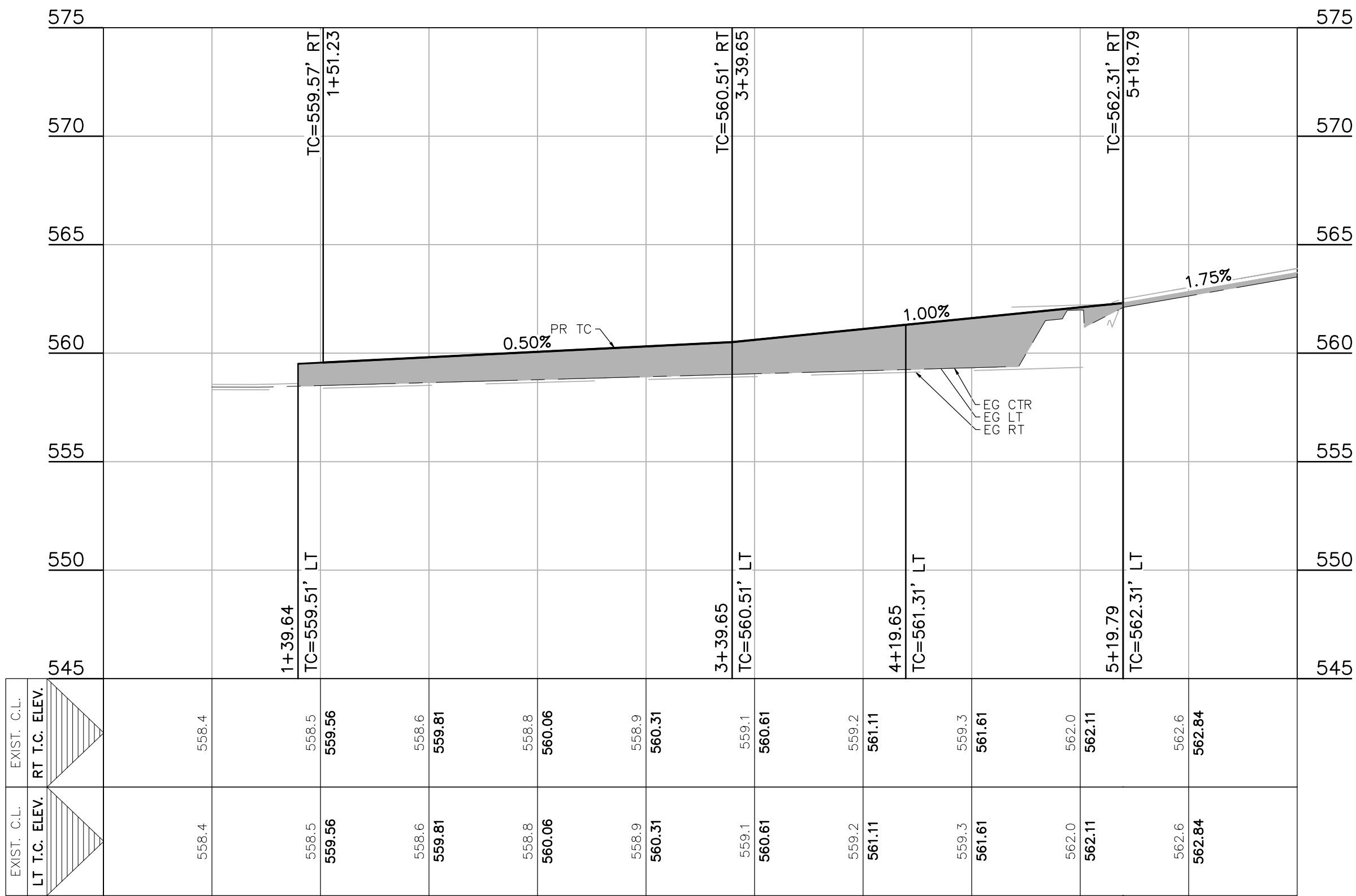
CAVERN GROVE-LIMESTONE RDG RETURN



LIMESTONE RIDGE KNUCKLE



LIMESTONE RDG



KEY MAP

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
- FLOW ARROW
- WASHOUT CROWN AREAS
- SPILL CURB
- EXISTING GROUND LEFT (EG LT)
- EXISTING GROUND RIGHT (EG RT)
- EXISTING GROUND CENTER (EG CTR)
- PROPOSED TOP OF CURB (PR TC)
- ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
- SIDEWALK RAMP TYPE TO BE CONSTRUCTED AT TIME OF STREET CONSTRUCTION (SEE DETAIL SHEET C3.08)
- SIDEWALK TO BE CONSTRUCTED BY SITE DEVELOPMENT CONTRACTOR

NOTES

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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
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TBPLS FIRM 1053600



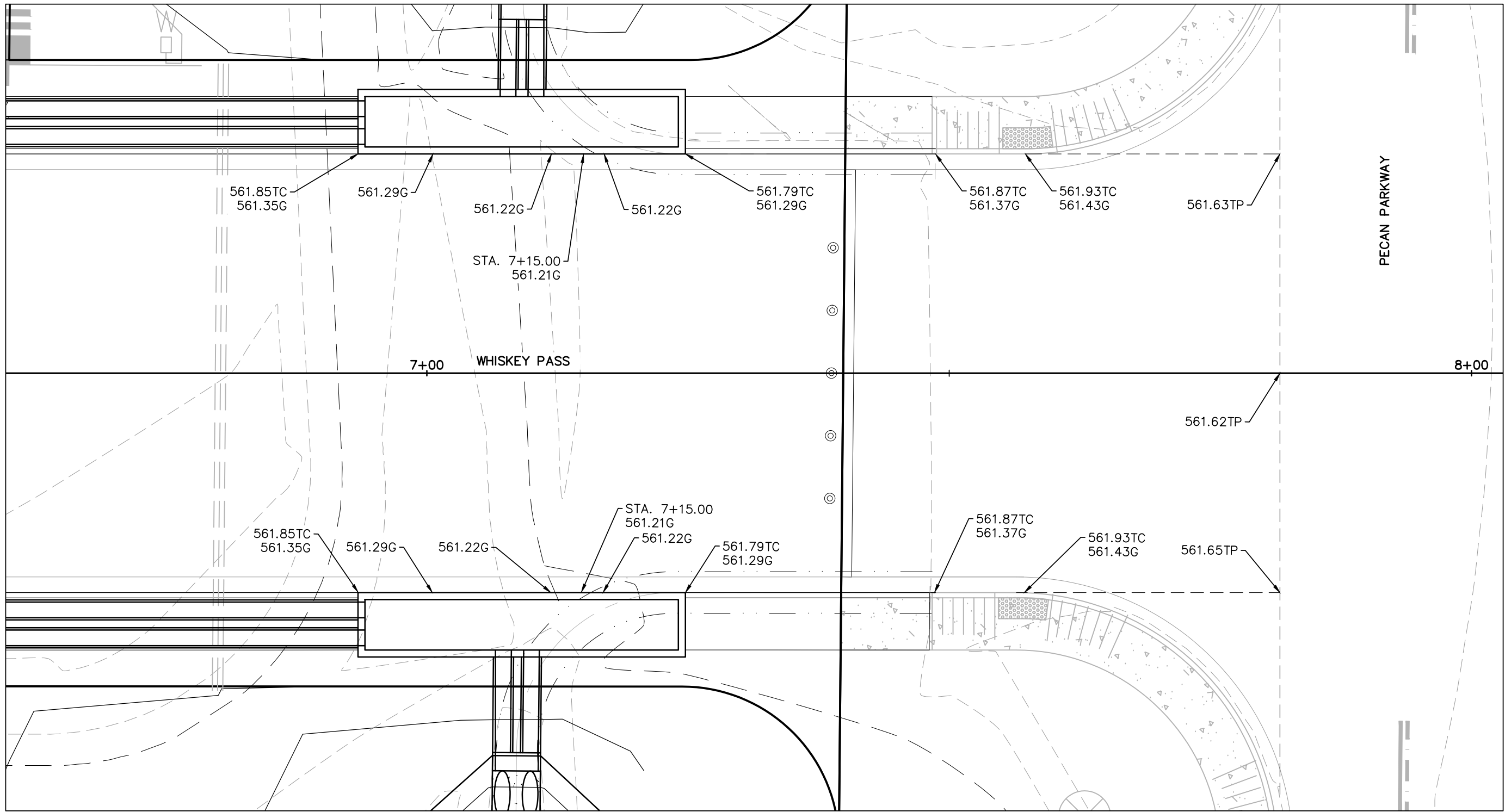
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PLAN & PROFILE
GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	REVISION DATE

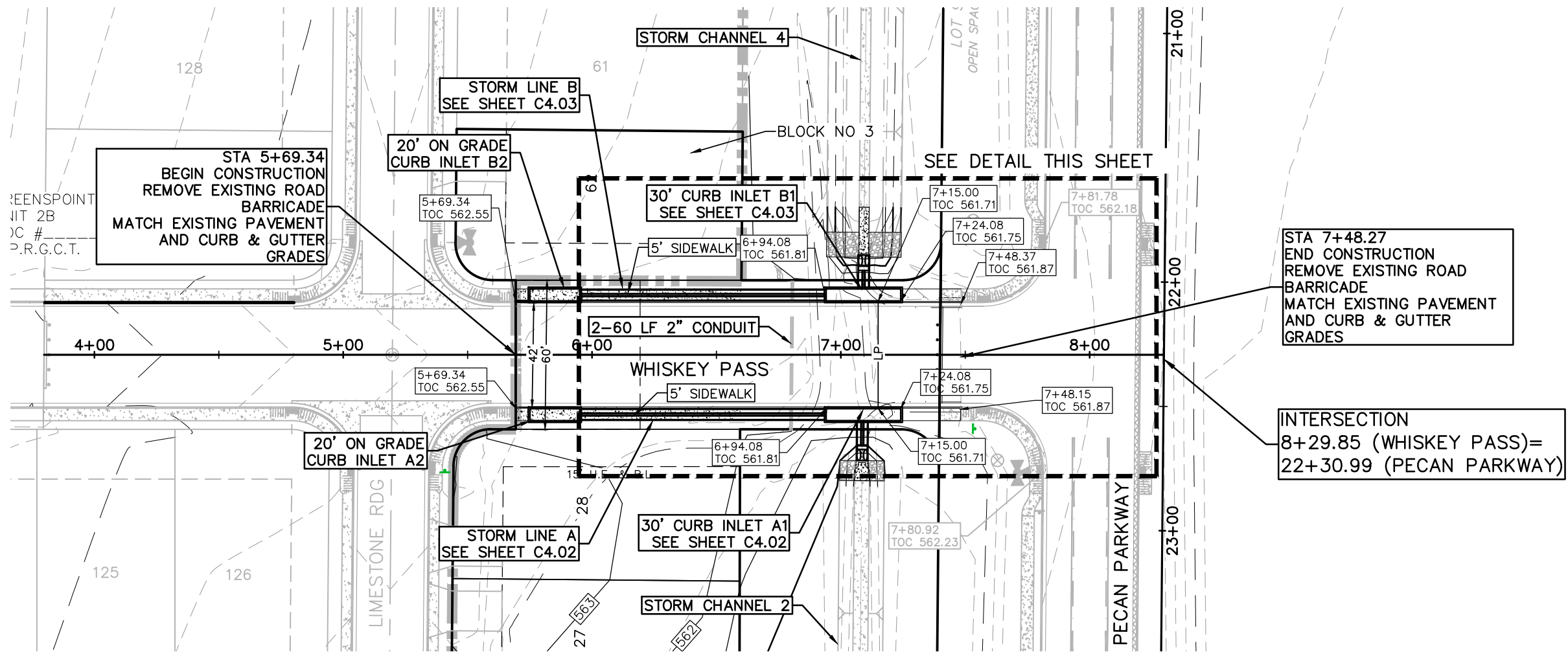
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DRAWN BY: MK/RR
DESIGNED BY: MA
REVIEWED BY: CC

HMT PROJECT NO.: 310.012

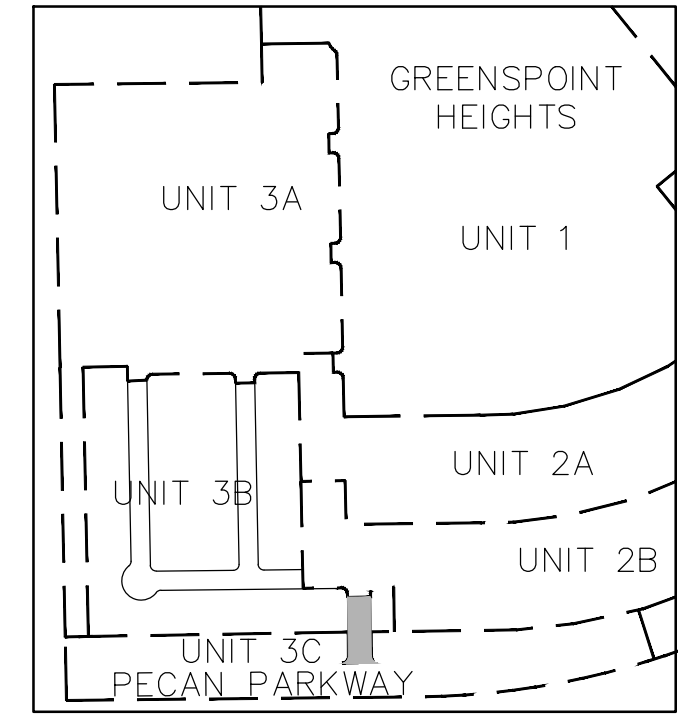
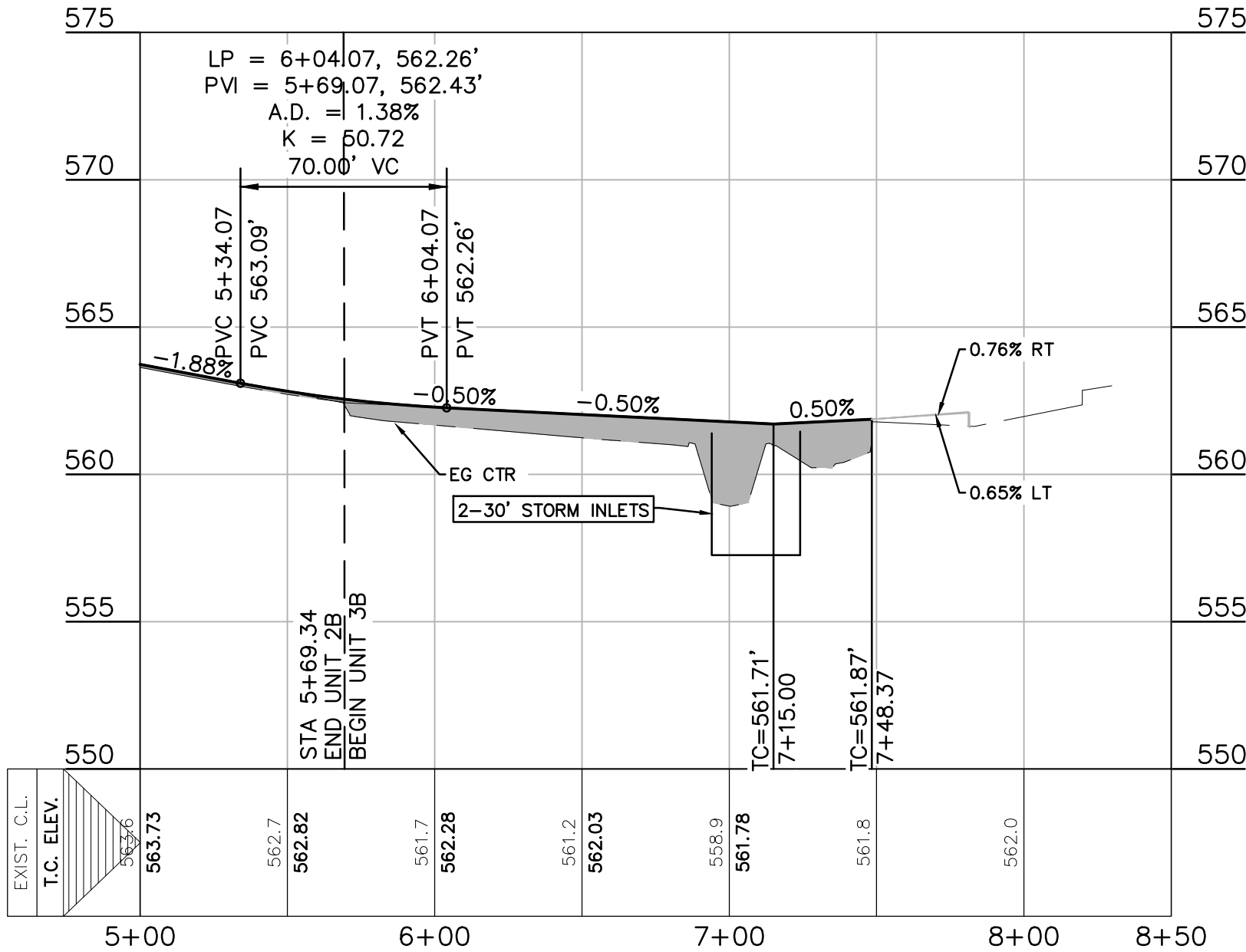
SHEET
C3.03



DETAIL AREA
SCALE 1" = 10'



WHISKEY PASS
5+00 - 8+50



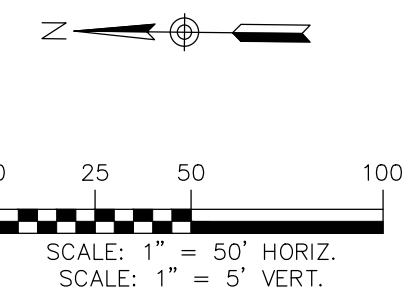
KEY MAP

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
- FLOW ARROW
- WASHOUT CROWN AREAS
- SPILL CURB
- EXISTING GROUND LEFT (EG LT)
- EXISTING GROUND RIGHT (EG RT)
- EXISTING GROUND CENTER (EG CTR)
- PROPOSED TOP OF CURB (PR TC)
- ACCESSIBLE CROSSING AREA CONTRACTOR TO ENSURE MAX 2% CROSS SLOPE IN THESE AREAS
- SIDEWALK RAMP TYPE TO BE CONSTRUCTED AT TIME OF STREET CONSTRUCTION (SEE DETAIL SHEET C3.05)
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NOTES

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- CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.
- PER NEW BRAUNFELS ORDINANCE SEC. 114-98(a)(6) ALL DRIVEWAY LOCATED ON A SINGLE FAMILY RESIDENCE ON A LOCAL STREET SHALL HAVE A MINIMUM SPACING OF 20'



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
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TBPLS FIRM 1053600



**WHISKEY PASS
PLAN & PROFILE**
GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

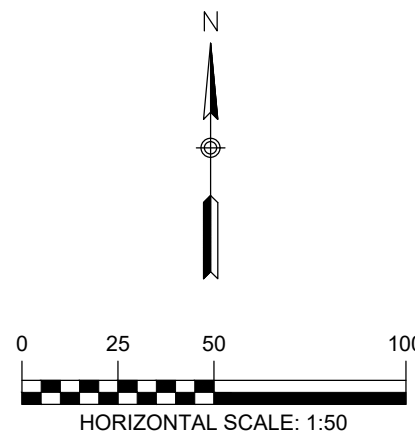
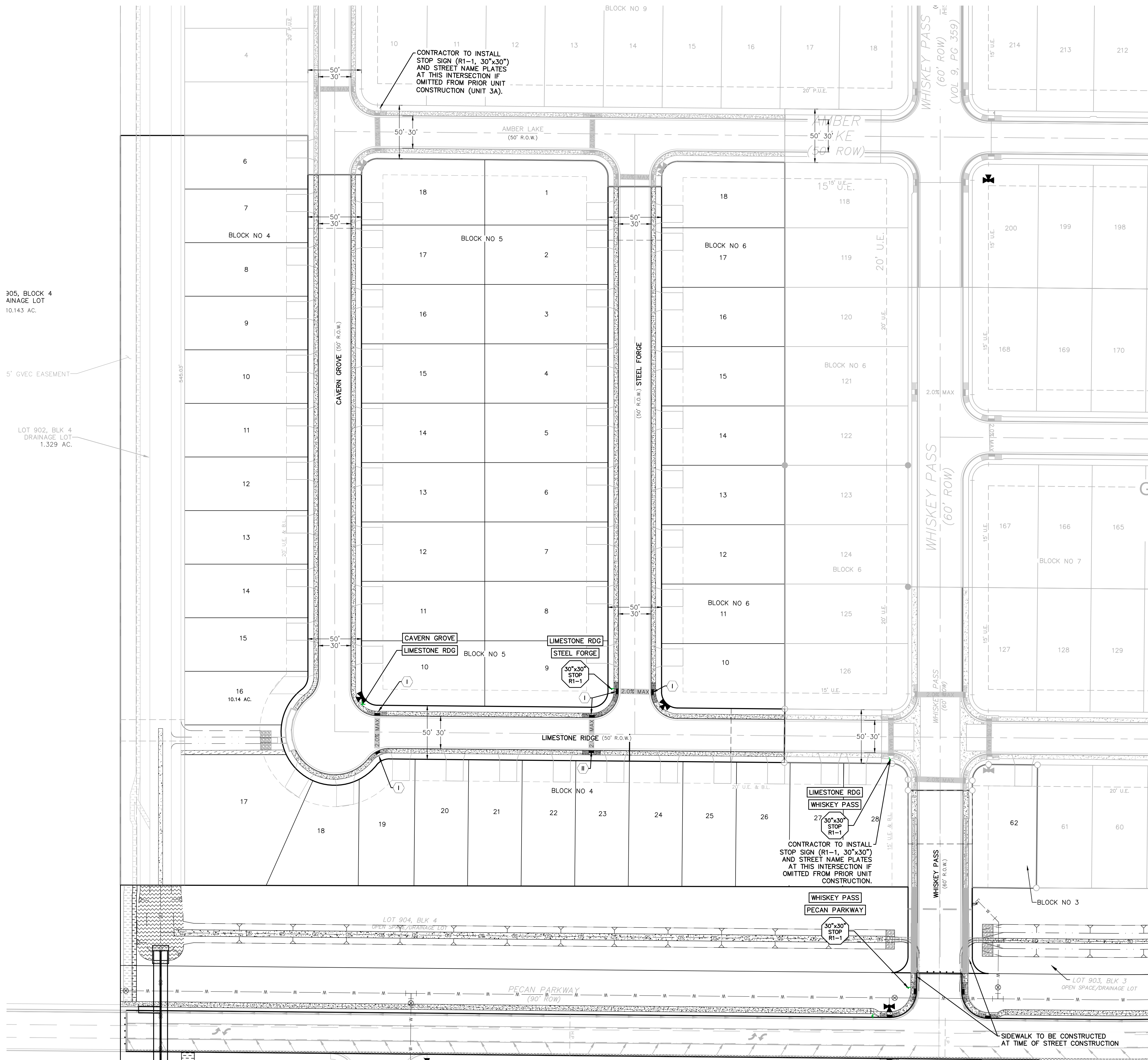
NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JANUARY 2024
DRAWN BY: MK/RR
DESIGNED BY: MA
REVIEWED BY: CC

HMT PROJECT NO.: 310.012

**SHEET
C3.04**

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



LEGEND

- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- A.D.A. RAMP
- ACCESSIBLE CROSSING AREA
CONTRACTOR TO ENSURE MAX 2%
CROSS SLOPE IN THESE AREAS
- SIDEWALK RAMP TYPE
TO BE CONSTRUCTED AT TIME OF
STREET CONSTRUCTION
(SEE DETAIL SHEET C3.08)
- SIDEWALK TO BE CONSTRUCTED
BY SITE DEVELOPMENT CONTRACTOR

NOTES

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- CONTRACTOR TO CONSTRUCT SIDEWALK RAMPS WITH STREETS.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM STREET STUB OUT ENDS SO THAT NO "PONDING" OF WATER OCCURS.
- PER CITY OF SEGUIN UDC ROAD ADEQUACY TECHNICAL MANUAL, SECTION 4 ALL DRIVEWAY LOCATED ON A SINGLE FAMILY RESIDENCE ON A LOCAL STREET SHALL HAVE A MINIMUM SPACING OF 20'
- MAILBOX PAD LOCATION(S) SHALL BE COORDINATED WITH POST OFFICES, OWNER AND ENGINEER. MAILBOX PADS SHALL BE LOCATED ADJACENT TO THE BACK OF SIDEWALKS AND SHALL BE ADA ACCESSIBLE.

SIGNAGE NOTES

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL REGULATORY, WARNING AND STREET NAME SIGNS AND SIGN MOUNTS IN ACCORDANCE WITH CITY OF SEGUIN DETAILS AND STANDARDS.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



STREET SIGNAGE PLAN

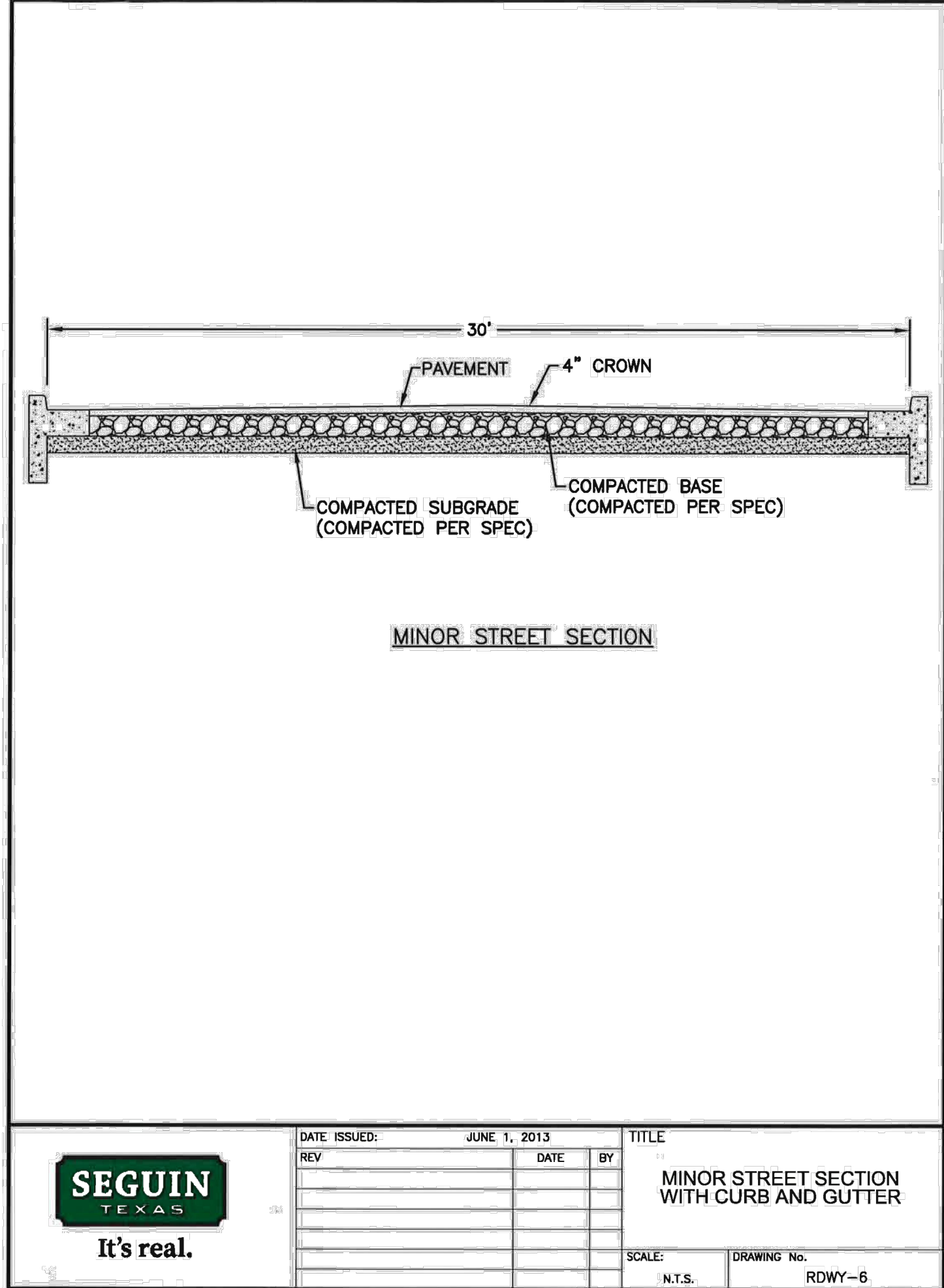
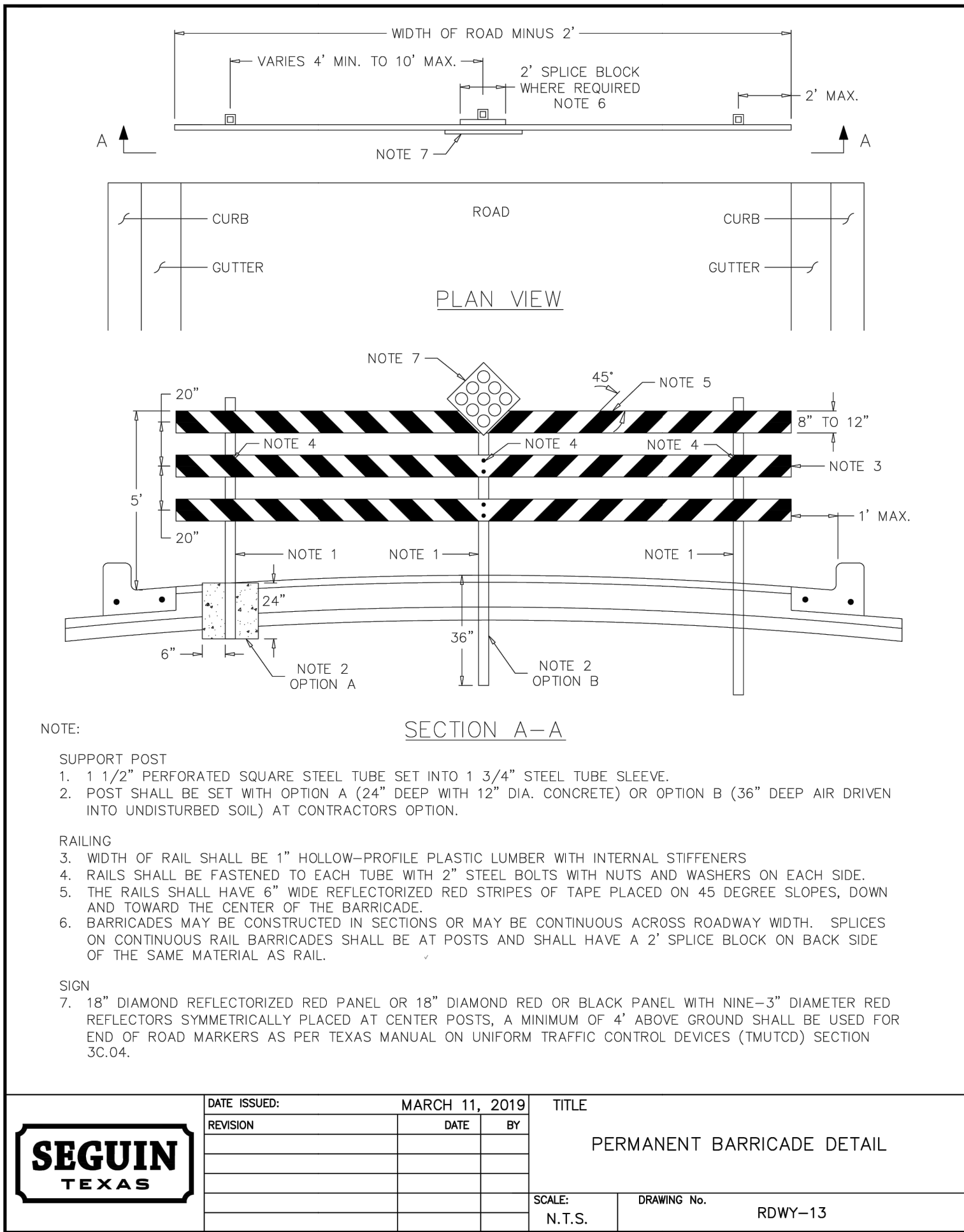
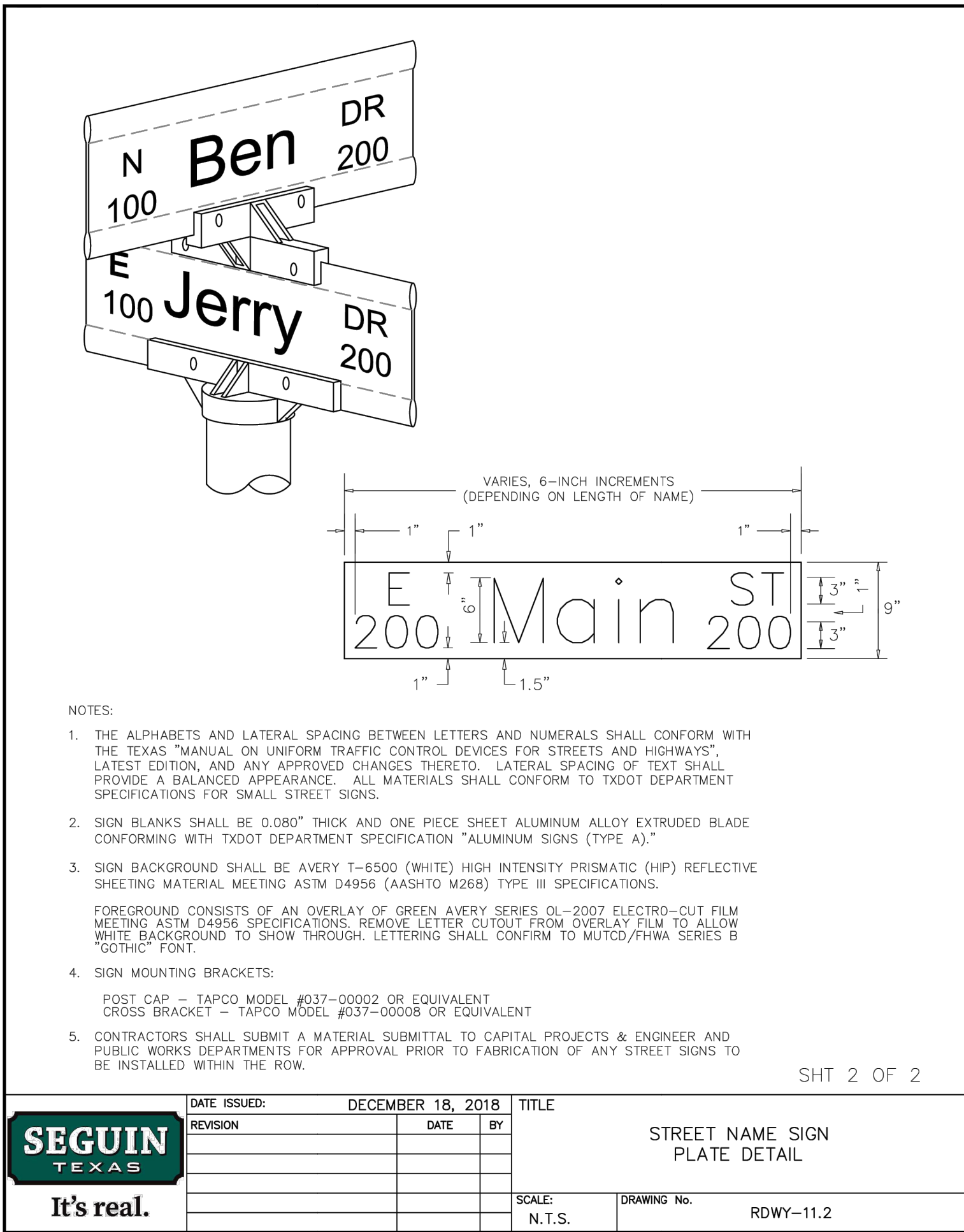
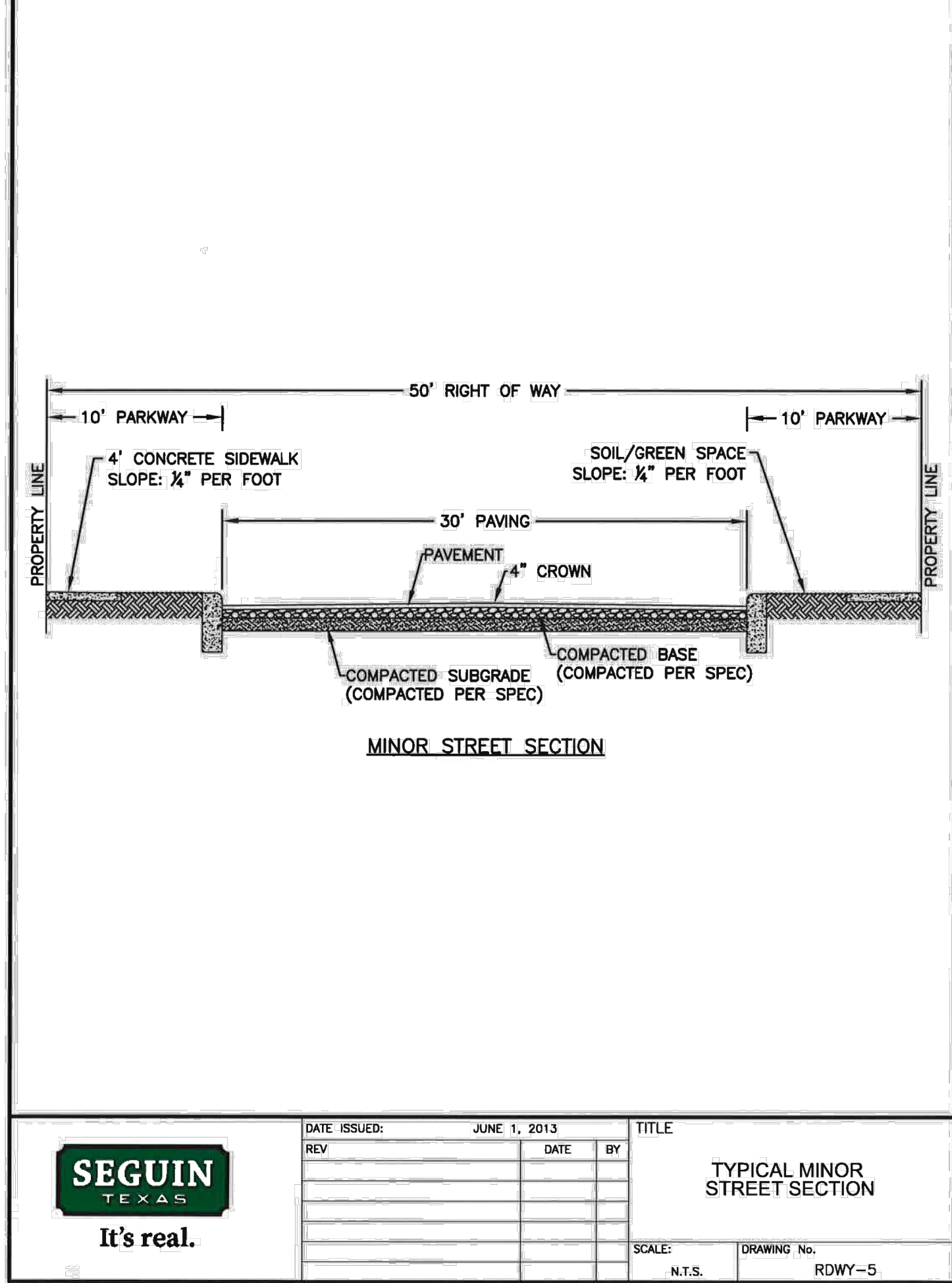
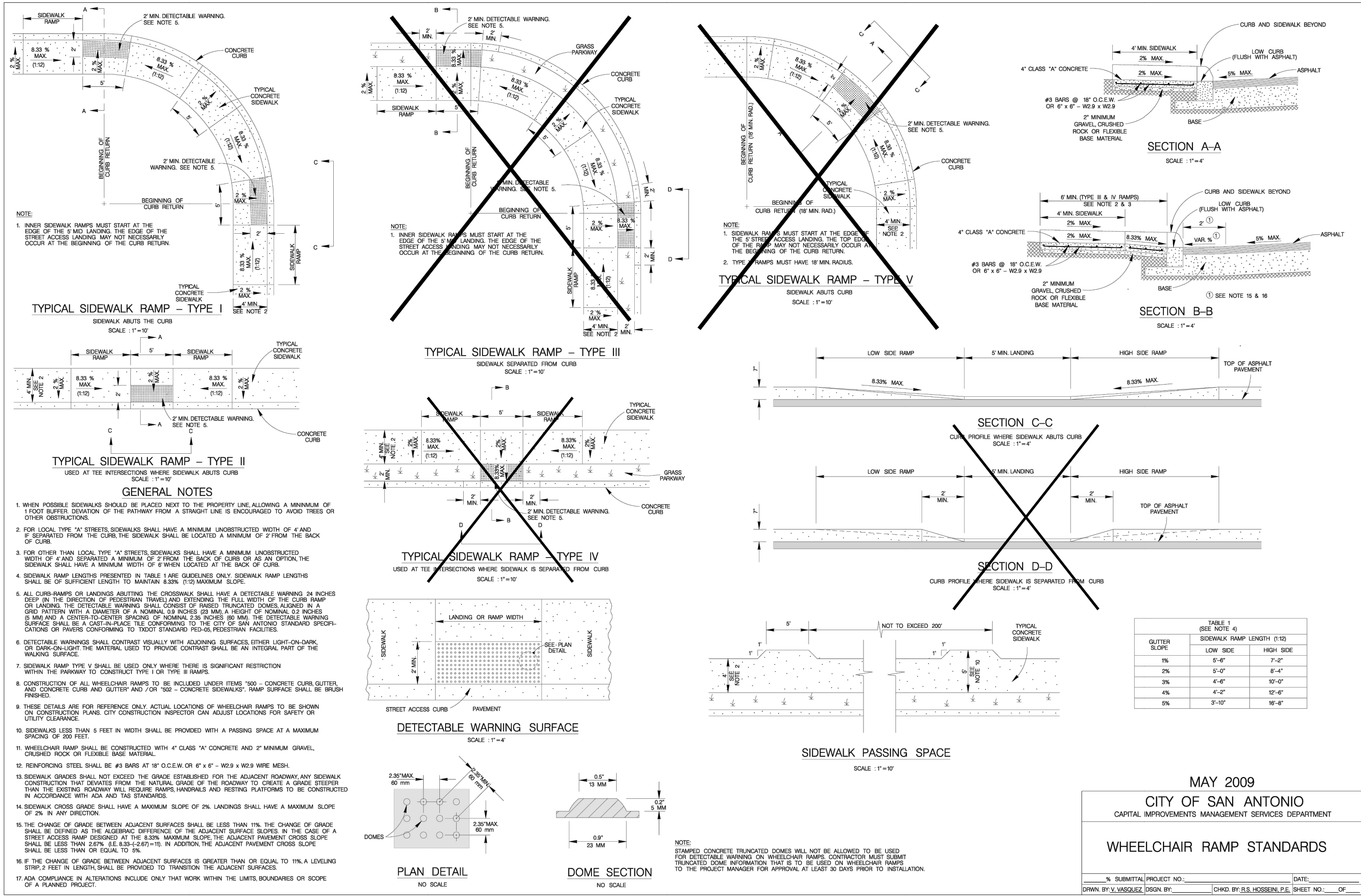
GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

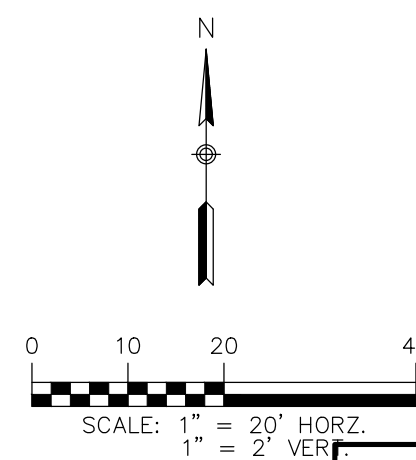
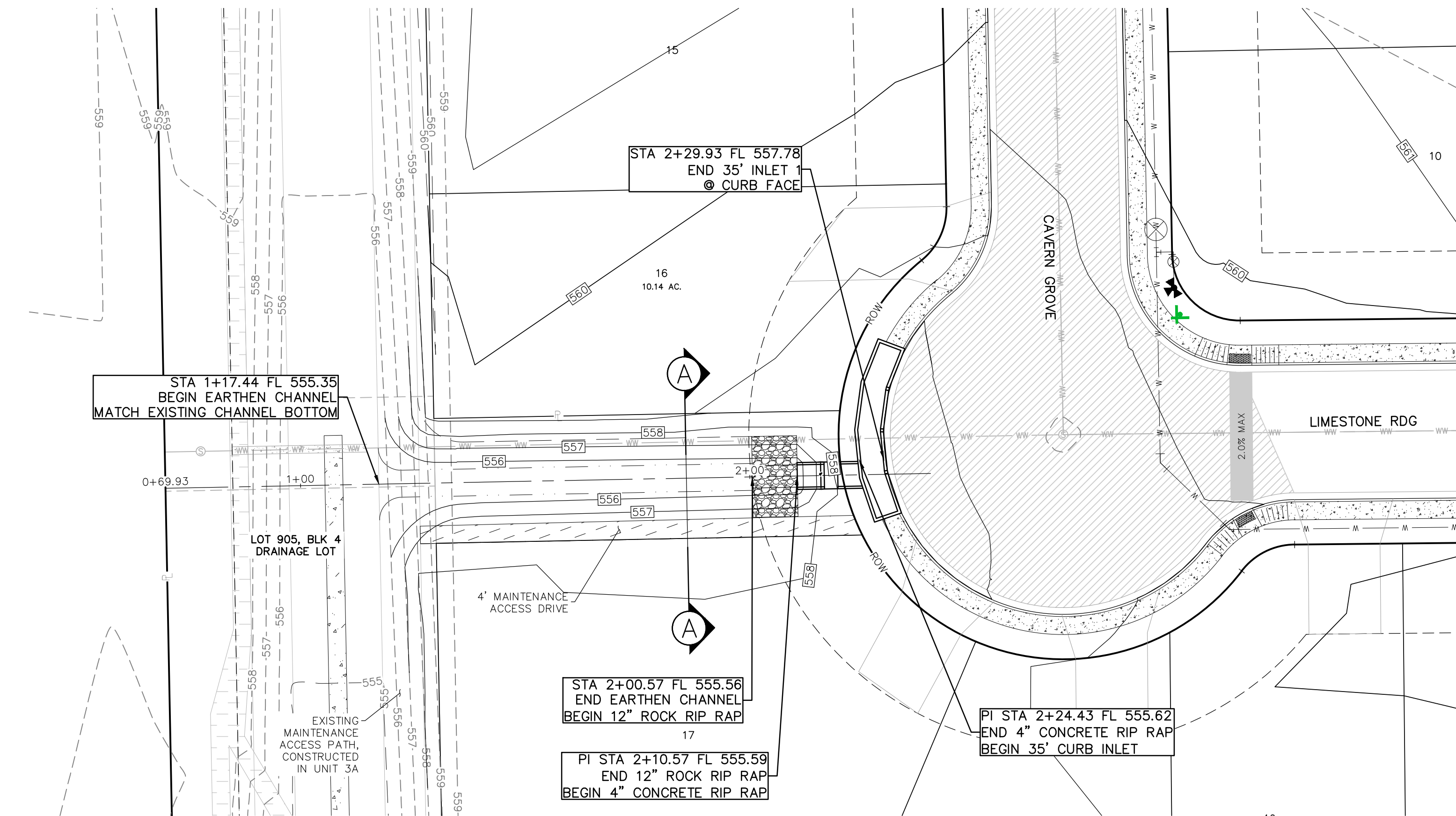
NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: JANUARY 2024
DRAWN BY: MK/RR
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HMT PROJECT NO.: 310.012

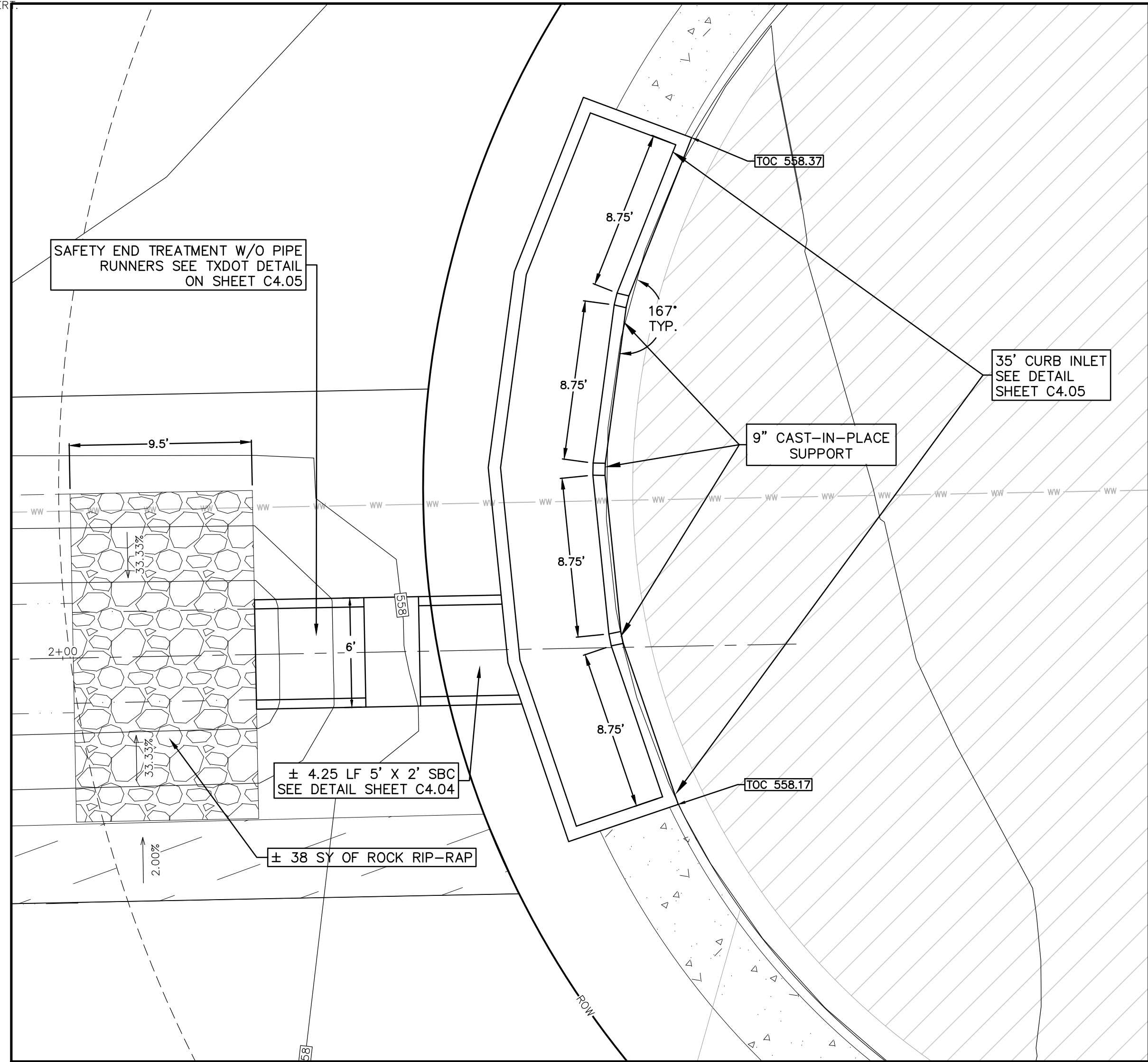
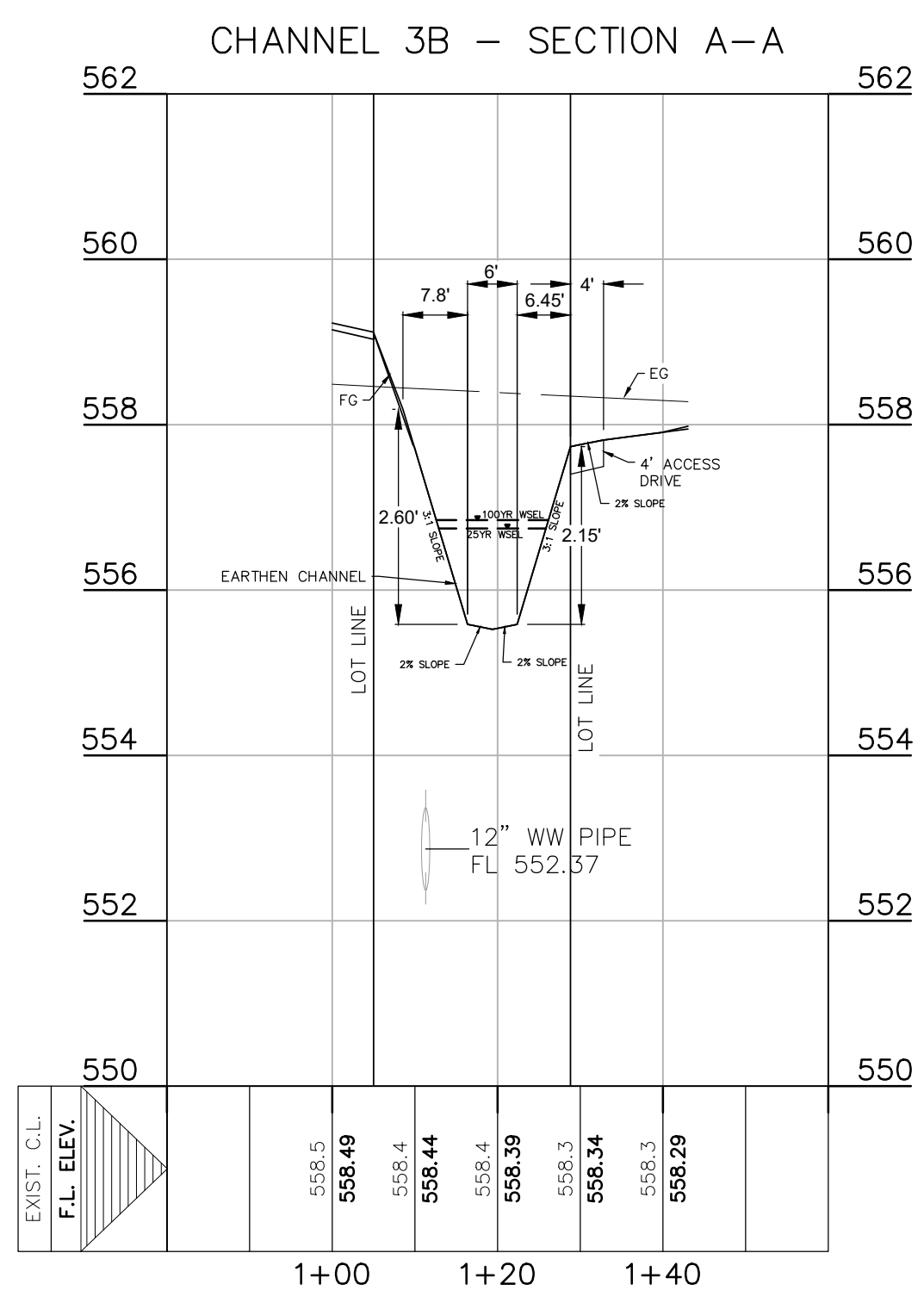
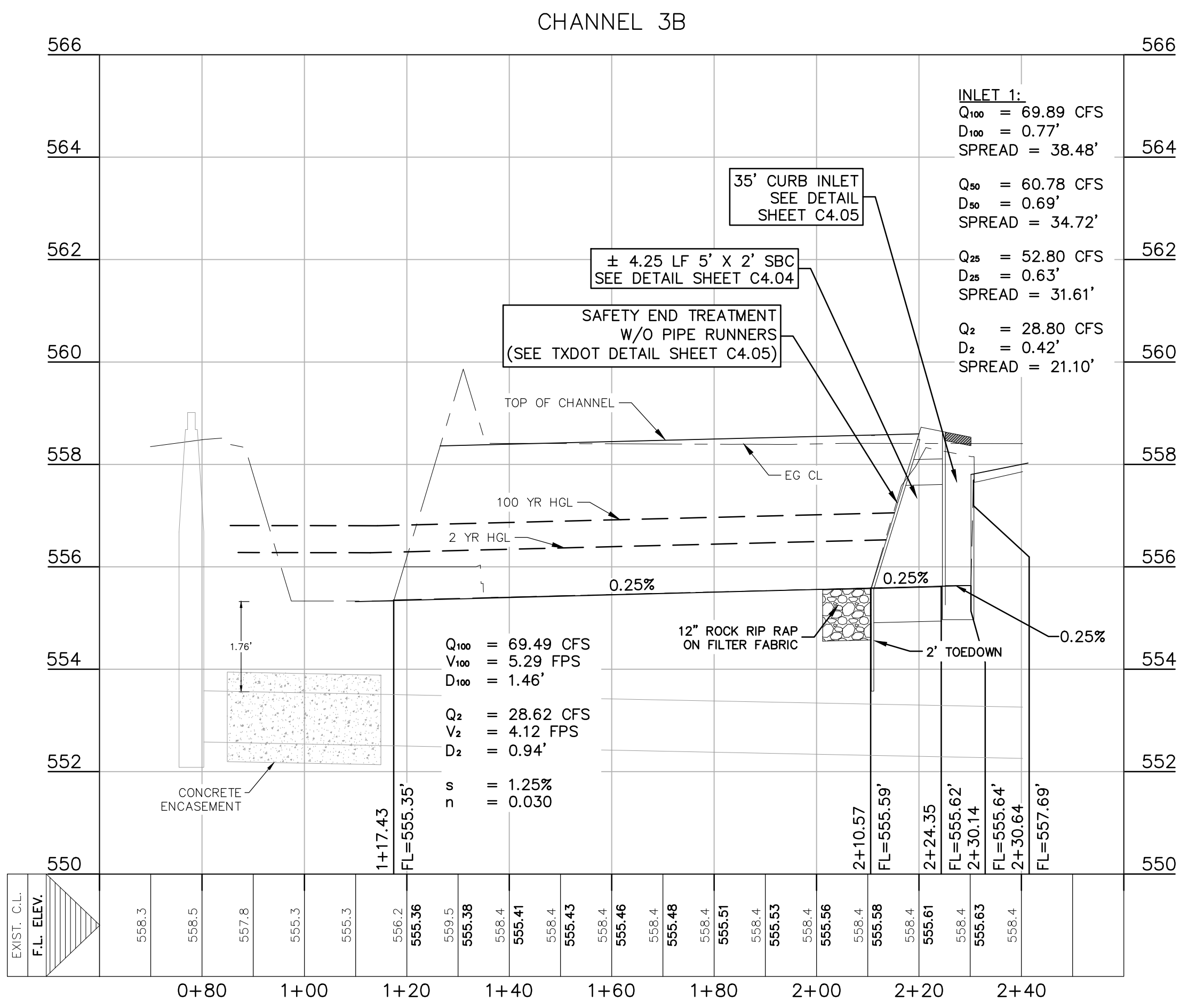
SHEET
C3.05

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LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	B.L.
	U.E.
	D.E.
	S.B.C.
	PROPOSED STORM DRAIN LINE
	UTILITY CROSSING



- DRAINAGE FEATURES, DETENTION BASIN MAINTENANCE AND EQUIPMENT ACCESS REQUIREMENTS:**
- SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.
- A. TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
 - B. ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
 - C. BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
 - D. CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME A BASIN DOES NOT DRAIN COMPLETELY WITHIN 60 HOURS OR CESSATION OF INFLOW (IE: NO STANDING WATER IS ALLOWED).
 - E. STRUCTURAL INTEGRITY OF BASINS SHALL BE MAINTAINED AT ALL TIMES.
 - F. MAINTENANCE VEHICLE FOR POND ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.

REFER TO THE COVER SHEET FOR BENCHMARK INFORMATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

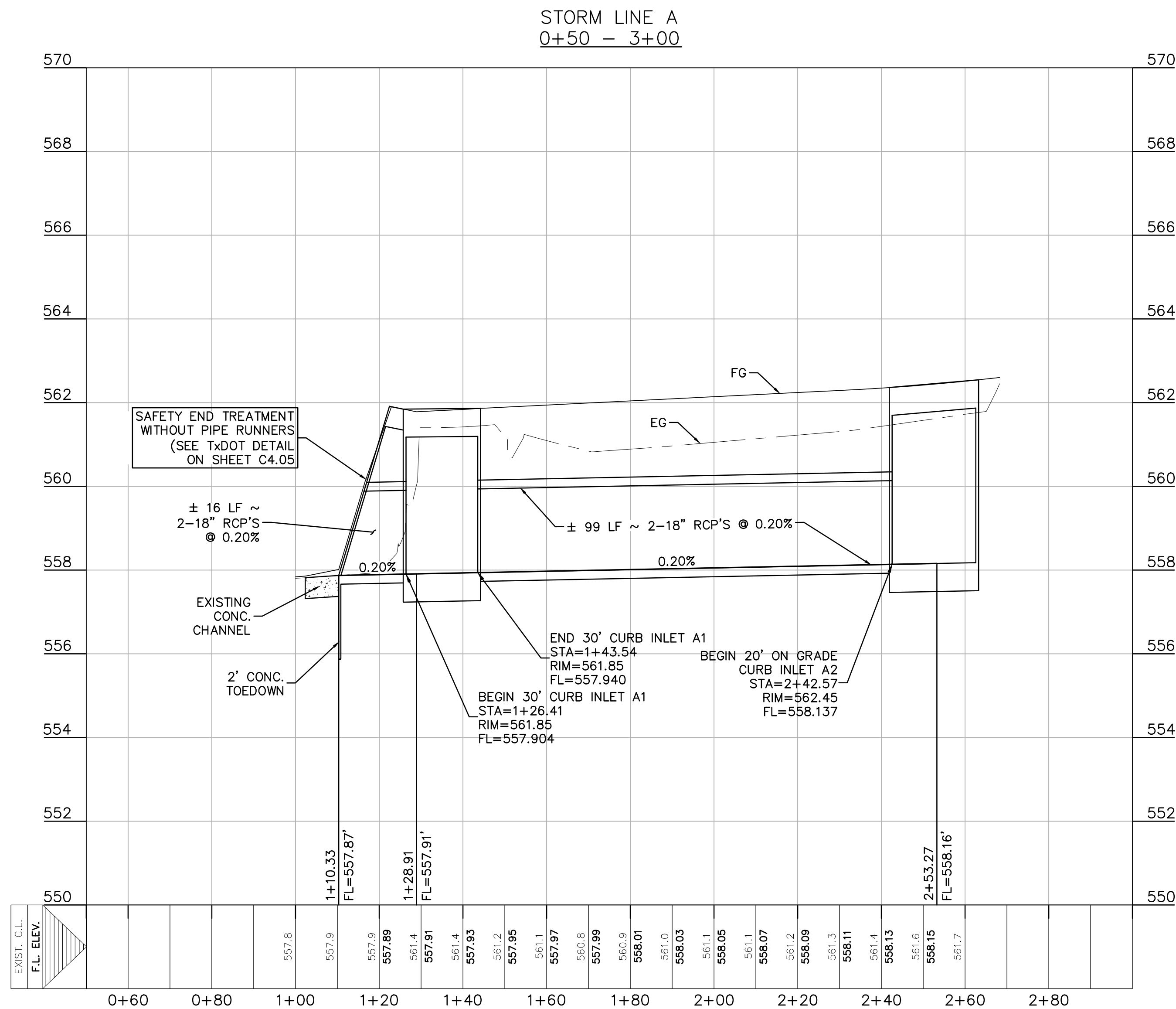


CHANNEL 3B PLAN AND PROFILE
GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	REVISION DATE

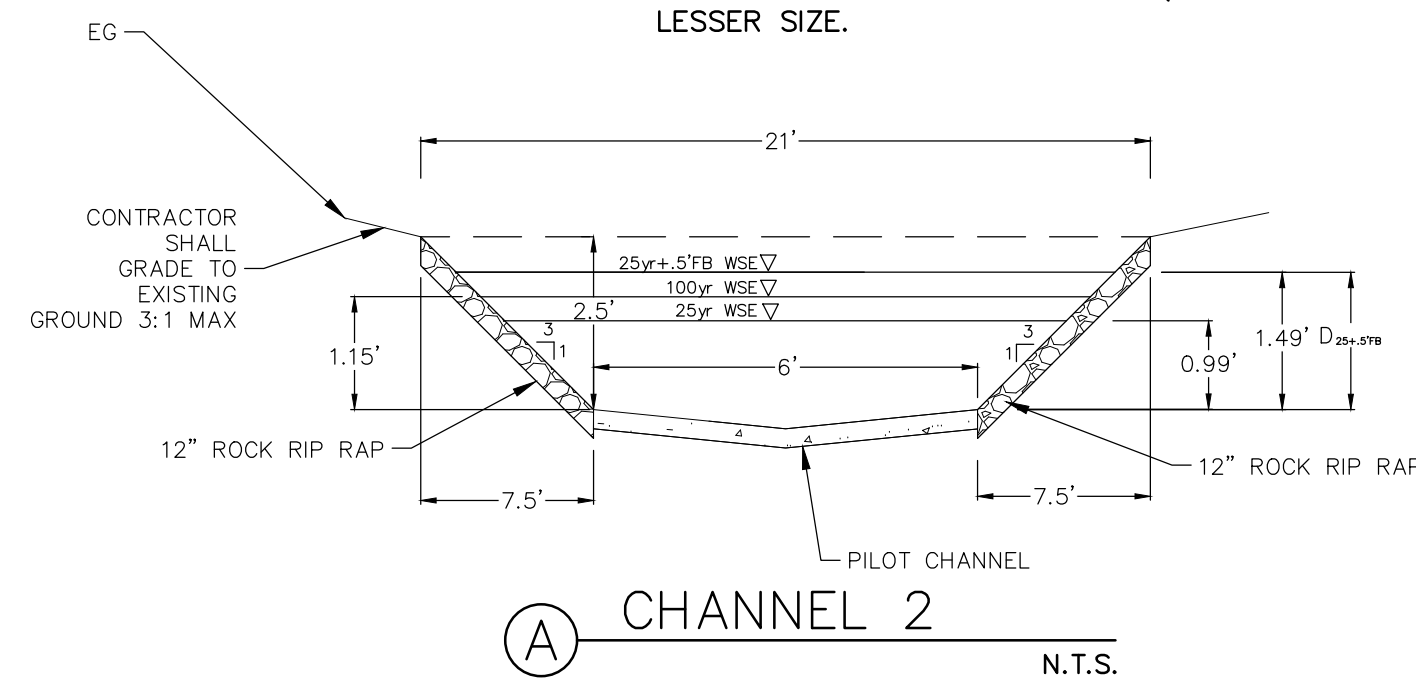
DATE:	JANUARY 2024
DRAWN BY:	MK/RR
DESIGNED BY:	MA
REVIEWED BY:	CC

HMT PROJECT NO.: 310.012



IN SAG INLET A1:
 $Q_{100} = 30.05$ CFS
 $D_{100} = 0.52'$
 SPREAD = 15.73'


$Q_{10} = 15.31$ CFS
 $D_{10} = 0.52'$
 SPREAD = 7.02'

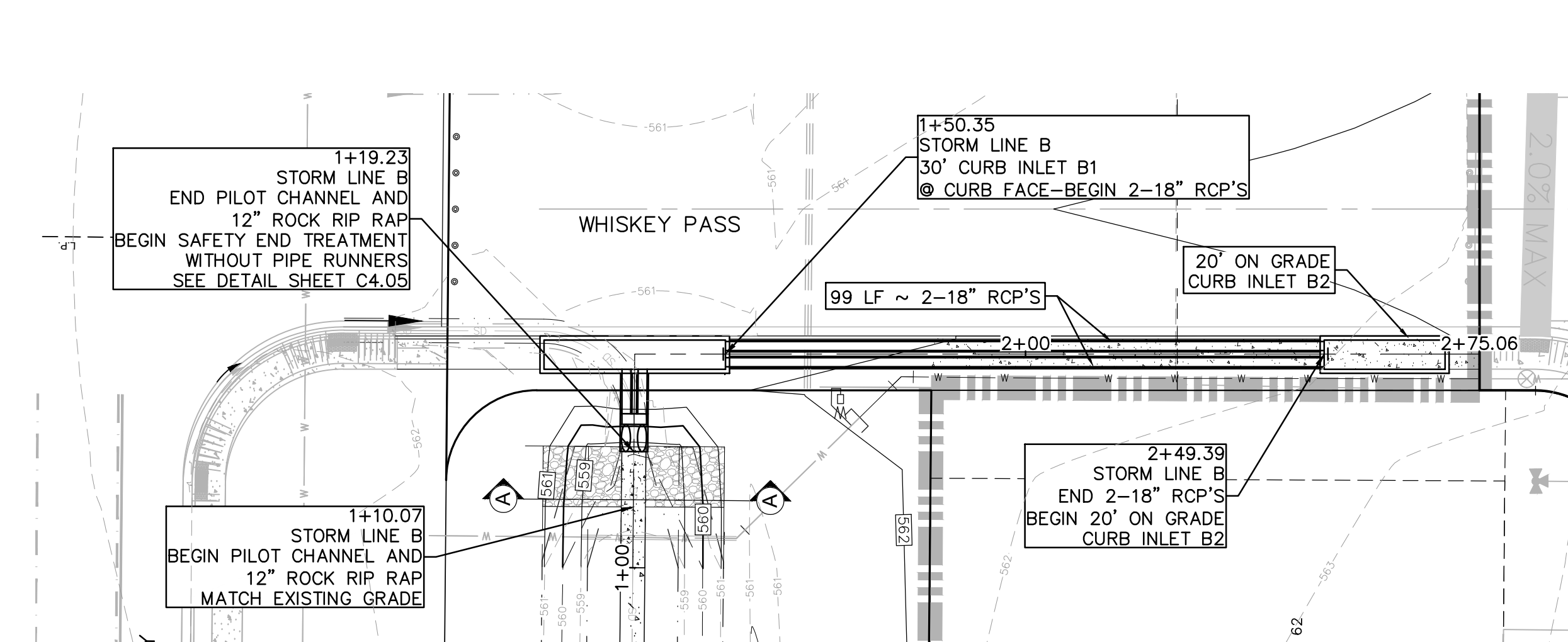


KEY MAP

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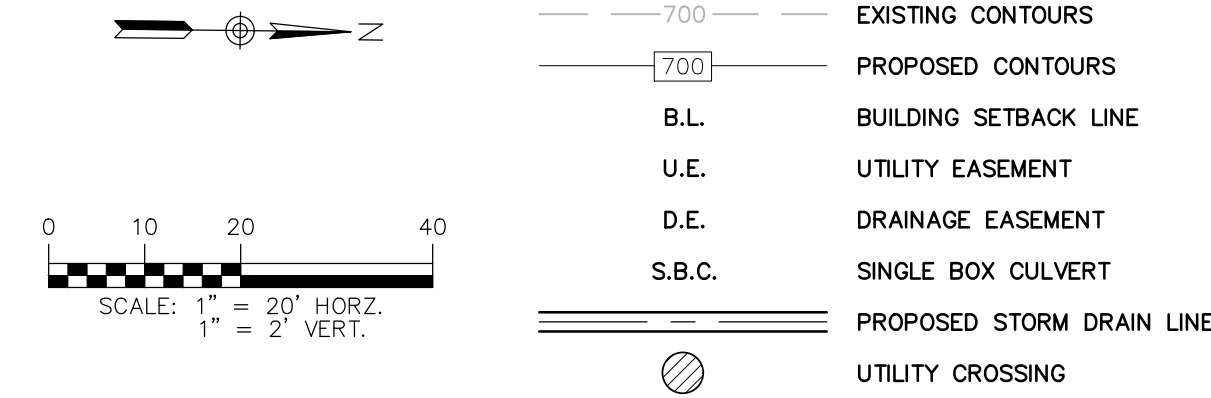
SILT SHALL BE REMOVED AND THE BASIN RETURNED TO ORIGINAL LINES AND GRADES WHEN STANDING WATER CONDITIONS OCCUR OR THE BASIN STORAGE VOLUME IS REDUCED BY MORE THAN 10%.

- | <div style="text-align: right;"> 290 S. CASTELL AVE., STE. 100
 NEW BRAUNFELS, TX 78130
 TBPE FIRM F-10961
 TBPLS FIRM 1053600 </div> | | | | | |
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|  | | | | | |
| <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <h2 style="margin: 0;">STORM LINE A PLAN AND PROFILE</h2> </div> <div style="width: 50%; text-align: center;"> <h2 style="margin: 0;">GREENSPPOINT HEIGHTS UNIT 3B
SEGUN, TEXAS</h2> </div> </div> | | | | | |
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| DATE: | | JANUARY 2024 | | | |
| DRAWN BY: | | MK/RR | | | |
| DESIGNED BY: | | MA | | | |
| REVIEWED BY: | | CC | | | |
| HMT PROJECT NO.: | | 310.012 | | | |
| SHEET | | | | | |
| C4.02 | | | | | |



ON GRADE INLET B2:
 $Q_{100} = 27.61$ CFS
 $D_{100} = 0.69'$
 $Q_{10} = 21.54$ CFS
 $D_{10} = 0.59'$

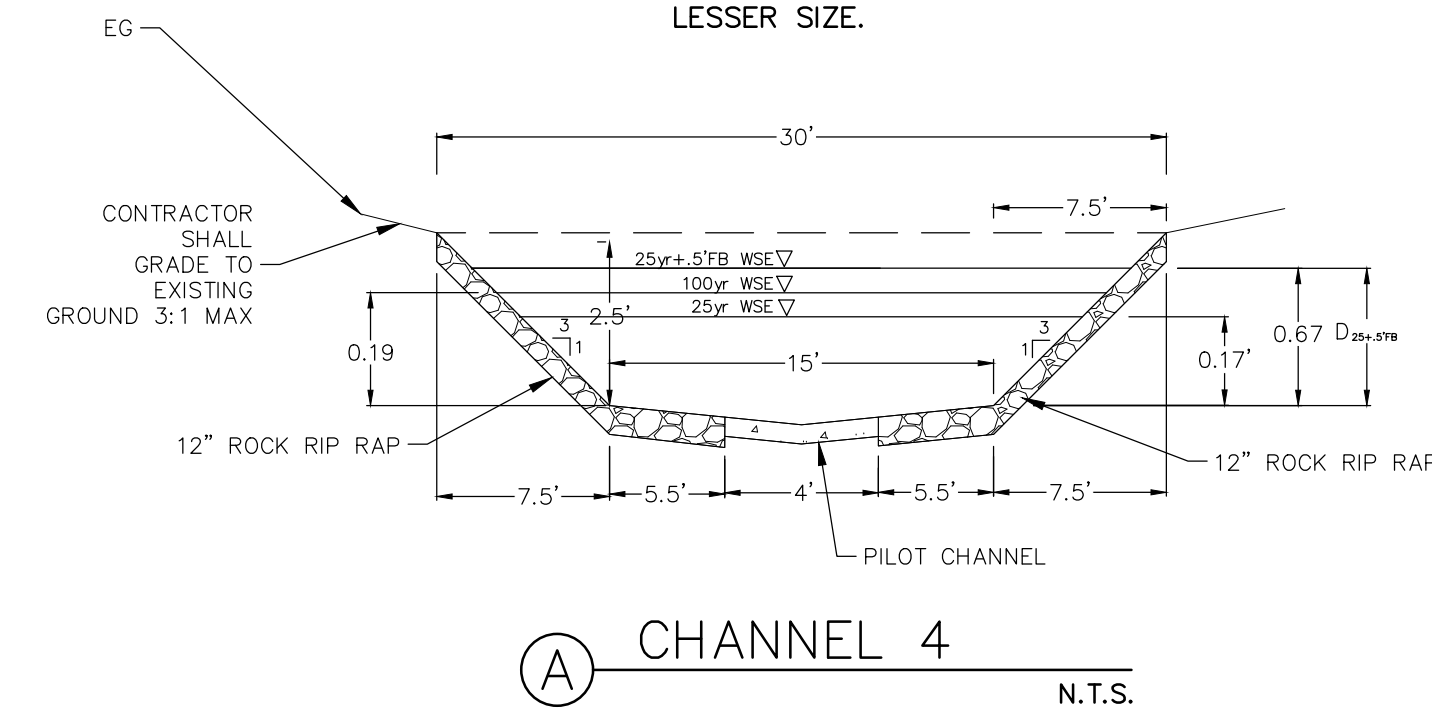
IN SAG INLET B1:
 $Q_{100} = 30.05$ CFS
 $D_{100} = 0.52'$
SPREAD = 15.73'
 $Q_{10} = 15.31$ CFS
 $D_{10} = 0.52'$
SPREAD = 7.02'



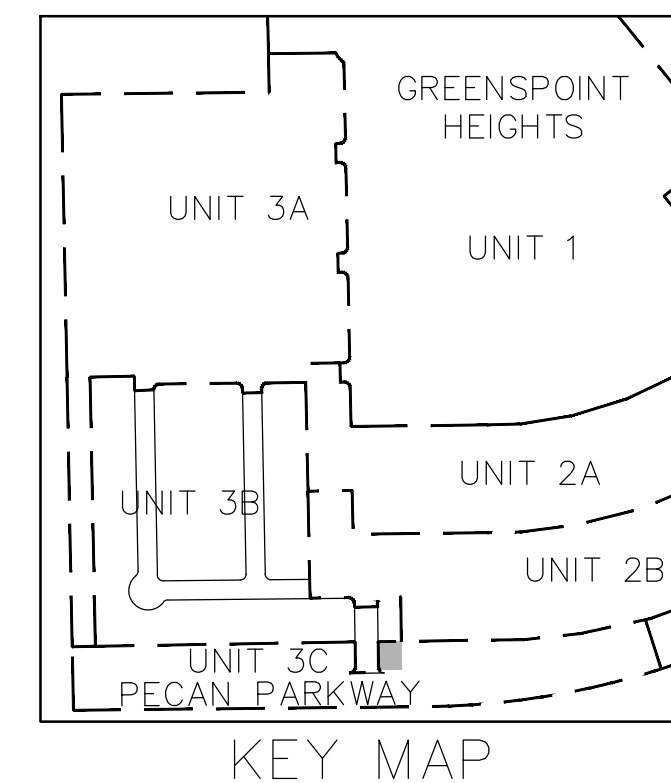
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- A. TO LIMIT EROSION, NO UNVEGETATED AREA SHALL EXCEED 10 SQ. FT. IN EXTENT.
- B. ACCUMULATED PAPER, TRASH, AND DEBRIS SHALL BE REMOVED EVERY 6 MONTHS OR AS NECESSARY TO MAINTAIN PROPER OPERATION.
- C. BASINS SHALL BE MOWED ANNUALLY BETWEEN THE MONTHS OF JUNE AND SEPTEMBER.
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- E. STRUCTURAL INTEGRITY OF BASINS SHALL BE MAINTAINED AT ALL TIMES.
- F. MAINTENANCE ACCESS DRIVES ARE TO BE A MINIMUM OF 4' WIDE WITH A 2% CROSS SLOPE TOWARDS CHANNEL/POND. VEHICLE FOR POND ACCESS SHOULD BE A BOBCAT S175 SKID STEER LOADER OR VEHICLE OF EQUAL TO LESSER SIZE.



$Q_{100} = 57.66$ CFS
 $V_{100} = 3.06$ FPS
 $D_{100} = 1.09'$
 $S = 0.20\%$
 $Q_{25} = 43.61$ CFS
 $V_{25} = 2.79$ FPS
 $D_{25} = 0.93'$
 $S = 0.20\%$
 $Q_2 = 23.82$ CFS
 $V_2 = 2.25$ FPS
 $D_2 = 0.66'$
 $S = 0.20\%$



REFER TO THE COVER SHEET FOR BENCHMARK INFORMATION.

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NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

01/04/2024

STORM LINE B PLAN AND PROFILE

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: **JANUARY 2024**

DRAWN BY: **MK/RR**

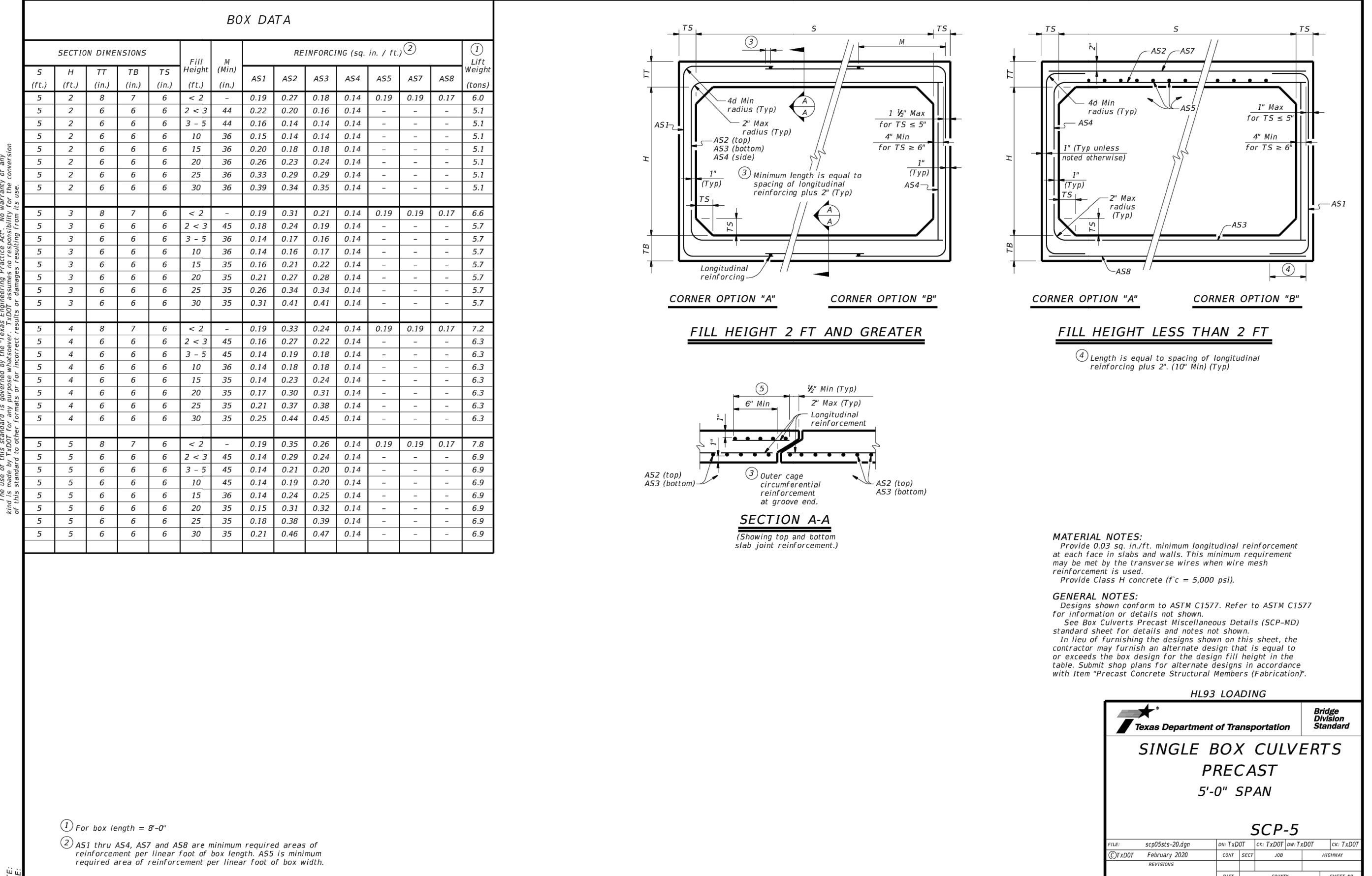
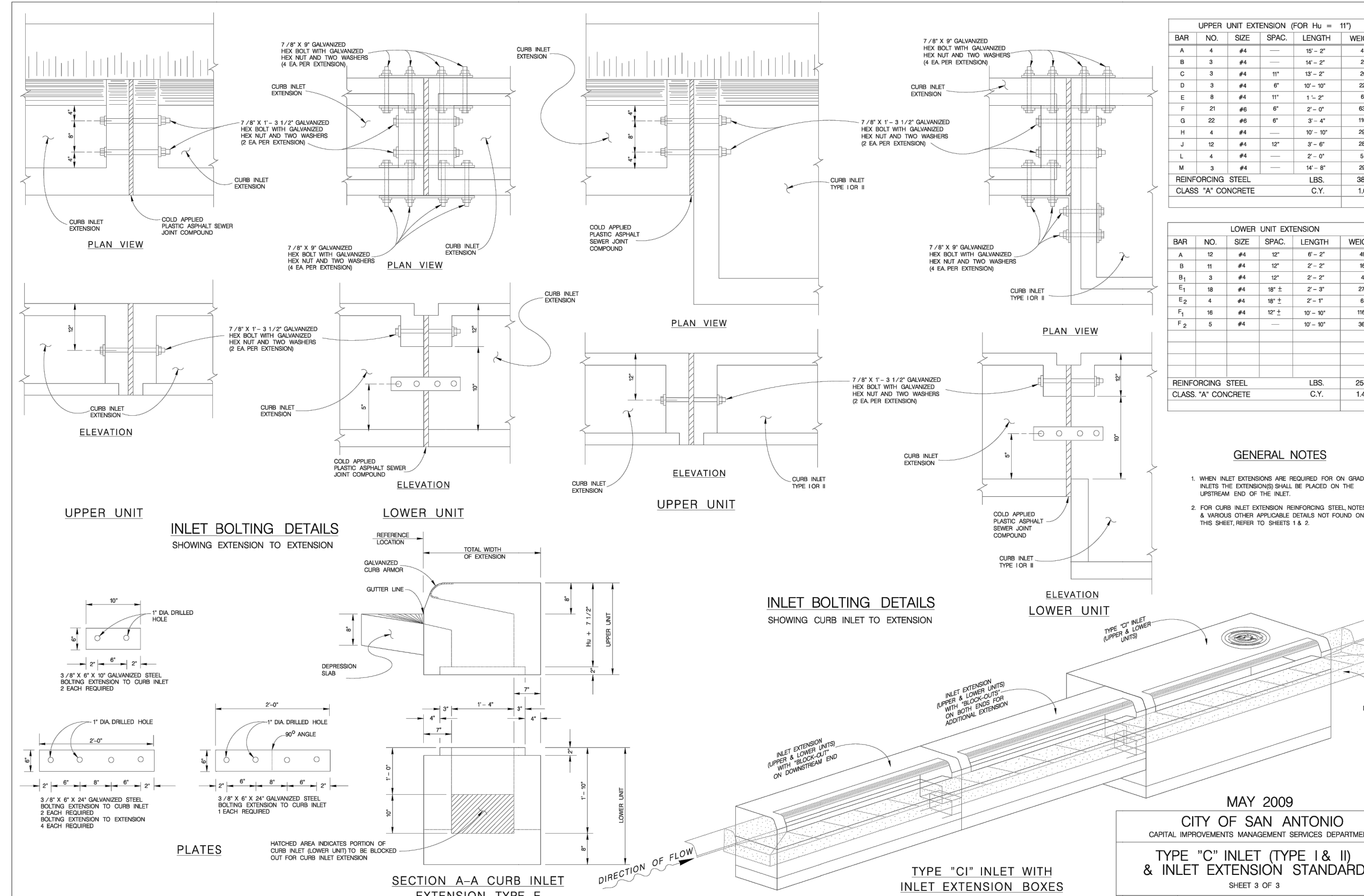
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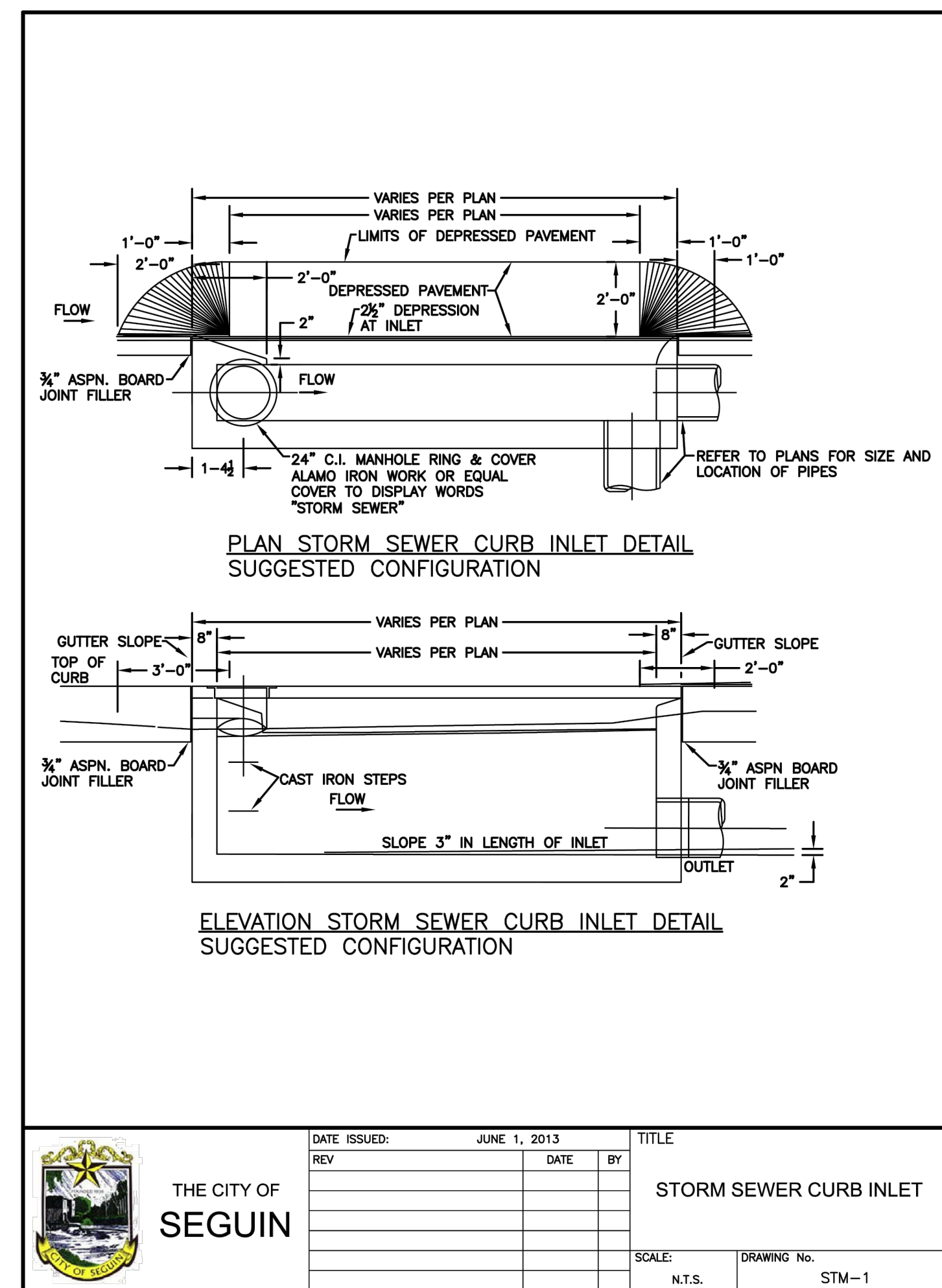
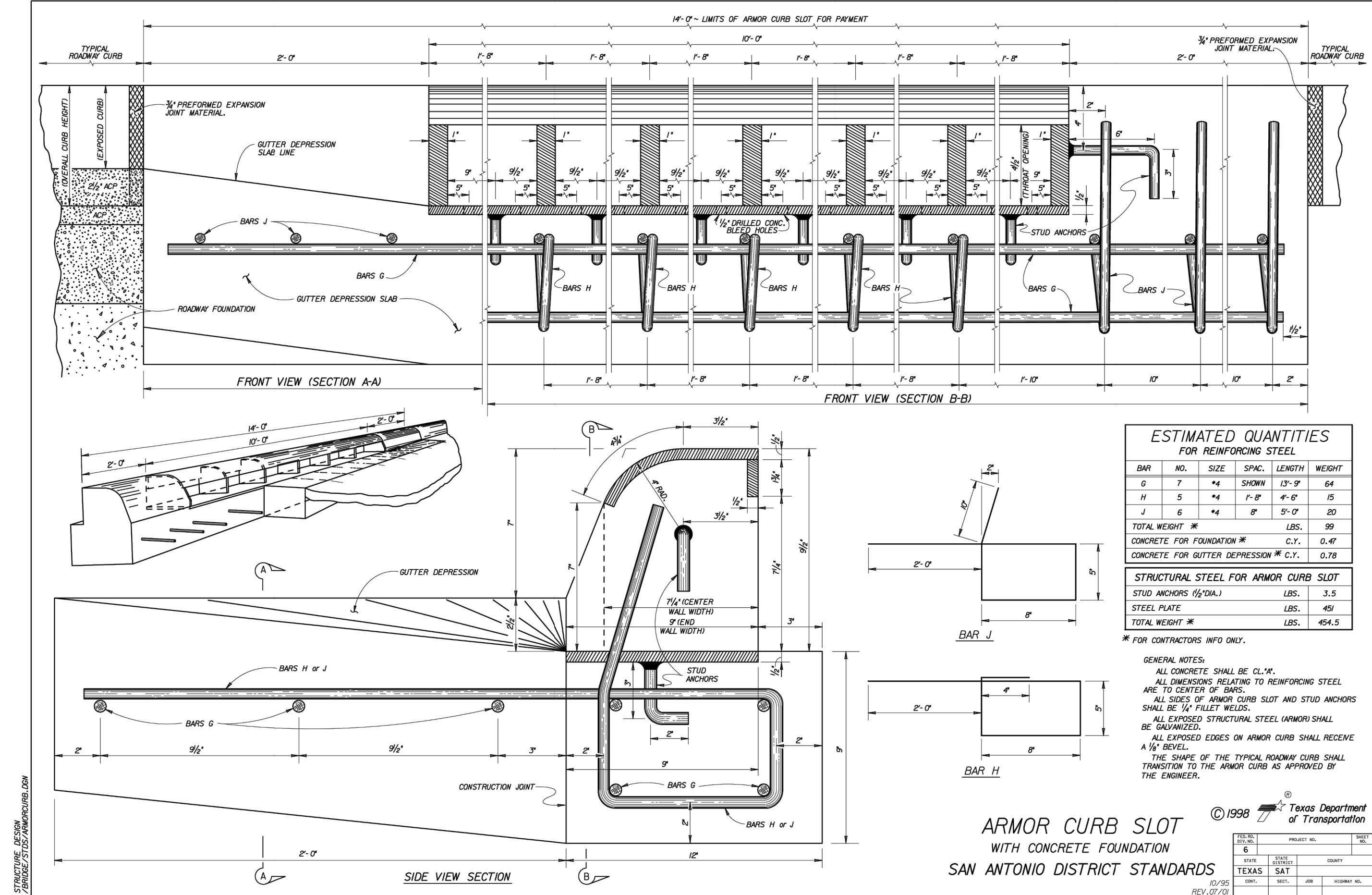
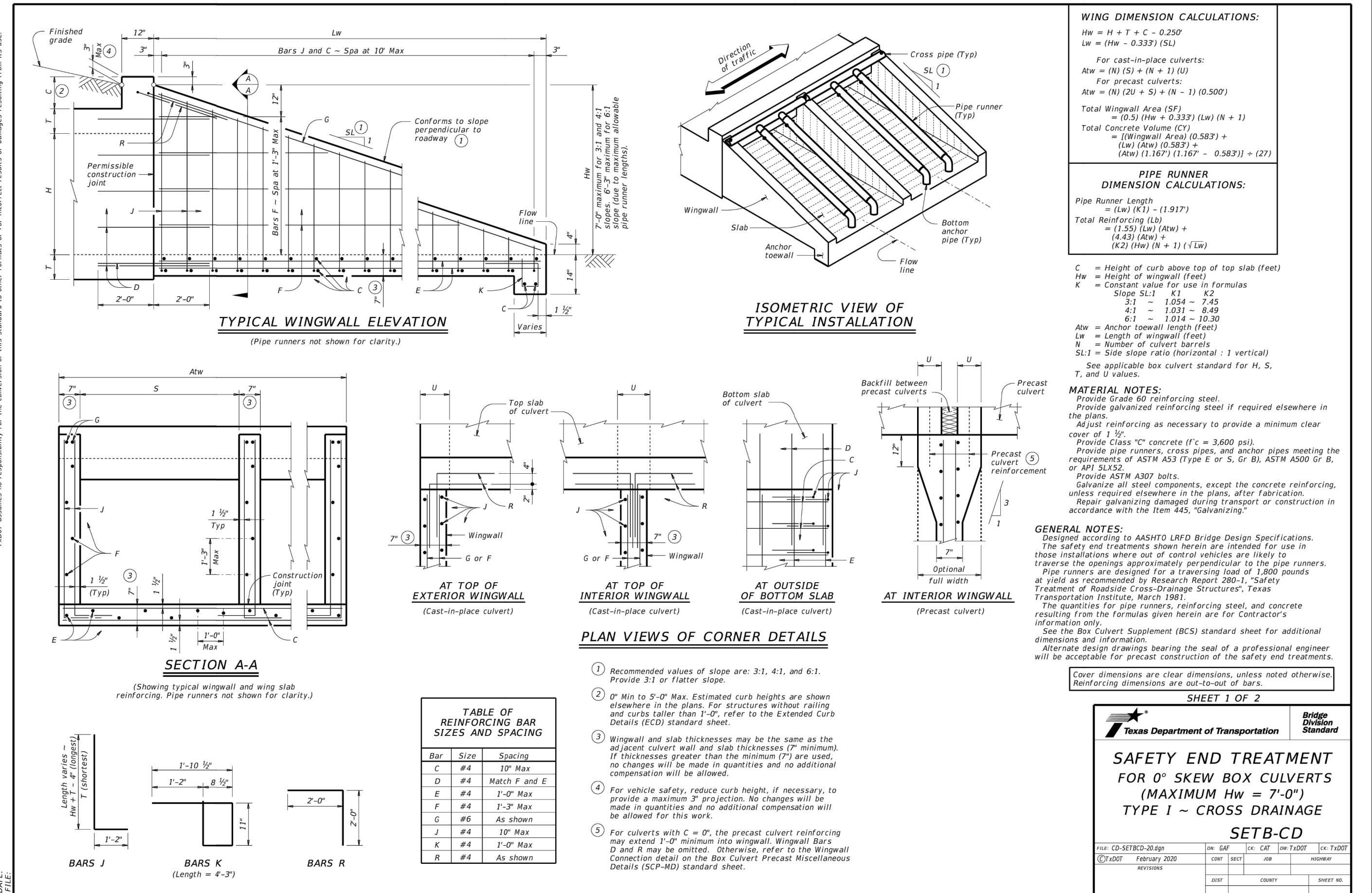
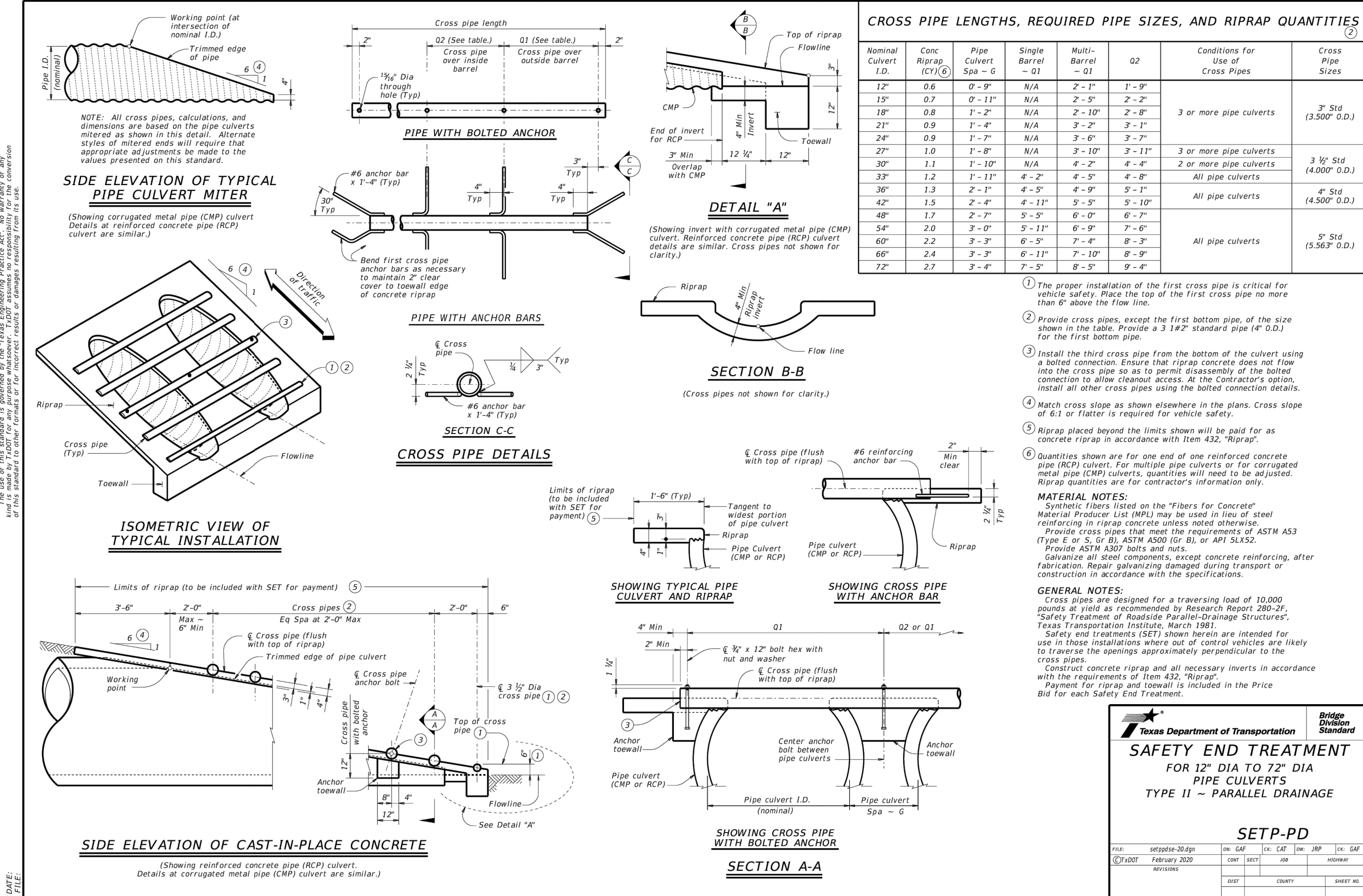
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HMT PROJECT NO.: **310.012**

SHEET

C4.03

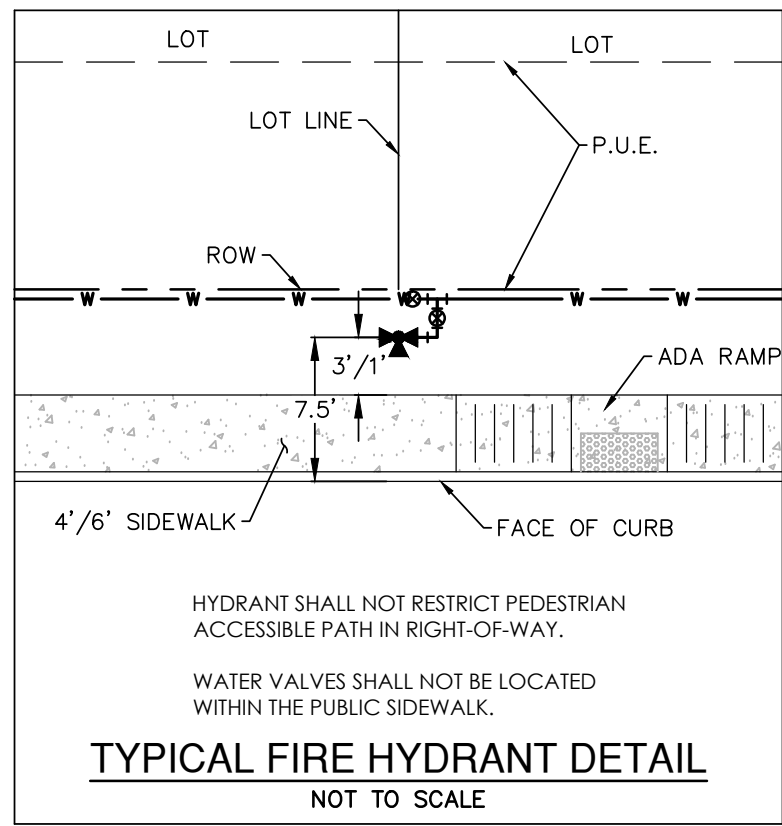




Drawing Name: N:_Projects\310 - MI Homes of San Antonio, LLC\012 - Greenspoint Heights Unit 3B\010.012_WATR.dwg User: mella Jan 04, 2024 - 10:11am

SPRINGS HILL WATER SUPPLY CORPORATION NOTES:

- EXISTING WATER INFRASTRUCTURE IN THE VICINITY OF THE TRACT IS AVAILABLE TO SERVE THE PROPOSED DEVELOPMENT. IF THE DEVELOPMENT EXCEEDS THE CAPACITY OF THE EXISTING WATER INFRASTRUCTURE, THEN IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO MAKE THE NECESSARY IMPROVEMENTS TO THE EXISTING WATER INFRASTRUCTURE TO PROVIDE SUFFICIENT CAPACITY. THE EXTENT OF THE NECESSARY WATER IMPROVEMENTS WILL BE OUTLINED IN A MEMORANDUM OF UNDERSTANDING OR NON-STANDARD SERVICE AGREEMENT PRIOR TO THE APPROVAL OF ANY FINAL PLAT.
- SHWSC SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
- ANY EASEMENT DESIGNATED AS A SHWSC UTILITY EASEMENT SHALL REMAIN OPEN ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
- ALL SHWSC EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ANY SHWSC FACILITY LOCATED WITHIN SAID EASEMENT.
- WATER LINE IS TO BE CONSTRUCTED IN ACCORDANCE WITH SPRINGS HILL WATER SUPPLY CORPORATION STANDARD DRAWINGS AND SPECIFICATIONS.
- WATER MAIN SHALL HAVE A MINIMUM OF 30 INCHES OF COVER, OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
- CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.
- NO METER BOXES TO BE SET IN DRIVEWAYS. ANY METER BOX SET IN A DRIVEWAY WILL BE RELOCATED AT THE CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- NO VALVES, HYDRANTS, ETC. SHALL BE CONSTRUCTED WITHIN CURBS, SIDEWALKS, DRIVEWAYS, OR ROADWAYS. SHWSC WILL NOT BE RESPONSIBLE FOR ANY DAMAGES TO CONCRETE OR PAVED AREAS IF DEVELOPER DOES NOT COMPLY.
- PERMANENT TIE-INS TO IN-SERVICE MAINS SHALL ONLY BE CONSTRUCTED FOLLOWING FLUSHING, DISINFECTION, TESTING, AND APPROVAL BY SHWSC. TEMPORARY CONNECTIONS FOR FILLING, FLUSHING, AND TESTING MUST BE EQUIPPED WITH SHWSC-PROVIDED BACKFLOW PREVENTION TO MAINTAIN CROSS-CONNECTION CONTROL.
- A HYDROSTATIC TEST SHALL BE PERFORMED AFTER SERVICES ARE CONNECTED AND FINAL GRADING AND PLACEMENT ARE COMPLETE.
- WATER SERVICE LINE CROSSINGS OF CURBS SHALL BE INDICATED BY A "W" STAMPED IN THE FACE OF THE CURB DURING CONCRETE PLACEMENT WITH A TOOL INTENDED FOR THE PURPOSE. VALVED CROSINGS SHALL BE INDICATED BY A "V" STAMPED IN THE FACE OF THE CURB DURING CONCRETE PLACEMENT WITH A TOOL INTENDED FOR THE PURPOSE. LETTERING SHALL BE 4" IN HEIGHT AND HAVE BEVELED EDGES TO PREVENT CHIPPING OR SPAWING OVER TIME.



CITY OF SEGUIN NOTES:

ALL UTILITIES TO BE CONSTRUCTED PRIOR TO STREETS.

ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT/SIDEWALK SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") LOOSE. DETERMINE THE MAXIMUM LIFT THICKNESS BASED ON THE ABILITY OF THE COMPACTING OPERATION AND EQUIPMENT USED TO MEET THE REQUIRED DENSITY. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E AND TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF SEGUIN PROJECT INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200LF FOR EACH LIFT AND EVERY OTHER SERVICE LINE. UPON COMPLETION OF TESTING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE CITY OF SEGUIN PROJECT INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF SEGUIN PROJECT INSPECTOR.

FOR PROJECTS WITH TRENCH DEPTHS EXCEEDING 5 FEET:

THIS PROJECT INCLUDES UTILITY INSTALLATIONS GREATER THAN 5- FEET IN DEPTH LOCATED IN PUBLIC RIGHT-OF-WAY OR EASEMENTS. DEEP TRENCHES POSE COMPACTION TESTING AND CONSTRUCTION CHALLENGES AND CITY METHODS FOR TESTING AND COMPACTION MAY NOT BE ACHIEVABLE. A UTILITY COMPACTION PLAN WILL BE REQUIRED AND MUST BE SUBMITTED FOR APPROVAL TO CITY PRIOR TO UTILITY INSTALLATION.

WASTEWATER SYSTEM NOTE:

SANITARY SEWER LATERALS/SERVICE LINES SHALL BE DESIGNED AND INSTALLED TO ENSURE THAT CLEANOUTS WILL NOT BE LOCATED WITHIN THE RESIDENTIAL DRIVEWAY, DRIVEWAY APRON, SIDEWALK, CURB AND/OR PUBLIC STREETS. THE BUILDER AND/OR DEVELOPER WILL BE RESPONSIBLE FOR REPAIR TO ROADWAY AND UTILITY INFRASTRUCTURE IF PUBLIC UTILITIES ARE INSTALLED INCORRECTLY.

RECONSTRUCTION OF MANHOLE STRUCTURE AND CONE MAY REQUIRE RE-COATING OF WASTEWATER MANHOLE IN ACCORDANCE WITH CITY REQUIREMENTS. CONFIRM WITH FIELD INSPECTOR AND WATER/WASTEWATER MAINTENANCE MANAGER.

ADDITIONAL UTILITY NOTES:

- CONTRACTOR TO VERIFY EXISTING LATERAL HAS A MINIMUM LONGITUDINAL SLOPE OF 2%.
- POINT OF DELIVERY SHALL BE IN ACCORDANCE WITH SPRINGS HILL WATER AND SEGUIN WASTEWATER DESIGN CRITERIA MANUAL, SECTION 2.3.0.

RESTRAINED LENGTH FOR PIPE					
PIPE INSIDE DIAMETER	MATERIAL	HORIZONTAL BENDS			
		90°	45°	22.5°	11.25°
8"	PVC	40	17	7	4
8"	DICL	25	10	5	3

TEE			
PIPE INSIDE DIAMETER OF RUN	PIPE INSIDE DIAMETER OF BRANCH	MATERIAL	FT.
8"	8"	PVC	81
8"	8"	DICL	45

NOTES:

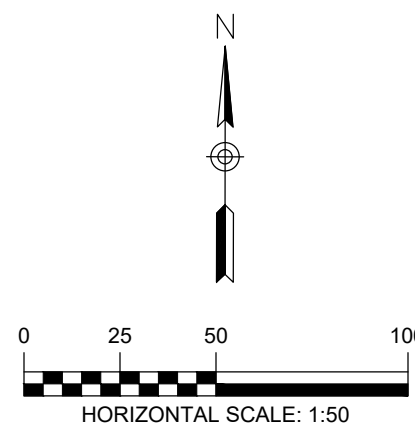
LENGTHS SHOWN ABOVE WERE COMPUTED BASED ON THE FOLLOWING VALUES:

- SAFETY FACTOR = 1.5 TO 1
- TEST PRESSURE = 200psi
- SOIL DESIGNATION = IN ORGANIC CLAY OF HIGH PLASTICITY
- DEPTH OF COVER = 3.5 FEET (TYPICAL AND UPPER BEND)
- DEPTH OF COVER = 5 FEET (LOWER BEND)
- LENGTH ALONG RUN = 2 FEET

RESTRAINED LENGTH NOTES:

- CONTRACTOR TO COORDINATE WITH SPRING HILL FOR WATER, CITY OF SEGUIN FOR SEWER, AND GVEC FOR ELECTRIC SERVICE TO THE SITE.
- ALL IN-LINE VALVES, BENDS & PLUGS SHALL BE RESTRAINED, RESTRAINT TO BE PROVIDED ON EACH SIDE OF THE VALVE, FITTING OR ANY REQUIRED JOINT.
- RL=RESTRAINT LENGTH
- CONTRACTOR SHALL DETERMINE RESTRAINT LENGTH REQUIRED FOR HORIZONTAL VERTICAL FITTINGS BASED ON RESTRAINT LENGTH TABLE SHOWN BELOW. CALCULATIONS ARE PROVIDED FOR REFERENCE. THE RESTRAINED LENGTH SHALL BE DESIGNED BASED UPON THE CONDITIONS ENCOUNTERED DURING THE INSTALLATION.

EDU COUNT					
	RESIDENTIAL	IRRIGATION (1") SERVICE (1")	IRRIGATION (3/4") SERVICE (3/4")	COMMERCIAL (1") SERVICE (1")	TOTAL
GREENSPPOINT UNIT 1 (EXISTING)	125	1		1	130
GREENSPPOINT UNIT 2A (EXISTING)	55		1		56.5
GREENSPPOINT UNIT 2B (EXISTING)	47				47
GREENSPPOINT UNIT 2C (EXISTING)			1		1.5
GREENSPPOINT UNIT 3A (EXISTING)	59				59
GREENSPPOINT UNIT 3B (EXISTING)	51				51
GREENSPPOINT UNIT 3C (EXISTING)			1		1.5
EDU'S REMAINING					0.5
TOTAL ALLOWED EDU COUNT					347
NOTE: TOTAL EDU ALLOWED PER DEVELOPMENT AGREEMENT WITH MI HOMES AND SPRINGS HILL WATER DATED APRIL 7, 2022					
SEPARATE EDU COUNT					
	RESIDENTIAL	IRRIGATION (1") SERVICE (1")	IRRIGATION (3/4") SERVICE (3/4")	COMMERCIAL (N/A) SERVICE (1")	TOTAL
GREENSPPOINT UNIT 2C LOT H (EXISTING)				1	N/A
NOTE: NOT APPLICABLE TO THE TOTAL EDU ALLOWED PER DEVELOPMENT AGREEMENT WITH MI HOMES AND SPRINGS HILL WATER DATED APRIL 7, 2022					

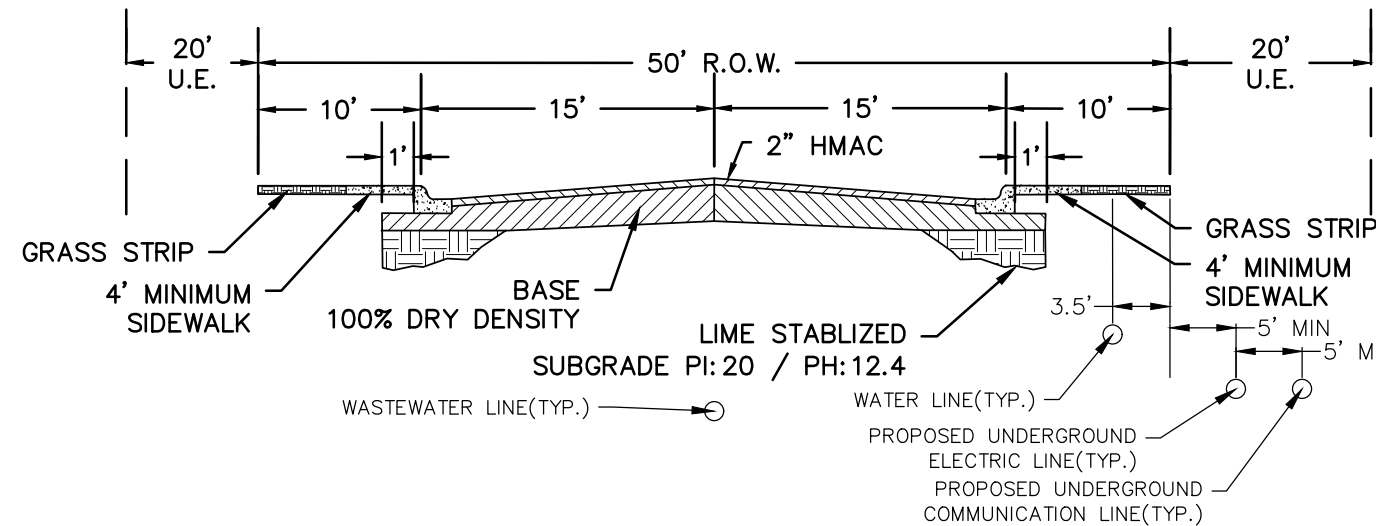
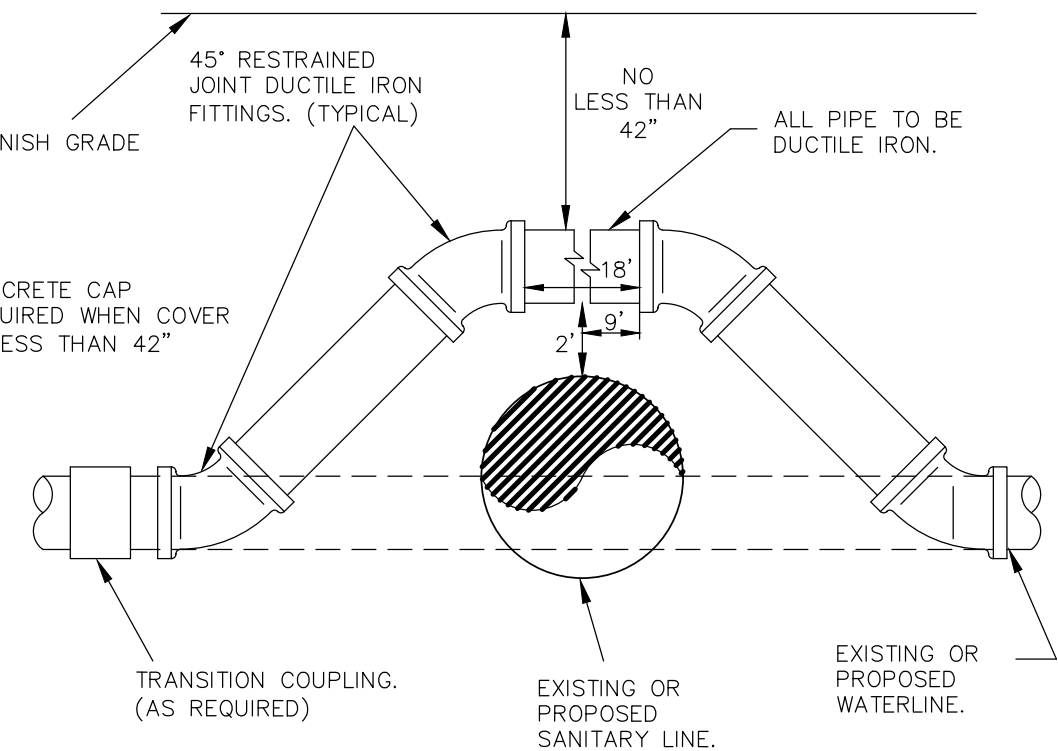


LEGEND

- B.L. BUILDING SETBACK LINE
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- EXISTING WATER LINE
- EXISTING WATER SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- UTILITY CROSSING

NOTES:

- THE CONSTRUCTION OF THE PROPOSED SUBDIVISION, GREENSPPOINT 3B, IS CONTINGENT ON THE COMPLETION AND ACCEPTANCE OF GREENSPPOINT HEIGHTS UNITS 3A & 3C BY SHWSC
- ALL JOINTS TO BE MECHANICAL JOINTS
- FIRE HYDRANT TO BE PAINTED SW #66 & SAA SILVERBRITE FH TO LANE. CONTRACTOR SHALL VERIFY WITH FIRE MARSHALL FOR CORRECT STORZE PART PRIOR TO ORDERING FIRE HYDRANT.



WATER QUANTITIES	
8" C909 PVC PIPE	1427.6
8" DICL PIPE	126
8" 45 BEND	3
8" TEE	1
8" GATE VALVE	4
FIRE HYDRANT ASSEMBLY	2

TCEQ WATER MAIN/ WASTEWATER CROSSING NOTES:

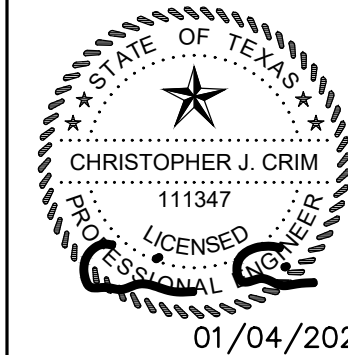
WHERE A POTABLE WATERLINE CROSSES A WASTEWATER MAIN OR LATERAL ONE SEGMENT OF THE WATERLINE PIPE SHALL BE CENTERED OVER THE WASTEWATER MAIN OR LATERAL SUCH THAT THE JOINTS OF THE WATERLINE PIPE ARE EQUIDISTANT AND AT LEAST NINE FEET HORIZONTALLY FROM THE CENTERLINE OF THE WASTEWATER MAIN OR LATERAL. THE WASTEWATER MAIN OR LATERAL AT THE CROSSING SHALL BE PRESSURE RATED PIPE (ASTM 224) WITH A MINIMUM RATING OF 160 PSI. WHENEVER POSSIBLE THE CROSSING SHALL BE CENTERED BETWEEN THE JOINTS OF THE WASTEWATER MAIN OR LATERAL.

THE WASTEWATER MAIN OR LATERAL SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR THE TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12 INCHES BEYOND THE JOIN ON EACH END. THE CEMENT STABILIZED SAND SHALL HAVE A MINIMUM OF 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME (AT LEAST 2.5 BAGS OF CEMENT PER CUBIC YARD OF MIXTURE). THE CEMENT STABILIZED SAND BEDDING SHALL BE A MINIMUM OF SIX INCHES ABOVE AND FOUR INCHES BELOW THE WASTEWATER MAIN OR LATERAL. THE USE OF BROWN COLORING IN CEMENT STABILIZED SAND FOR WASTEWATER MAIN OR LATERAL BEDDING IS RECOMMENDED FOR THE IDENTIFICATION OF PRESSURE RATED WASTEWATER MAINS DURING FUTURE CONSTRUCTION.

REFER TO THE COVER SHEET FOR BENCHMARK INFORMATION.

THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE INCURRED BY THEIR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, STRUCTURES OR FACILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



OVERALL WATER PLAN

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	DATE

DATE: JANUARY 2024

DRAWN BY: MK/RR

DESIGNED BY: MA

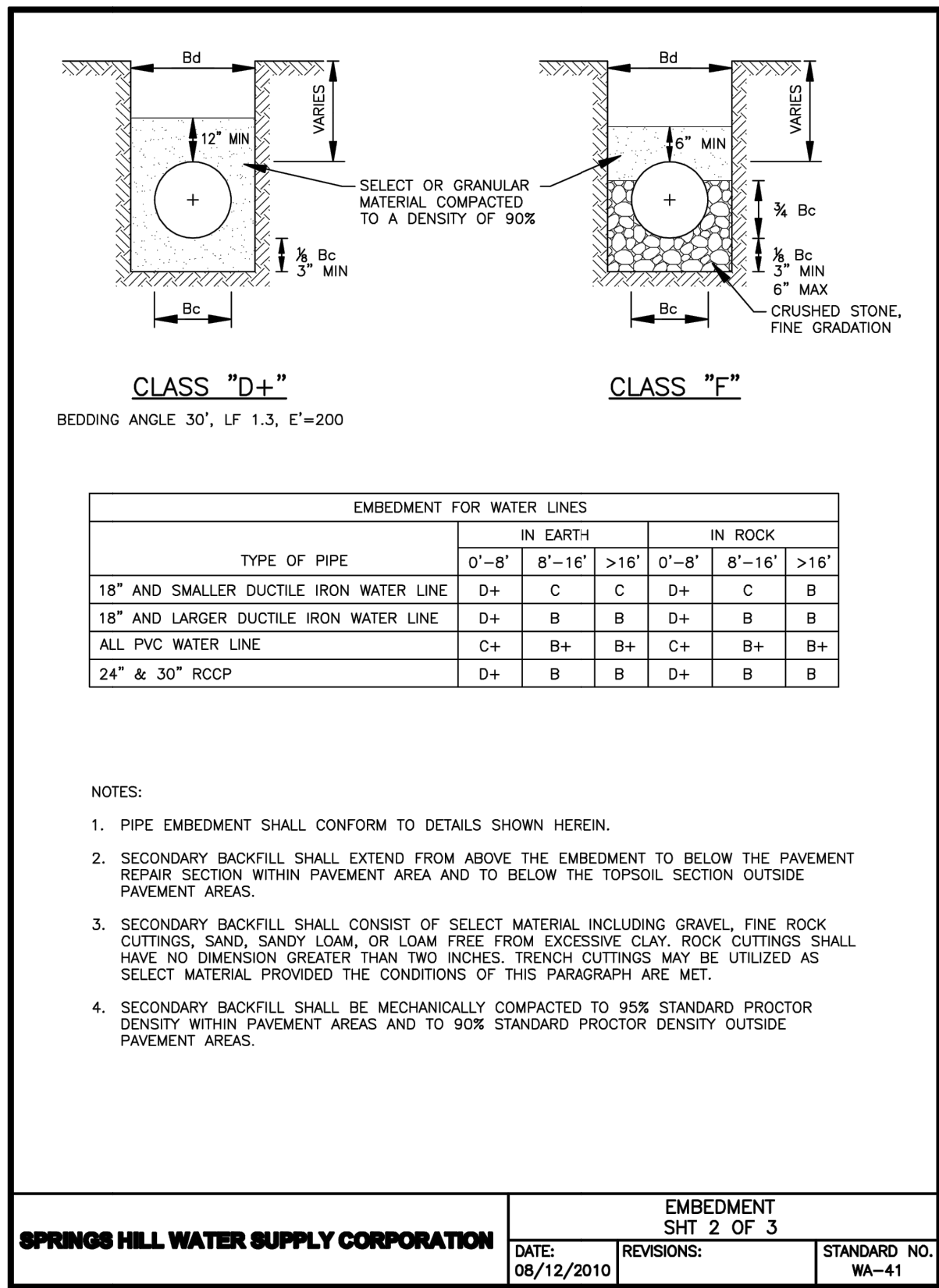
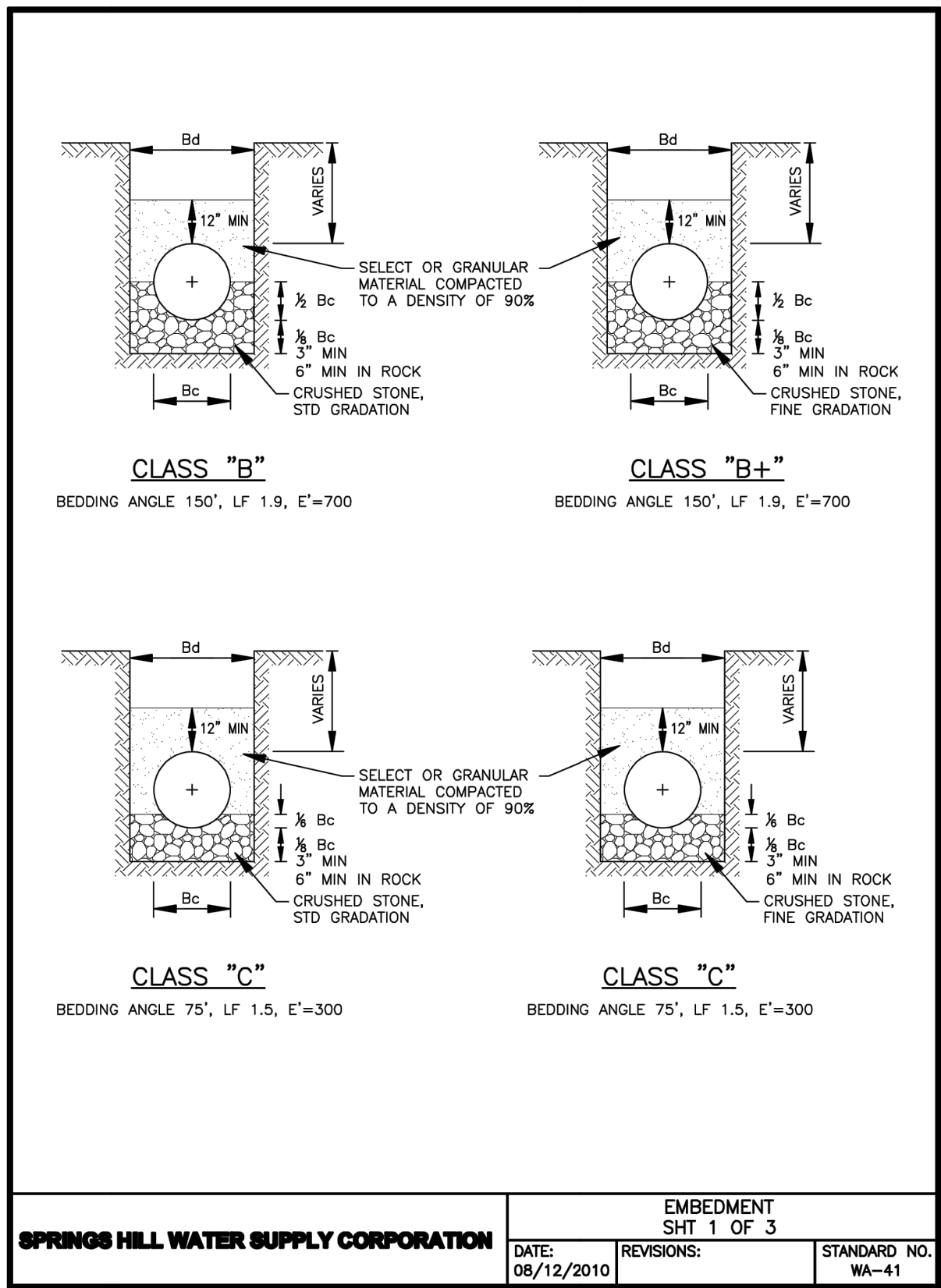
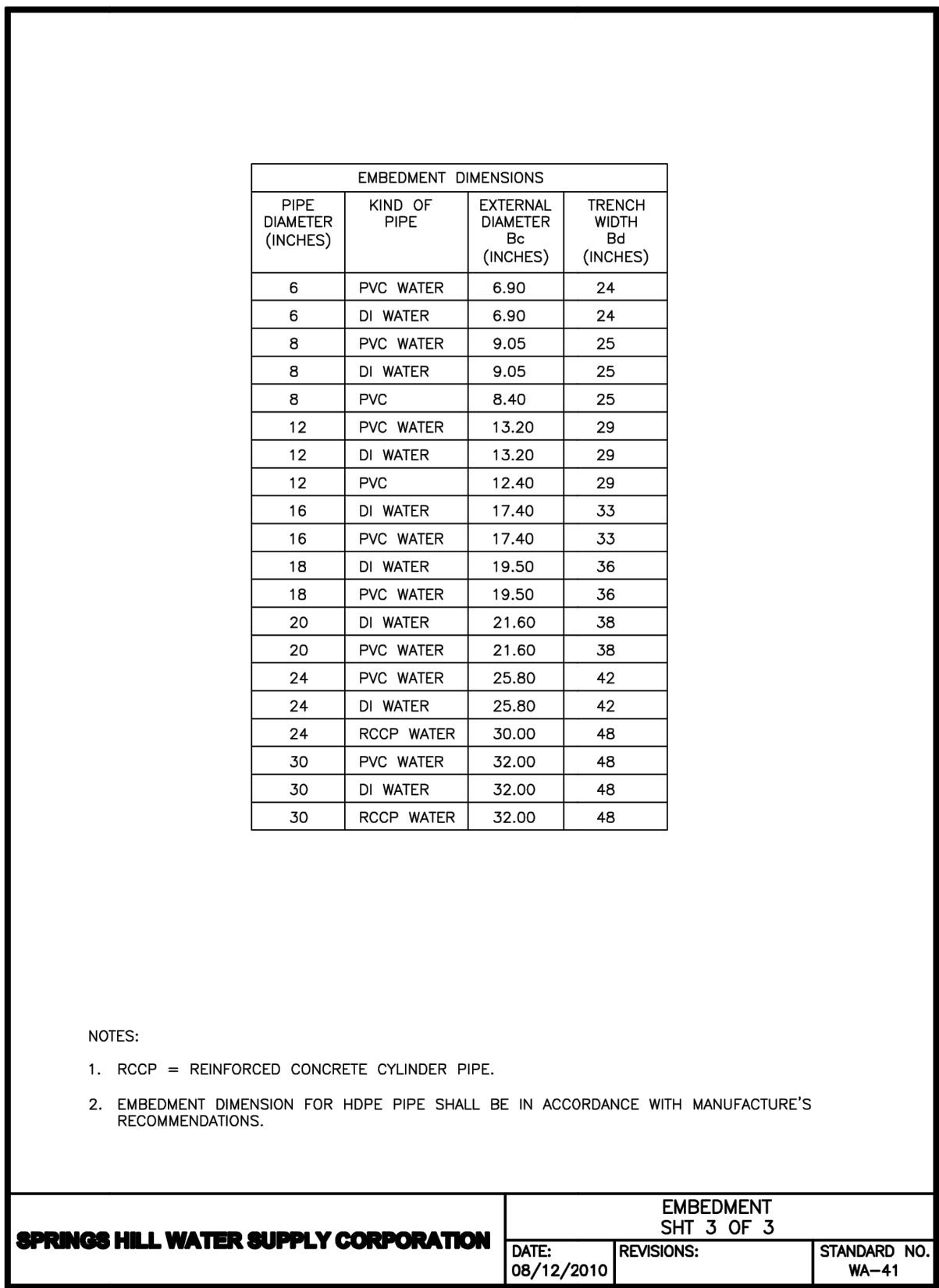
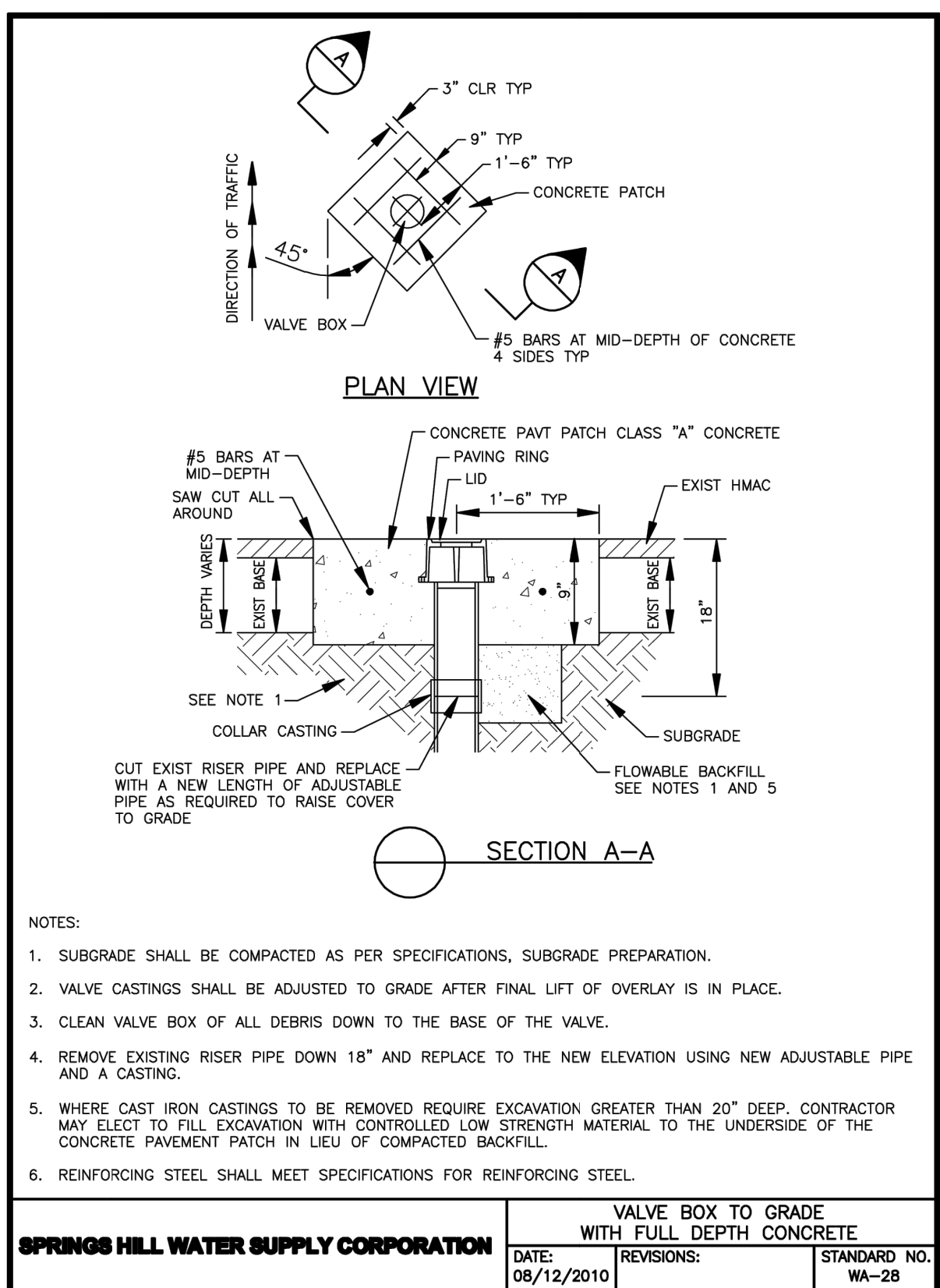
REVIEWED BY: CC

HMT PROJECT NO.:

310.012

SHEET

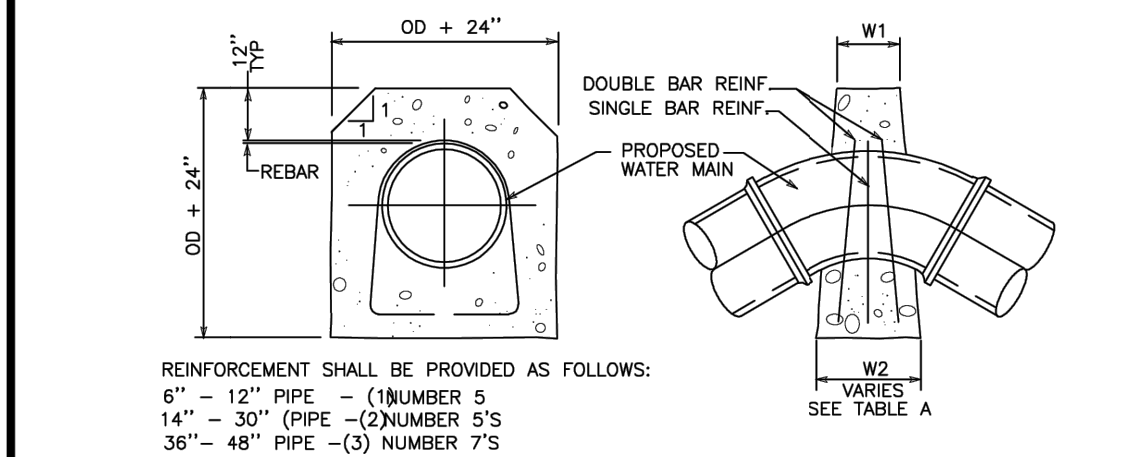
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EMBEDMENT DIMENSIONS			
PIPE DIAMETER (INCHES)	KIND OF PIPE	EXTERNAL DIAMETER BE (INCHES)	TRENCH WIDTH BE (INCHES)
6	PVC WATER	6.90	24
6	DI WATER	6.90	24
8	PVC WATER	9.05	25
8	DI WATER	9.05	25
8	PVC	8.40	25
12	PVC WATER	13.20	29
12	DI WATER	13.20	29
12	PVC	12.40	29
16	DI WATER	17.40	33
16	PVC WATER	17.40	33
18	DI WATER	19.50	36
18	PVC WATER	19.50	36
20	DI WATER	21.60	38
20	PVC WATER	21.60	38
24	PVC WATER	25.80	42
24	DI WATER	25.80	42
24	RCCP WATER	30.00	48
30	PVC WATER	32.00	48
30	DI WATER	32.00	48
30	RCCP WATER	32.00	48

NOTES:

1. RCCP = REINFORCED CONCRETE CYLINDER PIPE.
2. EMBEDMENT DIMENSION FOR HDPE PIPE SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.



VERTICAL DOWN BEND

TABLE A				NOTES:		
UPWARD THRUST GRAVITY BLOCKS						
PIPE DIA.	MIN. TOP WIDTH W1	ANGLE (DEGREES)	BOTTOM WIDTH W2 (in)			
6"	6"	0-5		NOTE 2	1. FOR ANGLES GREATER THAN THOSE INDICATED RESTRAINT JOINTS SHALL BE INSTALLED	
		5-15		24		
		15-25		48		
		= 25		NOTE 1		
		0-5		NOTE 2		
8"	6"	5-9		30	2. FOR JOINT DEFLECTIONS LESS THAN 5/16" (1.315) NO HORIZONTAL OR VERTICAL THRUST RESTRAINT IS REQUIRED FOR PIPES LESS THAN 42" IN DIAMETER.	
		9-15		36		
		= 15		NOTE 1		
		0-5		NOTE 2		
		5-15		48		
12"	6"	= 15		NOTE 1	THRUST BLOCK DESIGN AS FOLLOWS A. PRESSURE OF 150 P.S.I. (ACTUAL, IF HIGHER) + 50 % SURGE ALLOWANCE B. MAXIMUM SOIL BEARING SEE TABLE BELOW	
		0-5		NOTE 2		
		5-15		48		
		= 15		NOTE 1		
		0-5		NOTE 2		
16"	12"	5-10		60	SOIL TYPES	
		10-15		96		PRESSURE
		= 15		NOTE 1		
		5-10		NOTE 2		
		= 3.0		NOTE 1		
24" THRU 36"	42" THRU 48"			LOOSE OR SPONGY SOIL	1500 Lb/Sq.Ft.	
				UNDISTURBED SOIL, CALICHE	2000 Lb/Sq.Ft.	
				LIMESTONE ROCK	4000 Lb/Sq.Ft.	

NOTES:

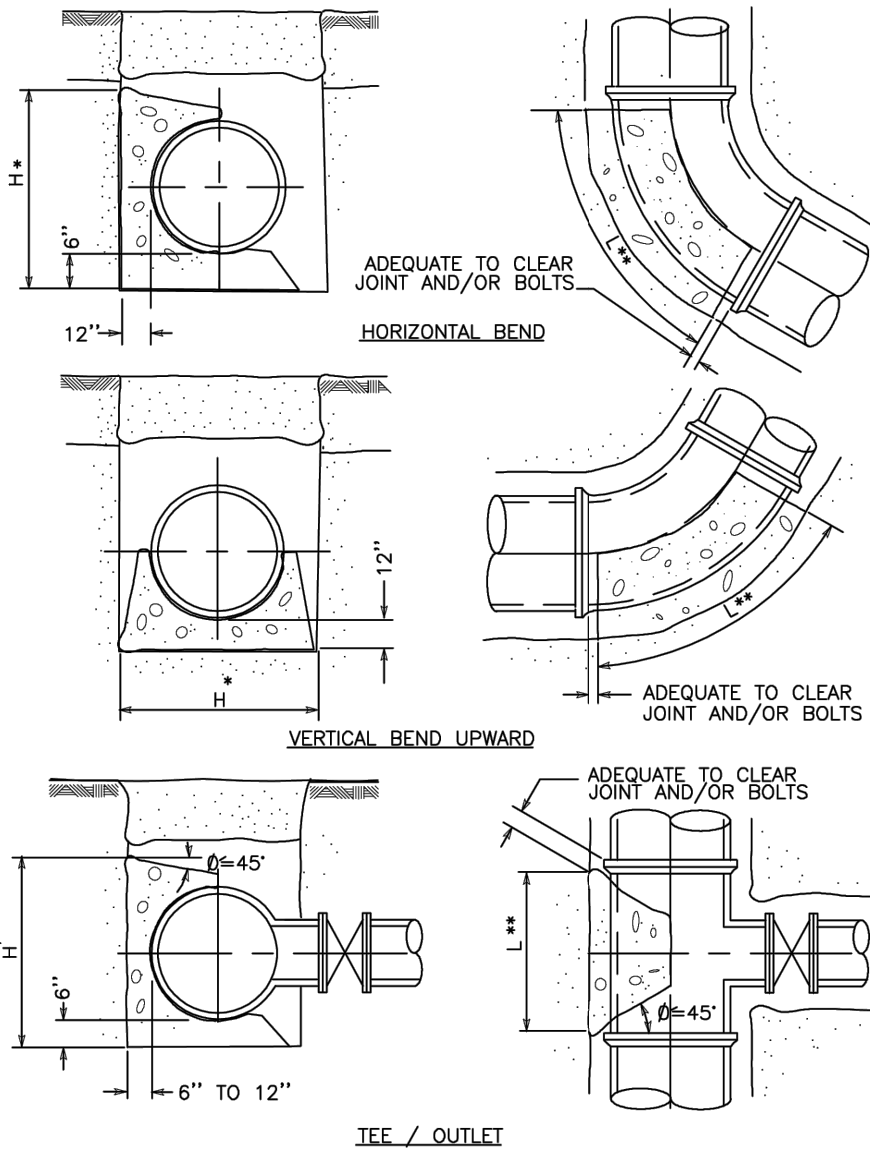
- THE EARTH BEARING SURFACE SHALL BE UNDISTURBED MATERIAL, IF NOT POSSIBLE, THE FILL BETWEEN THE BEARING SURFACE AND THE UNDISTURBED SOIL MUST BE COMPACTED TO TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ADEQUATE THRUST BLOCKING. THE CONTRACTOR SHALL MAKE THE DETERMINATION IN THE FIELD AS TO TYPE OF SOIL AND USE THE "THRUST BLOCKING DESIGN" TO ADJUST THE AMOUNTS OF THRUST BLOCKING REQUIRED AT EACH PLACE OF USE.
- ALL FITTINGS SHALL BE BLOCKED REGARDLESS OF THE ANGLE OF DIRECTION.
- ALL JOINTS WITHIN 30' OF BEND MUST BE RESTRAINED.

SPRINGS HILL WATER SUPPLY CORPORATION

THRUST BLOCK DETAILS

SHIT 1 OF 2

DATE:	REVISIONS:	STANDARD NO.
03/03/2010		WA-6



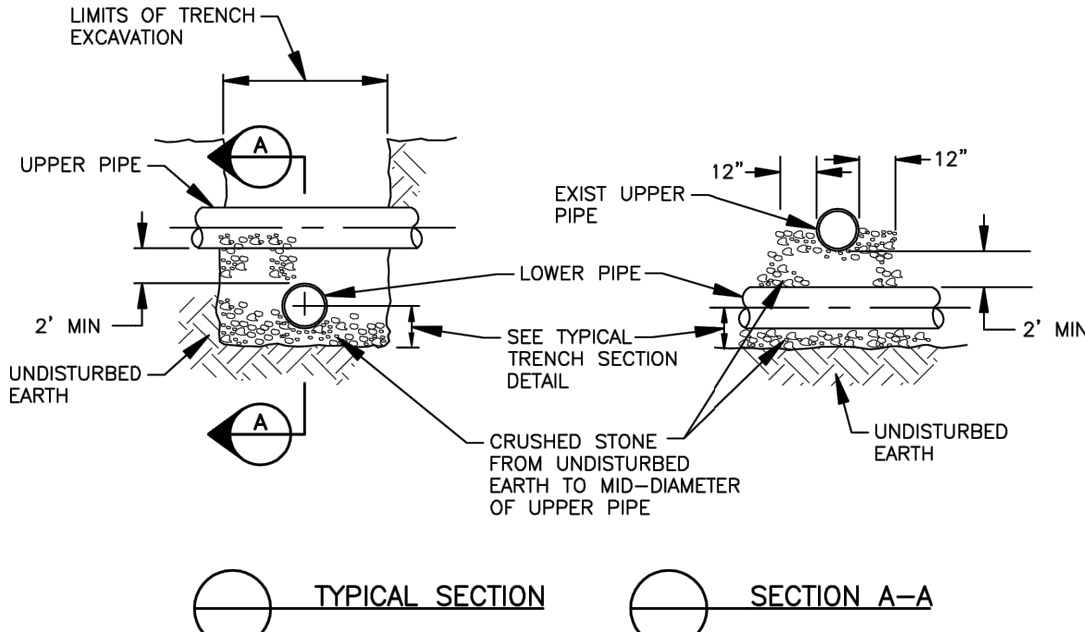
- * THE DIMENSION FOR "H" MUST BE GREATER THAN DIAMETER OF THE PIPE
- * LENGTH "L" ALONG THE BEND MUST BE GREATER THAN "H" AND LESS THAN 2 TIMES "H"

SPRINGS HILL WATER SUPPLY CORPORATION

THRUST BLOCK DETAILS

SHIT 2 OF 2

DATE:	REVISIONS:	STANDARD NO.
03/03/2010		WA-6



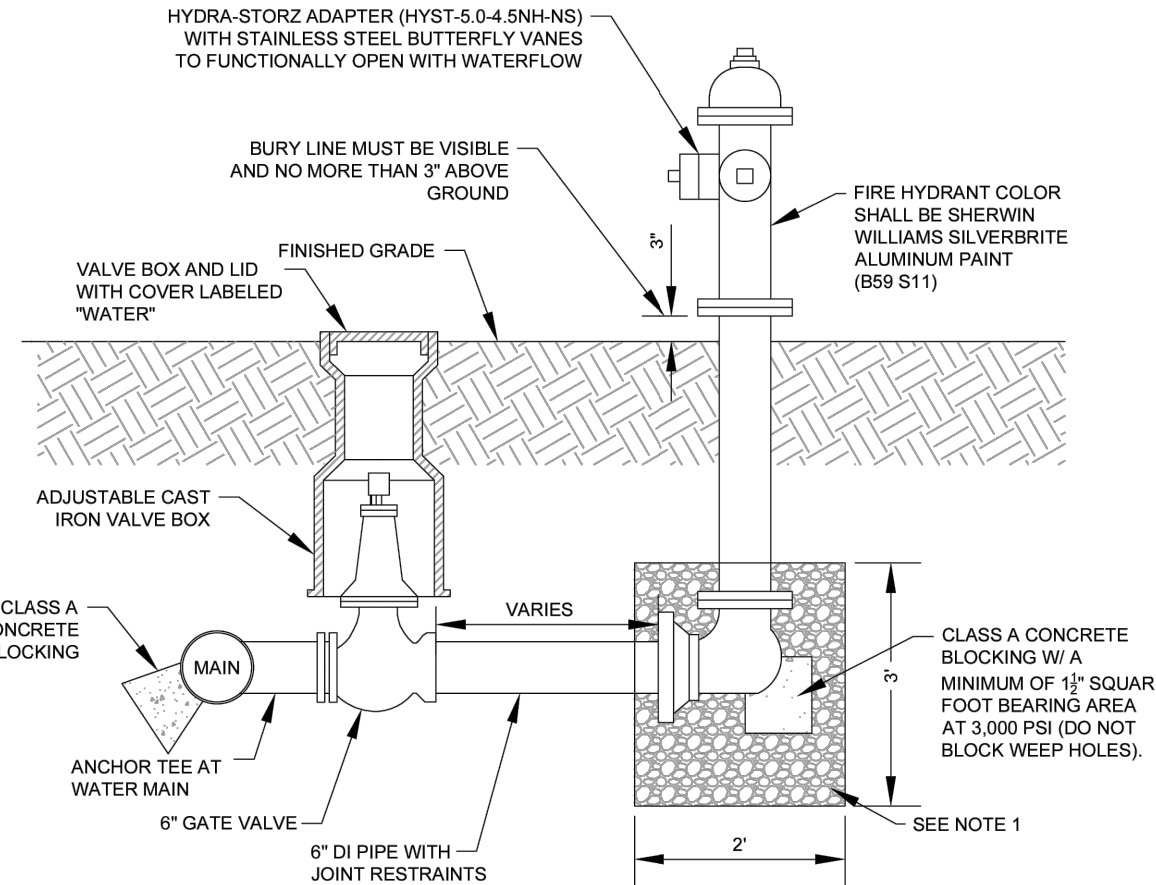
NOTES:

- T.C.E.Q. RULES AND REGULATIONS ON SANITARY SEWER, STORM SEWER AND WATER MAIN CROSSINGS AND SEPARATIONS SHALL BE STRICTLY ENFORCED, 30 TAC CHAPTER 290, SUBCHAPTER D.
- ALL OTHER UTILITIES TO MAINTAIN 5' FOOT SEPARATION FROM WATER MAINS AND SERVICES, GAS, ELECTRIC, CABLE (ETC.) TO BE LOCATED OPPOSITE SIDES OF PROPERTY.
- UTILITY CROSSINGS SEPARATED BY LESS THAN 12 INCHES, PIPES SHALL BE ENCASED WITH 6 INCHES OF CONCRETE ALL AROUND AND CENTERED TO CROSSING FOR A MINIMUM LENGTH OF 20 FEET TOTAL.
- SPECIFICATIONS, BEDDING MATERIAL MUST BE APPROVED BY AUTHORIZED S.H.W.S.C. PERSONNEL, BEFORE START OF JOB.
- AT ANY CREEK CROSSING THE MAIN SHALL BE STEEL ENCASED AND/OR 6" CONCRETE ENCASEMENT TO WITHIN 10 FEET OUTSIDE OF CREEK OR DRAINAGE DITCH AREA.

SPRINGS HILL WATER SUPPLY CORPORATION

UTILITY CROSSING

DATE:	REVISIONS:	STANDARD NO.
06/15/2010		WA-7



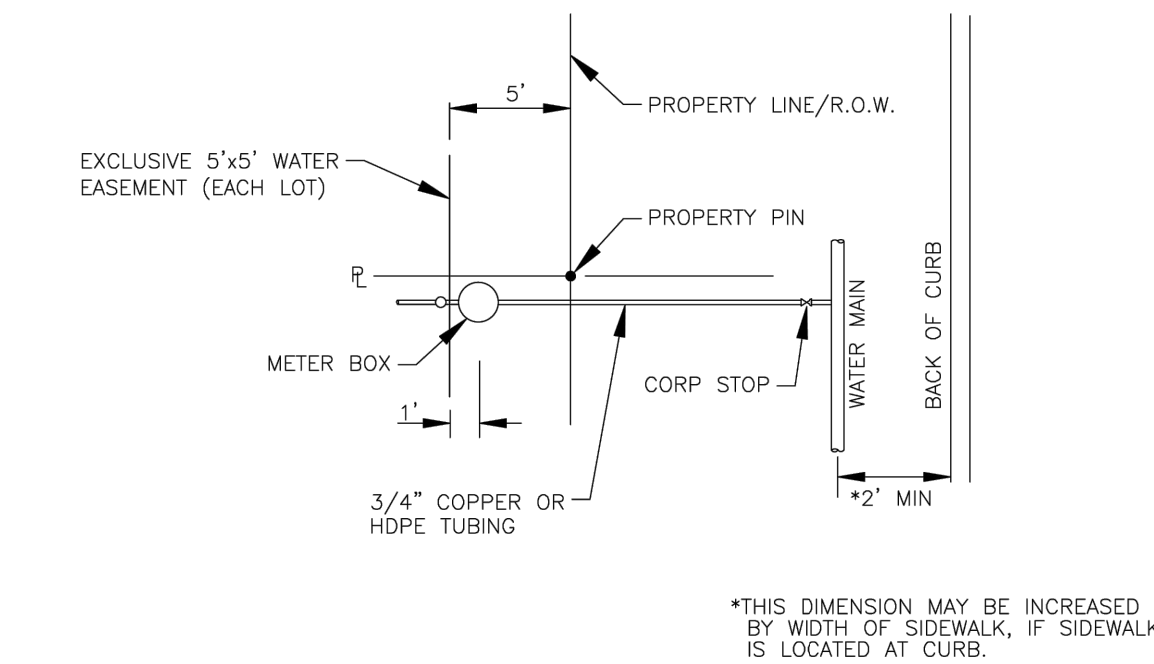
NOTES:

- A MINIMUM OF 2 CUBIC FEET OF 1" TO 2" CLEAN, ASTM C-33 CRUSHED STONE #67 SHALL BE PLACED AROUND THE BOTTOM OF THE HYDRANT FOR A RADIUS OF AT LEAST 10" AND EXTEND 10" ABOVE THE OUTLET. DO NOT BLOCK DRAIN HOLES.
- ALL PIPE JOINTS SHALL BE KEPT FREE FROM CONCRETE.
- ALL FITTINGS AND FITTING JOINTS MUST BE WRAPPED WITH THREE LAYERS OF 6-MIL POLYETHYLENE IN ACCORDANCE WITH AWWA C105-10, OR LATEST VERSIONS THERE OF.
- POLYWRAP SHALL BE SECURED WITH A MINIMUM OF THREE CIRCUMFERENTIAL TURNS OF POLYTAPE.
- THE FIRE HYDRANT SHALL BE PLACED A MINIMUM OF 5 FEET FROM ALL OBSTRUCTIONS.
- ALL NEW FIRE HYDRANTS SHALL BE MARKED WITH A FOUR-INCH BY FOUR-INCH BY THREE-FOURTHS-INCH TALL, BLUE REFLECTIVE PAVEMENT MARKER (BLUE REFLECTIVE EYE) LOCATED THREE FEET OFF-CENTER OF THE STREET TOWARDS THE HYDRANT. ALL MARKERS MUST BE APPROVED BY FIRE AND UTILITIES DEPARTMENT.
- FIRE FLOW SHALL BE TESTED WITH THE FLOWS AND PRESSURES PROVIDED TO SHWSC.
- ALL VALVES AND FIRE HYDRANTS SHALL BE LOCATED BY GPS AND PROVIDED TO SHWSC IN TEXAS STATE PLANE COORDINATES, NAD 83 (03) SOUTH CENTRAL ZONE.
- INSTALL ONE IN-LINE GATE VALVE AT ONE SIDE OF TEE THAT CONNECTS FIRE HYDRANT ASSEMBLY TO WATER MAIN.

SPRINGS HILL WATER SUPPLY CORPORATION

STANDARD FIRE HYDRANT INSTALLATION

DATE:	REVISIONS:	STANDARD NO.
8/20/2021		WA-21



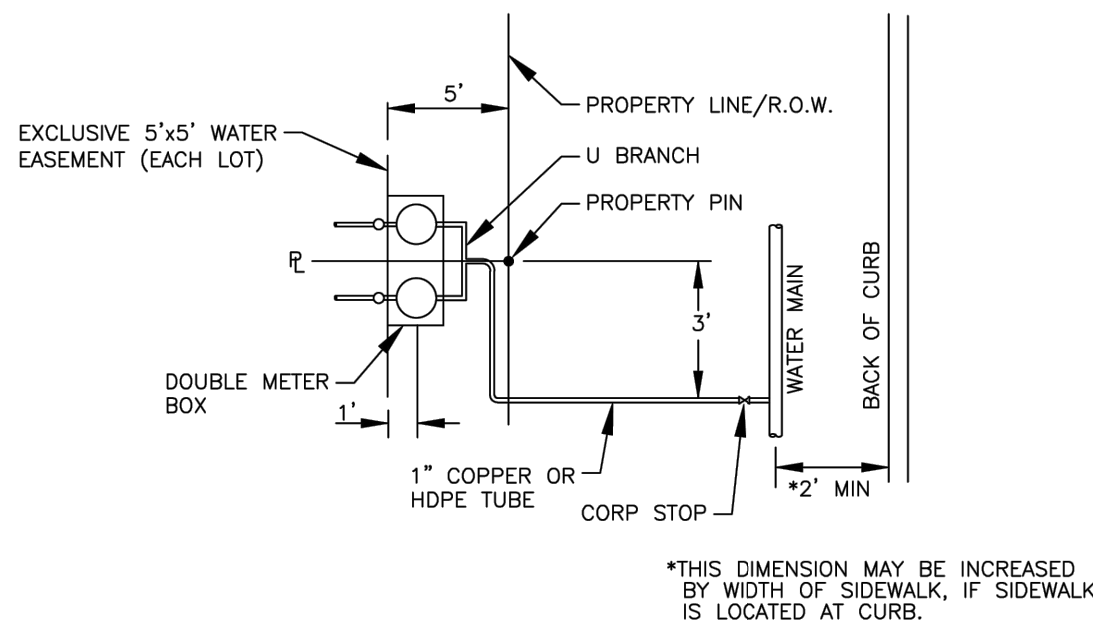
NOTES:

- INSTALLATIONS SHALL BE MADE IN ACCORDANCE WITH INFORMATION SHOWN ON APPLICABLE STANDARD DRAWINGS AND WILL BE INSPECTED BY S.H.W.S.C. CONSTRUCTION INSPECTION PERSONNEL.
- CUSTOMER ALSO INSTALLS WATER LINES INCLUDING FITTINGS AND VALVES ON BOTH SIDES OF METER. INSTALL METER BOXES AND COVERS. ALL IN ACCORDANCE WITH INFORMATION ON APPLICABLE STANDARD DRAWING. A VENTED SPACER MAY BE USED TO ASSURE PROPER SPACING AND ALIGNMENT OF METER FITTINGS.
- CUSTOMER IS RESPONSIBLE FOR METER BOX AND PIPING SYSTEM UNTIL METER IS INSTALLED AND WATER IS CONNECTED. ANY MISSING OR DAMAGED PARTS SHALL BE REINSTALLED BY CUSTOMER WHO SHALL GUARANTEE, FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, THAT CONNECTIONS TO S.H.W.S.C. SYSTEMS ARE FREE FROM DEFECTS IN WORKMANSHIP OR MATERIAL. CUSTOMER ALSO HAS THE RESPONSIBILITY TO ASSURE THAT ALL VALVES AND STOPS, METER BOX AND REMAIN CLEAR OF SIDEWALKS AND OTHER OBSTRUCTIONS.
- S.H.W.S.C. ACTIVITY IS LIMITED TO INSTALLATION OF THE WATER METER AND INSPECTION OF CONNECTIONS TO S.H.W.S.C. WATER SYSTEMS. FOR MAINTENANCE PURPOSES, S.H.W.S.C. RESPONSIBILITY ENDS AT THE CUSTOMER'S WATER CUT-OFF VALVE.
- NO METER BOX SHALL BE SET IN SIDEWALK OR DRIVEWAY AREA WITHOUT WRITTEN APPROVAL FROM S.H.W.S.C.
- PIPING AND TUBING IN STREET RIGHT-OF-WAY AND IN EASEMENT AREA SHALL BE BEDDED IN GRANULAR MATERIAL AS REQUIRED IN THE SPECIFICATIONS. SERVICE LINES SHALL HAVE A MINIMUM COVER BELOW FINAL GRADE OF 42-INCHES.

SPRINGS HILL WATER SUPPLY CORPORATION

SINGLE WATER SERVICE CONNECTION

DATE:	REVISIONS:	STANDARD NO.
06/16/2010	03/15/2022	WA-22



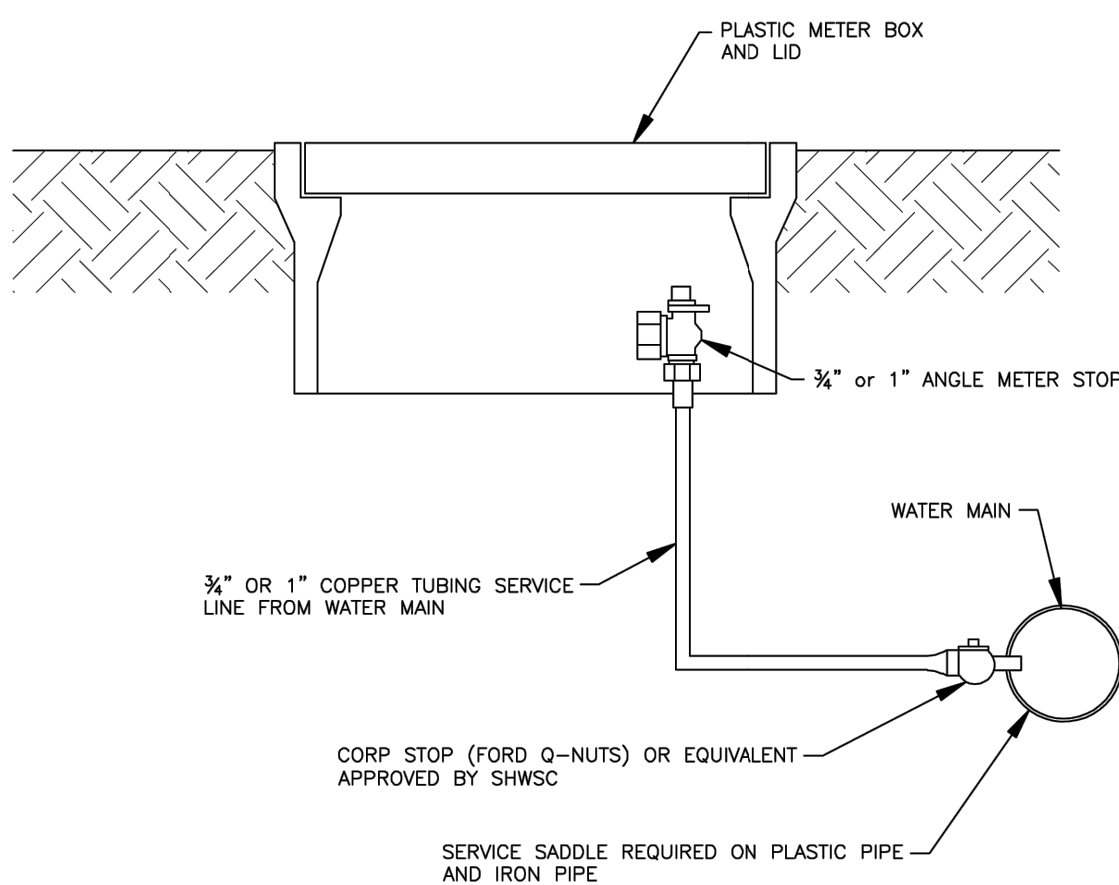
NOTES:

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- CUSTOMER ALSO INSTALLS WATER LINES INCLUDING FITTINGS AND VALVES ON BOTH SIDES OF METER. INSTALL METER BOXES AND COVERS. ALL IN ACCORDANCE WITH INFORMATION ON APPLICABLE STANDARD DRAWING. A VENTED SPACER MAY BE USED TO ASSURE PROPER SPACING AND ALIGNMENT OF METER FITTINGS.
- CUSTOMER IS RESPONSIBLE FOR METER BOX AND PIPING SYSTEM UNTIL METER IS INSTALLED AND WATER IS CONNECTED. ANY MISSING OR DAMAGED PARTS SHALL BE REINSTALLED BY CUSTOMER WHO SHALL GUARANTEE, FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, THAT CONNECTIONS TO SHWSC SYSTEMS ARE FREE FROM DEFECTS IN WORKMANSHIP OR MATERIAL. CUSTOMER ALSO HAS THE RESPONSIBILITY TO ASSURE THAT ALL VALVES AND STOPS, METER BOX AND REMAIN CLEAR OF SIDEWALKS AND OTHER OBSTRUCTIONS.
- SHWSC ACTIVITY IS LIMITED TO INSTALLATION OF THE WATER METER AND INSPECTION OF CONNECTIONS TO S.H.W.S.C. WATER SYSTEMS. FOR MAINTENANCE PURPOSES, SHWSC RESPONSIBILITY ENDS AT THE CUSTOMER'S WATER CUT-OFF VALVE.
- NO METER BOX SHALL BE SET IN SIDEWALK OR DRIVEWAY AREA WITHOUT WRITTEN APPROVAL FROM SHWSC
- PIPING AND TUBING IN STREET RIGHT-OF-WAY AND IN EASEMENT AREA SHALL BE BEDDED IN GRANULAR MATERIAL AS REQUIRED IN THE SPECIFICATIONS. SERVICE LINES SHALL HAVE A MINIMUM COVER BELOW FINAL GRADE OF 42 INCHES.

SPRINGS HILL WATER SUPPLY CORPORATION

DOUBLE WATER SERVICE CONNECTION

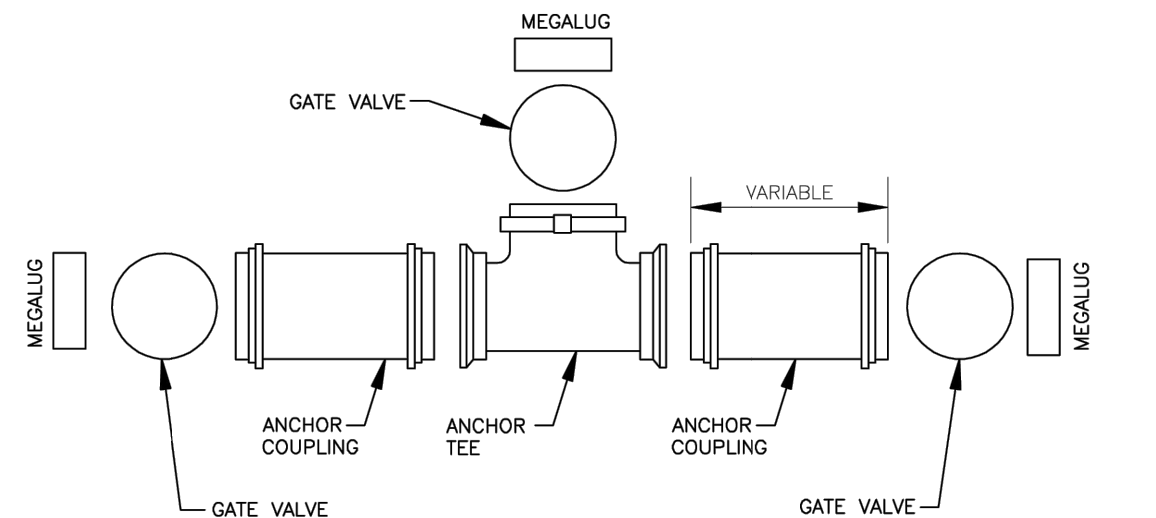
DATE:	REVISIONS:	STANDARD NO.
07/23/2010	03/15/2022	WA-23



SPRINGS HILL WATER SUPPLY CORPORATION

3/4" AND 1" SERVICE INSTALLATION

DATE:	REVISIONS:	STANDARD NO.
11/24/2009		WA-24



SPRINGS HILL WATER SUPPLY CORPORATION

STANDARD VALVE BANK INSTALLATION

DATE:	REVISIONS:	STANDARD NO.
11/24/2009		WA-26

WATER DETAILS (2 OF 2)

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600



01/04/2024

TRENCH EXCAVATION SAFETY PROTECTION
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LOT 905, BLOCK 4
DRAINAGE LOT
10.143 AC.

15' GVEC EASEMENT

LOT 902, BLK 4
DRAINAGE LOT
1.329 AC.

RUSH LIVING TRUST
CALLED 84.913 AC
DOC #2017016110
O.P.R.G.C.T.

UTILITY CROSSING
WWTR LINE C
2+70.00

EX CAP & MARK
12" FL (OUT)=552.70' (E)
EX MH C1
12" FL (OUT)=552.58' (E)
12" FL (N)=552.68' (W)

EX EX WW MH D6
12" FL (OUT)=552.10' (E)
8" FL (N)=552.53' (N)
12" FL (N)=552.20' (W)

EX EX WW MH D7
8" FL (OUT)=553.66' (S)
8" FL (N)=553.76' (N)

WW MH B1
3+65.00 WWTR LINE B
8" FL (OUT)=558.06' (S)
8" FL (N)=558.16' (N)

UTILITY CROSSING
WWTR LINE D
18+81.51

EX EX WW MH D5
12" FL (OUT)=551.44' (E)
12" FL (N)=551.54' (W)
8" FL (N)=551.87' (N)

UTILITY CROSSING
WWTR LINE D
16+01.37

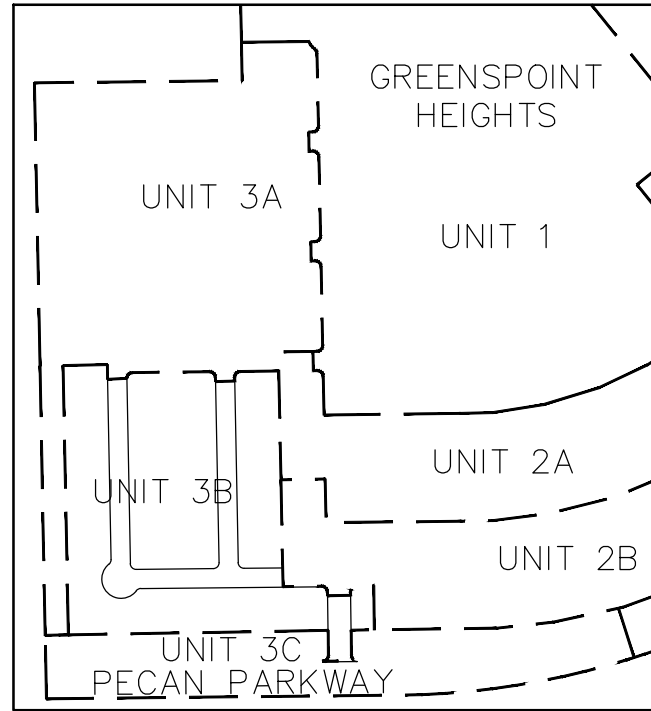
EX STUBOUT (UNIT 2B)
12" FL (OUT)=551.19' (E)
12" FL (N)=551.19' (W)

REMOVE EXISTING CAP AND
CONNECT TO EXISTING STUBOUT
1+20.00 WWTR LINE B
8" FL=552.34'

REMOVE EXISTING CAP AND
CONNECT TO EXISTING STUBOUT
6+03.16 WWTR LINE B
8" FL=566.99'

WW MH E1
UPON ACCEPTANCE BY CITY,
CONTRACTOR TO REMOVE
EXISTING PLUG IN SOUTHERN
LINE

EX WW MH E1
8" FL (OUT)=569.00' (W)
8" FL (N)=569.10' (E)
8" FL (OUT)=569.10' (S)



KEY MAP

REFER TO THE COVER SHEET
FOR BENCHMARK INFORMATION.

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TESTING NOTE

EXISTING 8" WASTEWATER LINE FROM MANHOLE C1 TO MANHOLE D8, SHALL BE PRE-TESTED PRIOR TO CONSTRUCTION. PRE-TESTING WILL ALSO INCLUDE REFERENCED MANHOLES.

CITY OF SEGUIN NOTES:

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ALL UTILITY TRENCH COMPACTION TESTS WITHIN THE STREET PAVEMENT/SIDEWALK SECTION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S GEOTECHNICAL ENGINEER. FILL MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED TWELVE INCHES (12") THICK. DETERMINE THE MAXIMUM LIFT THICKNESS BASED ON THE ABILITY OF THE COMPACTION OPERATION AND EQUIPMENT USED TO MEET THE REQUIRED DENSITY. EACH LAYER OF MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY AND TESTED FOR DENSITY AND MOISTURE IN ACCORDANCE WITH TEST METHODS TEX-113-E, TEX-114-E AND TEX-115-E. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AND APPROVED BY THE CITY OF SEGUIN PROJECT INSPECTOR. AT A MINIMUM, TESTS SHALL BE TAKEN EVERY 200LF FOR EACH LIFT AND EVERY OTHER SERVICE LINE. UPON COMPLETION OF TESTING THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE CITY OF SEGUIN PROJECT INSPECTOR WITH ALL TESTING DOCUMENTATION AND A CERTIFICATION STATING THAT THE PLACEMENT OF FILL MATERIAL HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. ADDITIONAL DENSITY TESTS MAY BE REQUESTED BY THE CITY OF SEGUIN PROJECT INSPECTOR.

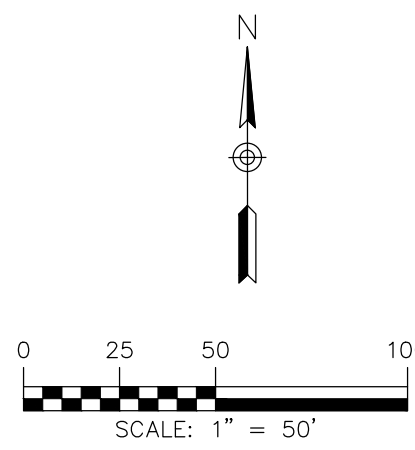
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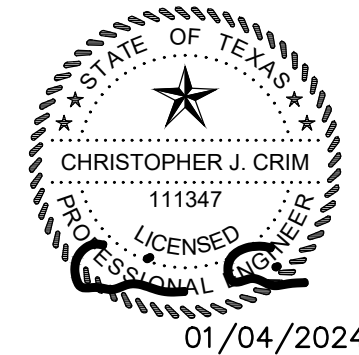
LEGEND	
	EXISTING CONTOURS
	EXISTING CONTOURS
	BUILDING SETBACK LINE
	UTILITY EASEMENT
	DRAINAGE EASEMENT
	EXISTING WASTEWATER MANHOLE
	EXISTING WASTEWATER LINE
	PROPOSED WASTEWATER MANHOLE
	PROPOSED WASTEWATER LINE
	PROPOSED WASTEWATER SERVICE
	UTILITY CROSSING

OVERALL WASTEWATER PLAN

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

REVISION	DESCRIPTION	DATE
NO.		
DATE:	JANUARY 2024	
DRAWN BY:	MK/RR	
DESIGNED BY:	MA	
REVIEWED BY:	CC	
HMT PROJECT NO.:	310.012	

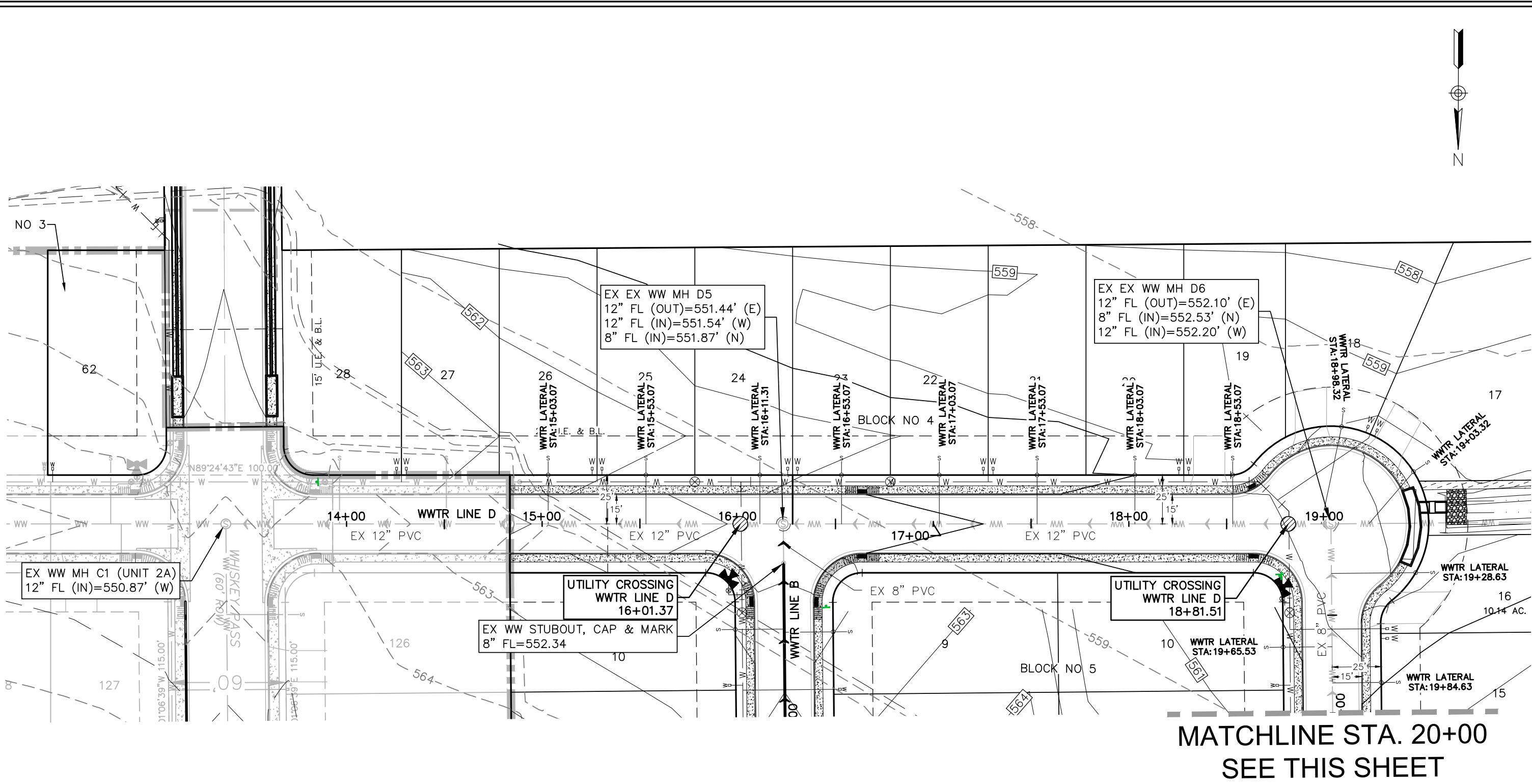
SHEET
C6.01



290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

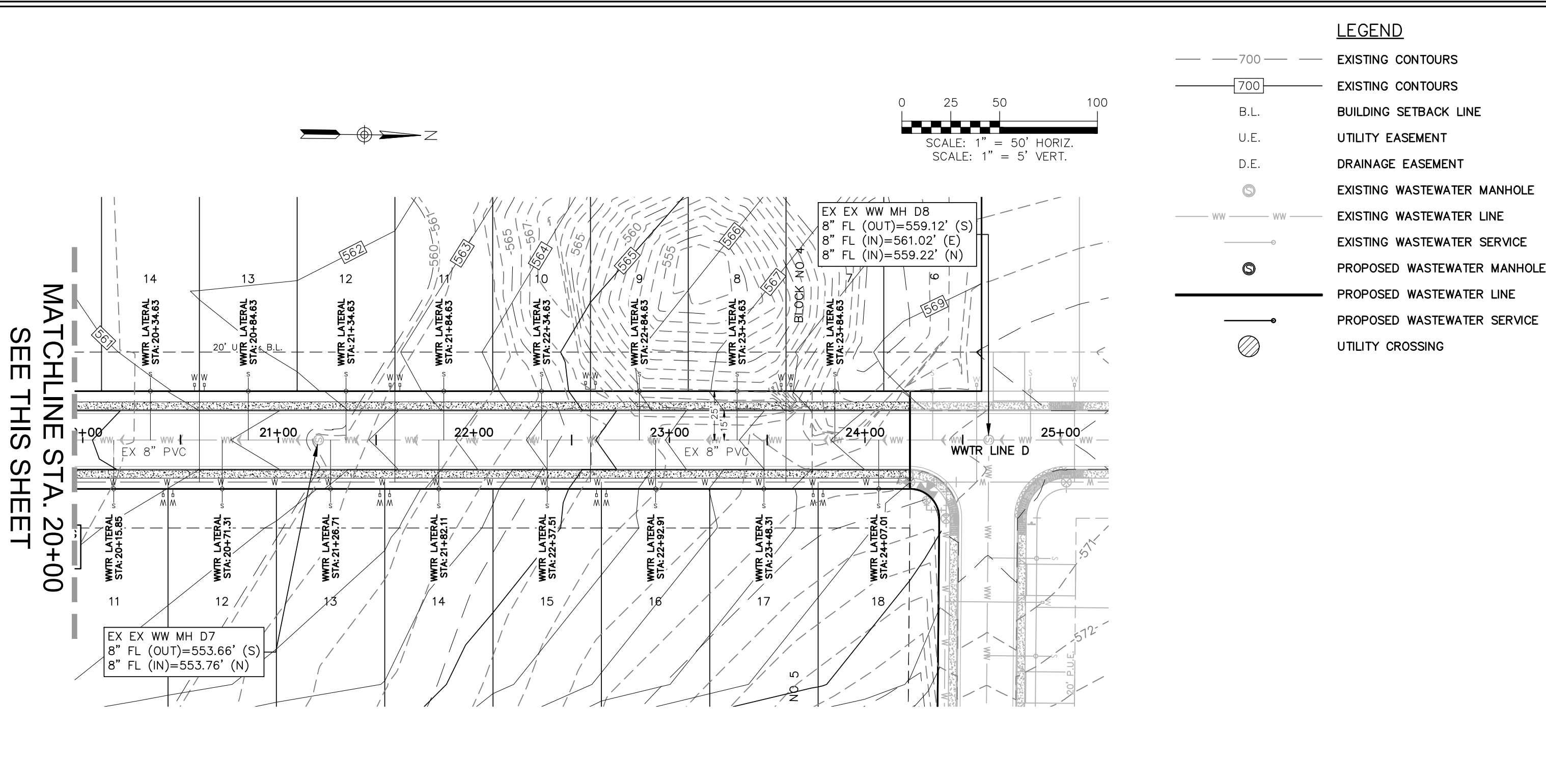
HMT
ENGINEERING & SURVEYING

Drawing Name: N:_Projects\310 - M Homes of San Antonio, LLC\012 - Greenspoint Heights Unit 3B\CD\310.012_WWTR LN D.dwg User: mallo Jan 04, 2024 - 10:14am

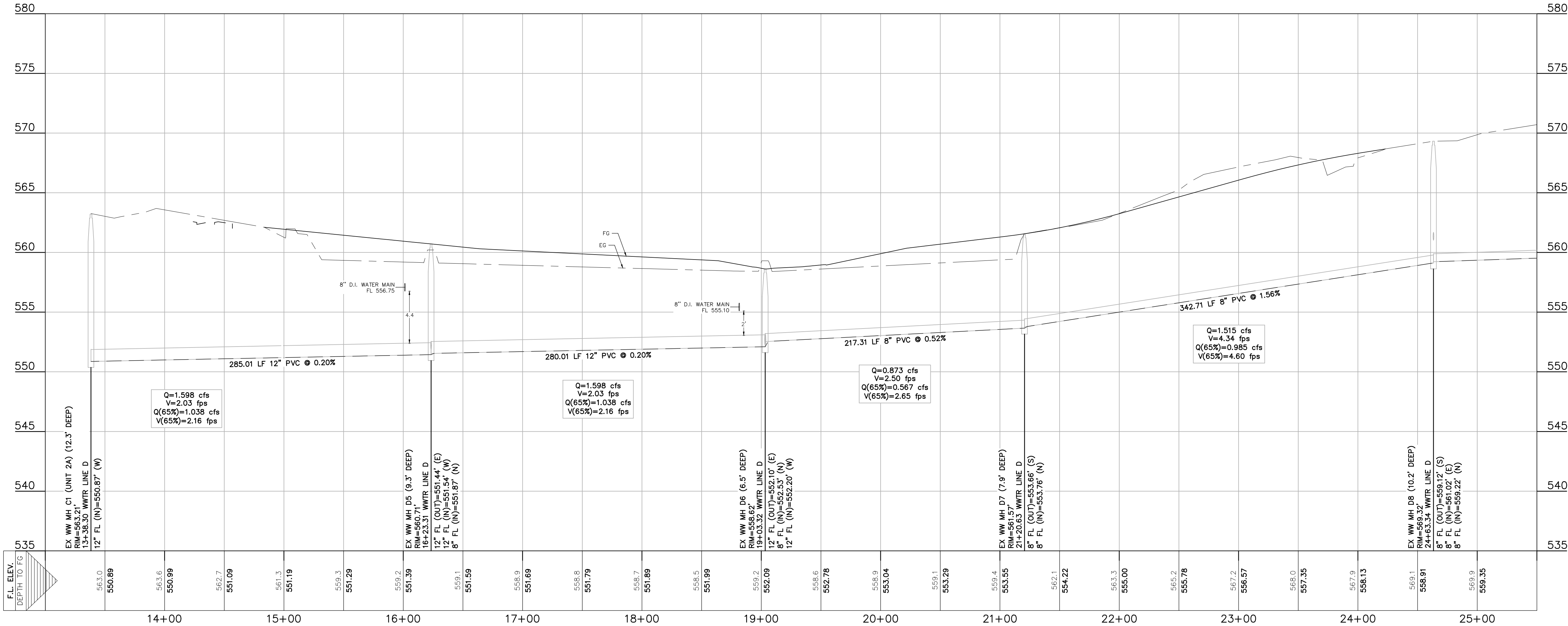


MATCHLINE STA. 20+00
SEE THIS SHEET

WWTR LINE D
13+00 - 25+00



MATCHLINE STA. 20+00
SEE THIS SHEET



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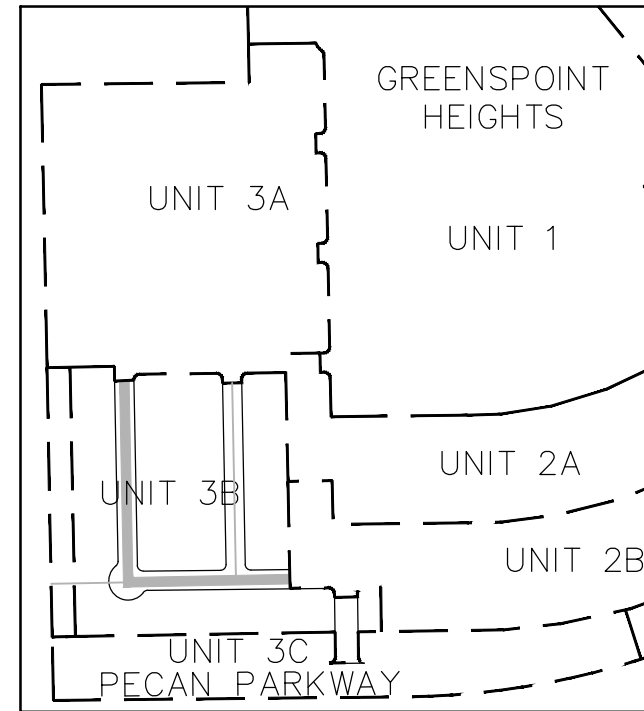
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290 S. CASTELL AVE., STE. 100
NEW BRAUNFELS, TX 78130
TBPE FIRM F-10961
TBPLS FIRM 1053600

HMT
ENGINEERING & SURVEYING

CHRISTOPHER J. CRIM
111347
LICENSED PROFESSIONAL ENGINEER
01/04/2024

EXISTING WASTEWATER LINE D
PLAN AND PROFILE

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION DESCRIPTION	REVISION DATE

DATE: JANUARY 2024

DRAWN BY: MK/RR

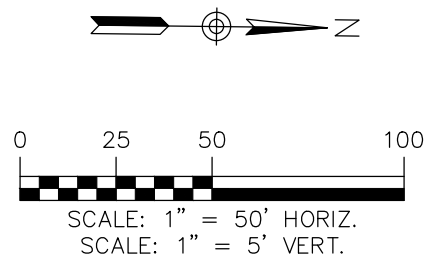
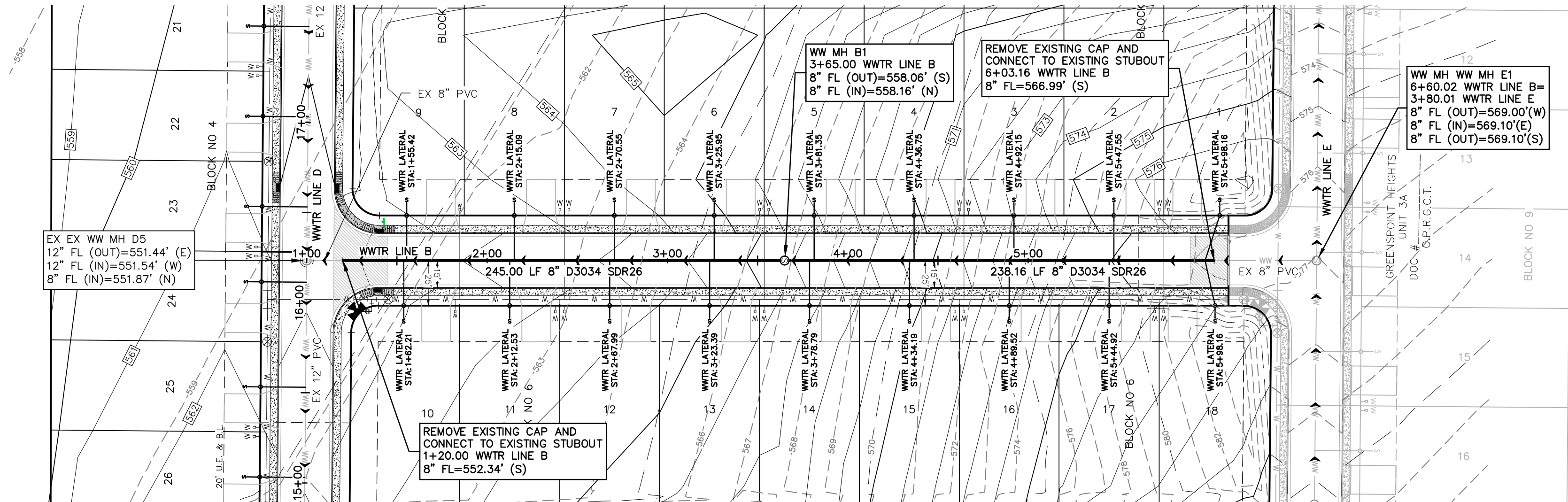
DESIGNED BY: MA

REVIEWED BY: CC

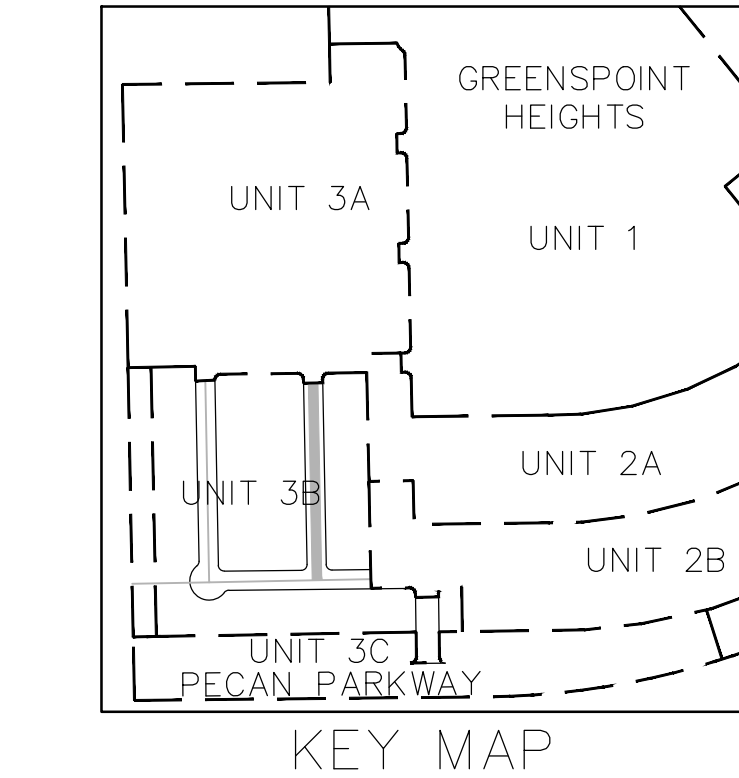
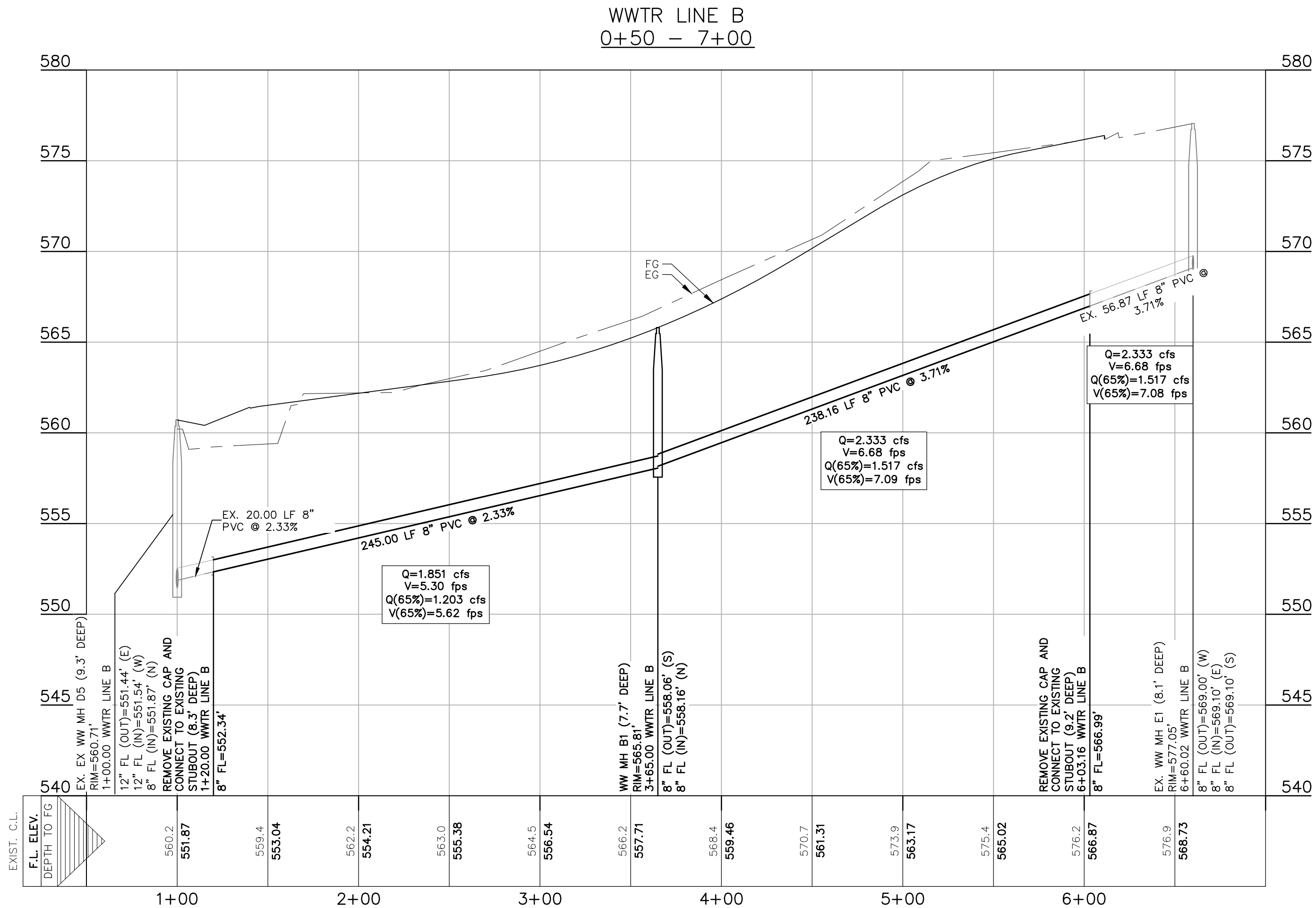
HMT PROJECT NO.: 310.012

SHEET
C6.02

TRENCH EXCAVATION SAFETY PROTECTION
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- LEGEND**
- EXISTING CONTOURS
 - EXISTING CONTOURS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - EXISTING WASTEWATER MANHOLE
 - EXISTING WASTEWATER LINE
 - EXISTING WASTEWATER SERVICE
 - PROPOSED WASTEWATER MANHOLE
 - PROPOSED WASTEWATER LINE
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**WASTEWATER LINE B
PLAN AND PROFILE**

GREENSPPOINT HEIGHTS UNIT 3B
SEGUIN, TEXAS

NO.	REVISION	DESCRIPTION	REVISION DATE

DATE: **JANUARY 2024**
DRAWN BY: **MK/RR**
DESIGNED BY: **MA**
REVIEWED BY: **CC**

HMT PROJECT NO.:
310.012

SHEET
C6.03

