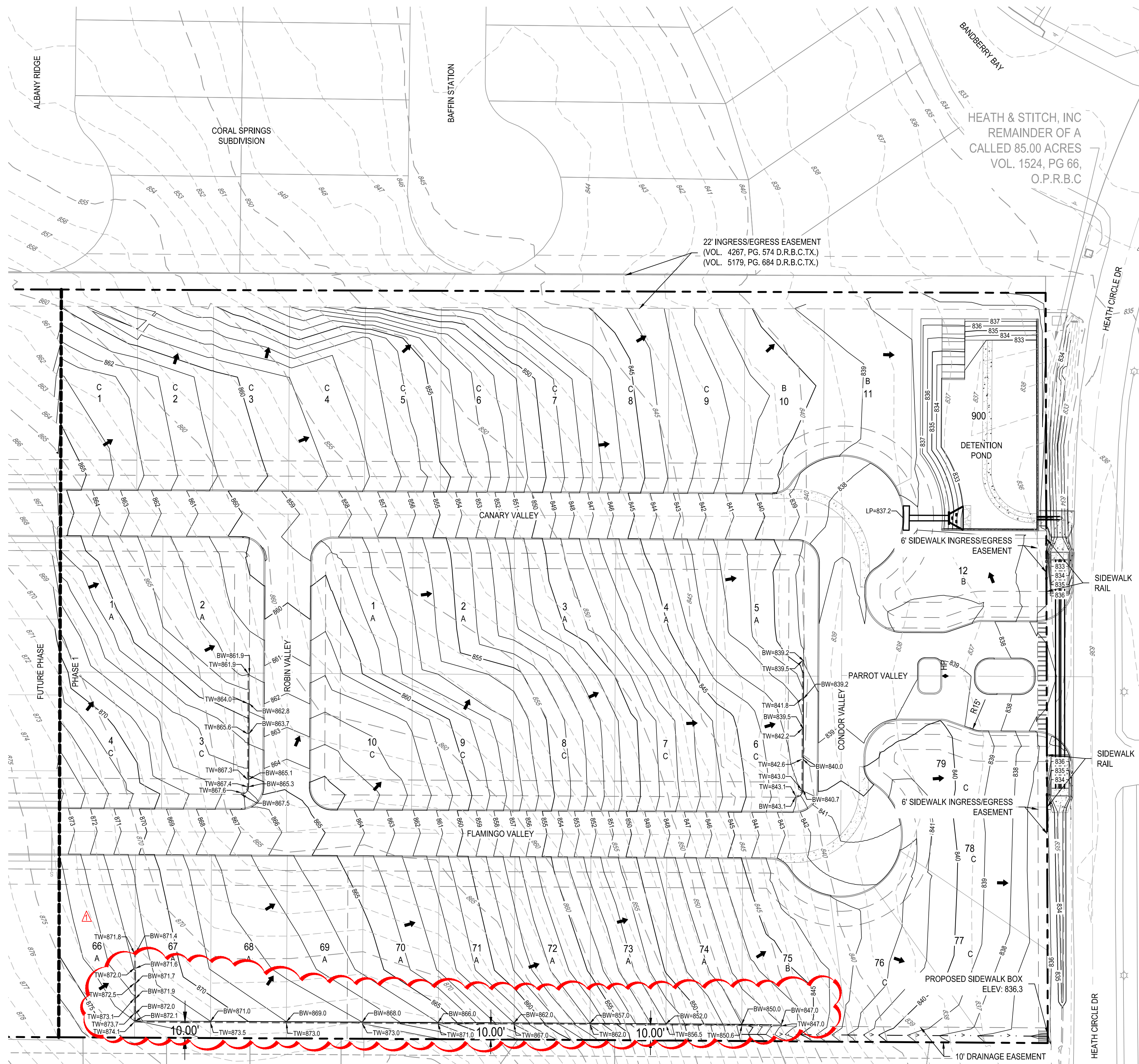
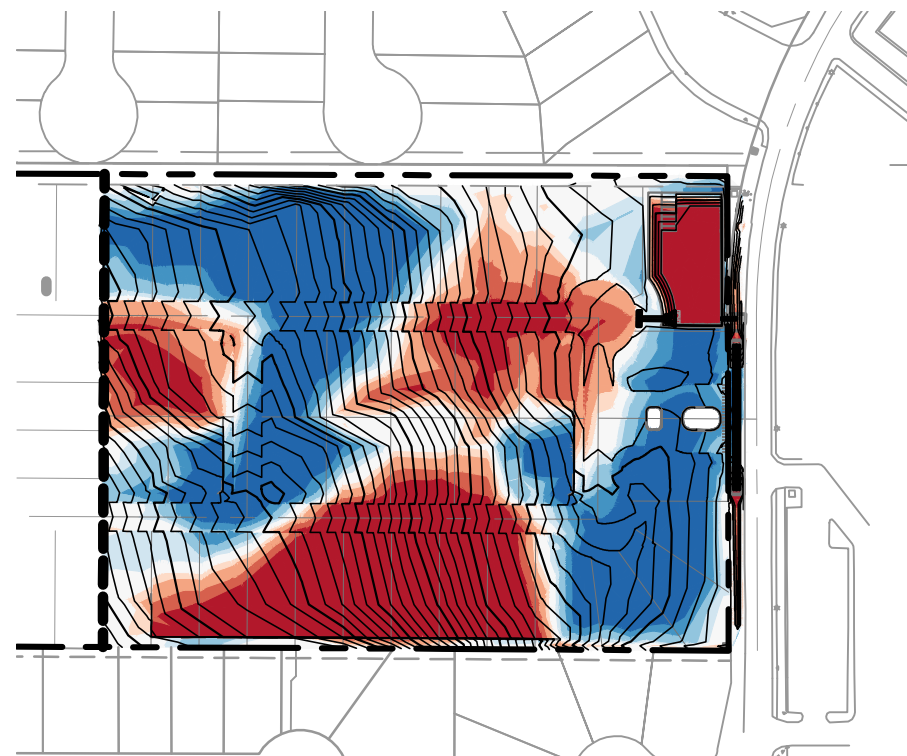


G:\TXC\Projects\San Antonio Projects\2936-00 - Heron Valley\01_Unit\03_CADD\01_Shis\03.00 OVERALL GRADING PLAN.dwg Layout: OVERALL GRADING PLAN Plotted: 9/9/2025 4:30:01 PM By: Ordoñez

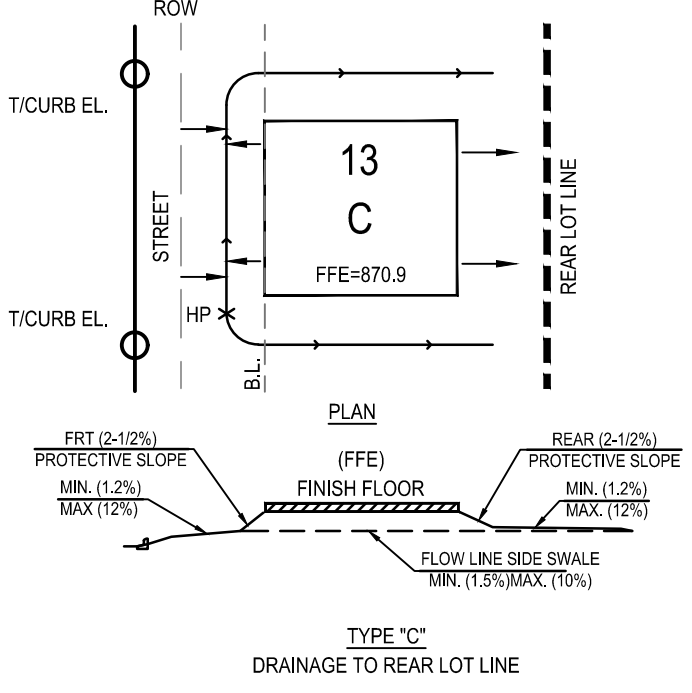
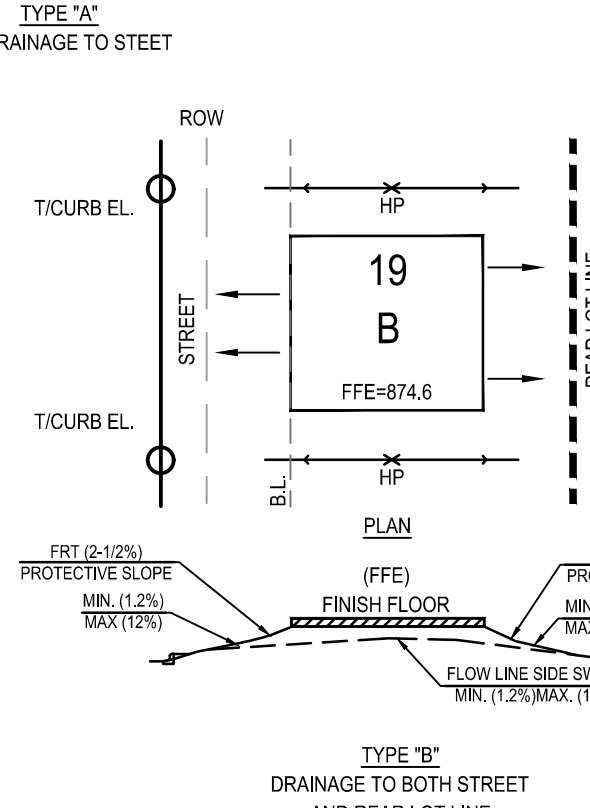
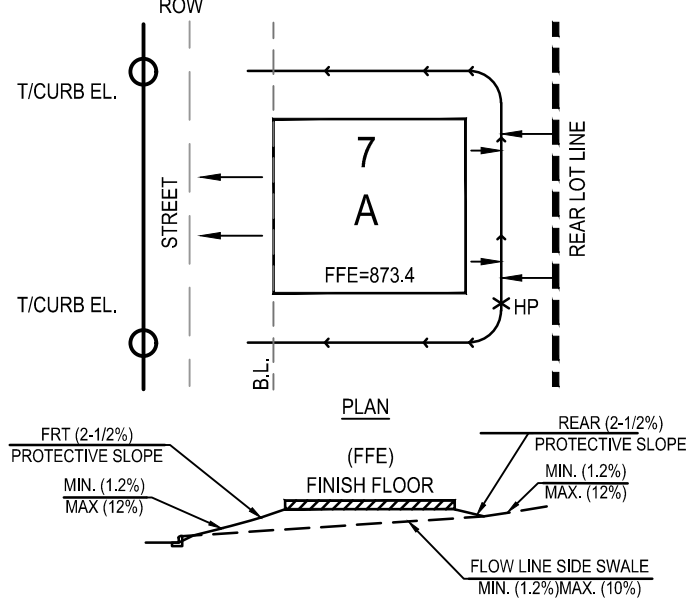


CUT FILL TABLE			
Number	Minimum Elevation	Maximum Elevation	Color
1	-8.000	-1.500	
2	-1.500	-1.000	
3	-1.000	-0.500	
4	-0.500	-0.250	
5	-0.250	0.250	
6	0.250	0.500	
7	0.500	1.000	
8	1.000	1.500	
9	1.500	7.000	

LEGEND	
	PROPERTY BOUNDARY
	PHASE BOUNDARY
	PROPOSED LOT LINES
	EASEMENT
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED STORM LINE WITH MANHOLE
	PROPOSED CURB INLET
	TYPICAL RAMP (SEE SHEET C08.24)
	LOW POINT/HIGH POINT
	LOT NUMBER AND GRADING TYPE
	DIRECTION OF FLOW
	RETAINING WALL
	PROPOSED SWALE FLOWLINE



HEAT MAP
1" = 100'



FINISHED FLOOR ELEVATIONS

THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND OR FINISHED FLOOR ELEVATION WHICH EVER IS HIGHER, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORM WATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO THE STORM WATER CONVEYANCE STRUCTURES MUST HAVE FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE STRUCTURE.

LOT FILL NOTES:
1. ALL LOTS WITH FILL SHALL BE COMPACTED IN ACCORDANCE WITH THE 79G PROCEDURE THAT MEETS THE REQUIREMENTS OF THE FHA DATA SHEET. DOCUMENTATION AND THE EVIDENCE OF COMPACTED SHALL BE FURNISHED TO THE ENGINEER & OWNER.

GENERAL NOTES:

- HOME BUILDER SHALL REFER TO THE APPROVED SUBDIVISION PLAT TO CONFIRM ALL BUILDING SETBACKS PRIOR TO ANY FOUNDATION WORK.
- AS SOON AS PRACTICAL, HOME BUILDER SHALL ESTABLISH VEGETATION (HYDROMULCH, SEEDING, SODDING, ETC...) TO PREVENT EROSION FROM OCCURRING.
- CONTRACTOR SHALL CONTACT ENGINEER REGARDING ANY QUESTIONS ON THE INTENT OF THIS PLAN.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS AND TOWARDS THE PROPER DRAINAGE EASEMENT OF STREET RIGHT OF WAY ACCORDING TO THE MASTER DRAINAGE PLAN FOR THE PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW PONDING OF WATER.
- GRADING PLAN IS INTENDED FOR USE IN LOT GRADING ONLY. CONTRACTOR SHOULD REFER TO CONSTRUCTION DRAWINGS FOR ALL OTHER GRADES, INCLUDING, BUT NOT LIMITED TO, CHANNELS, ROADS, AND DETENTION PONDS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ALL SWALES.
- EARTHEN GRADING SLOPES SHALL BE NO GREATER THAN 3:1.
- SLOPES GREATER THAN 3:1 ARE ASSUMED TO BE MILLED ROCK. IF SITE CONDITIONS VARY FROM THIS, NOTIFY ENGINEER IMMEDIATELY.

PLAT NUMBER
24-11800389

WALL LOCATION AND GRADING CHANGE

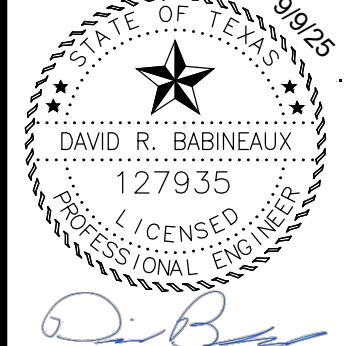
DESIGNED BY: JDC
REVIEWED BY: OR
DRAWN BY: JDC



BGE, INC.
7330 San Pedro, Suite 202
San Antonio, TX 78216
TEL: 210-581-3600 www.bgeing.com
TXPE Registration No. F-1046

HERON VALLEY PHASE 1

OVERALL GRADING PLAN



SHEET
C03.00