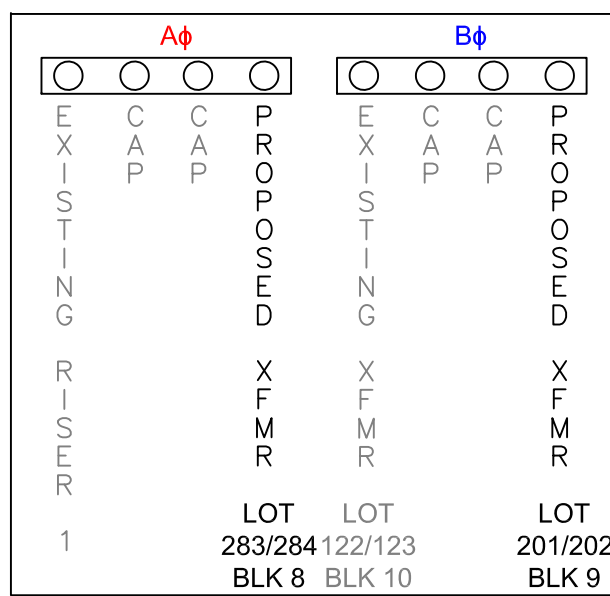
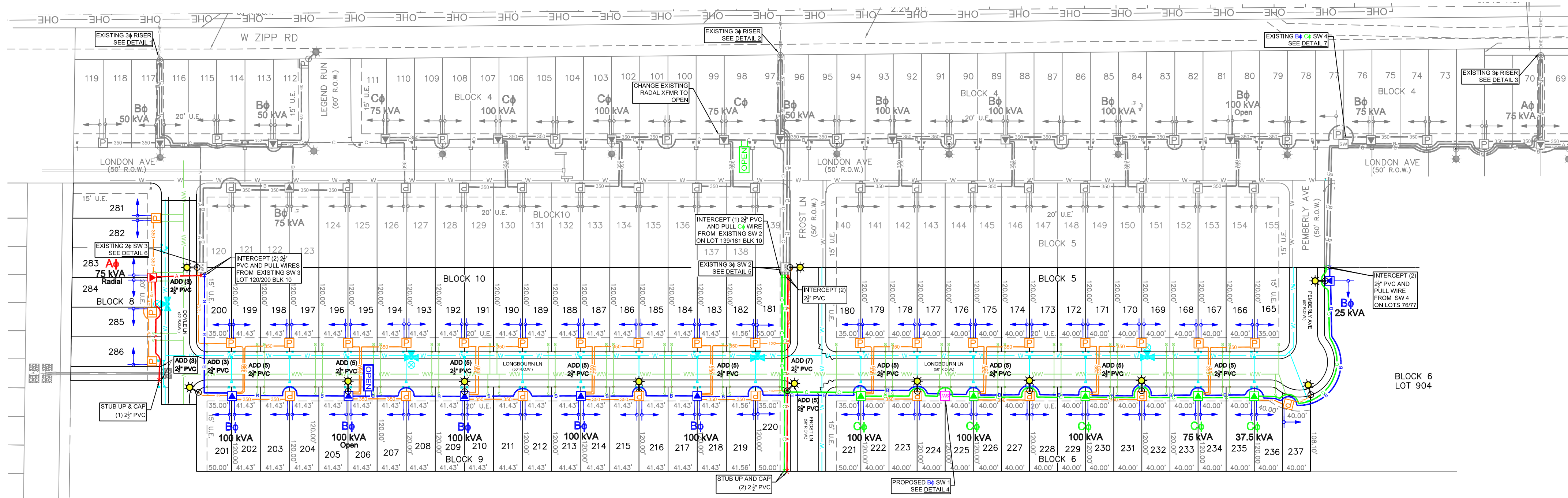
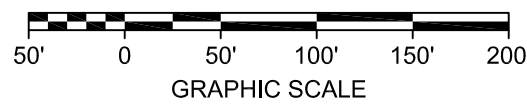




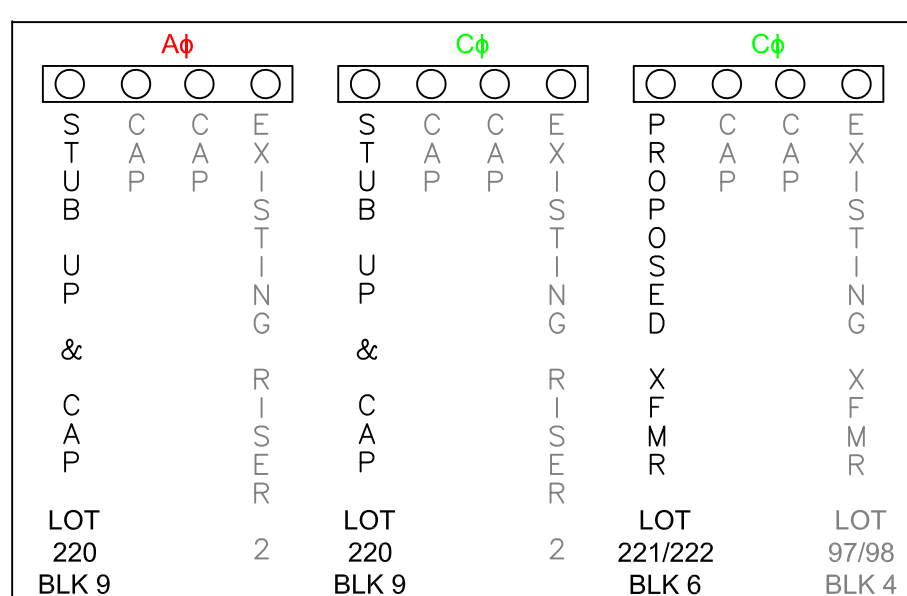
VICINITY MAP
NOT TO SCALE

WO# 2039442
79 LOTS
12 LIGHTS

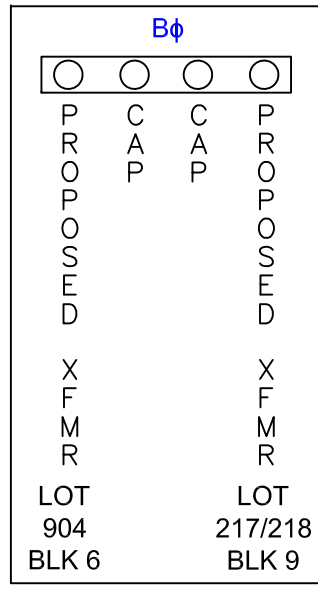
Upline Device
V401
14.4/24.6 kV



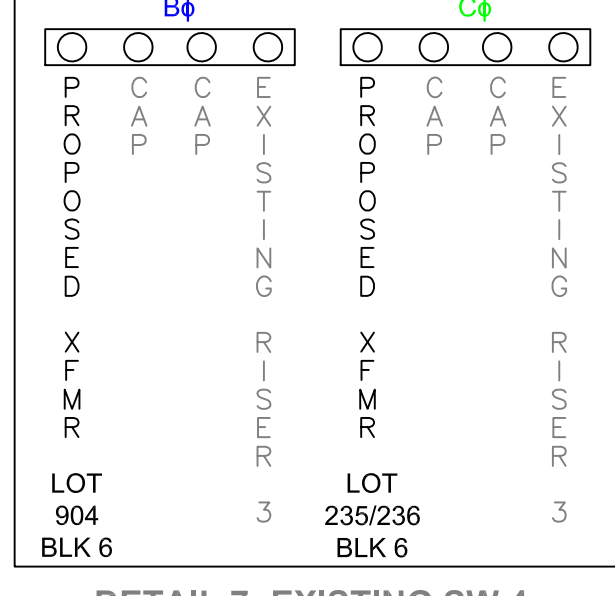
DETAIL 6: EXISTING SW 3
EXISTING 24 (A, B) SWITCH CABINET



DETAIL 5: EXISTING SW 2
EXISTING 34 (A, B, C) SWITCH CABINET



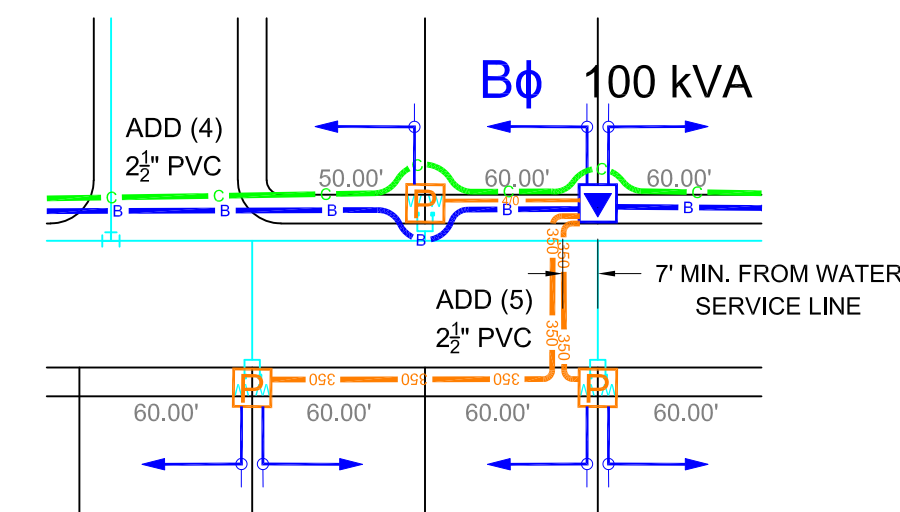
DETAIL 4: PROPOSED SW 1
PROPOSED B4 SWITCH CABINET



DETAIL 7: EXISTING SW 4
EXISTING 24 (B, C) SWITCH CABINET

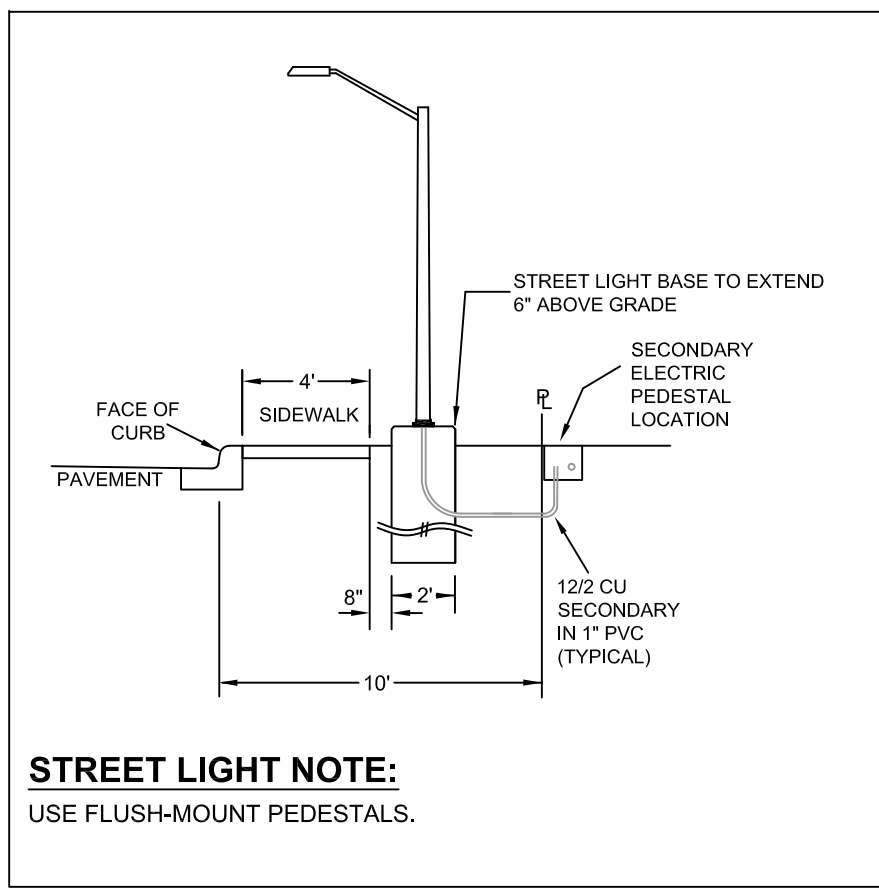
GENERAL NOTES:

- FOR FUTURE TEMPORARY SERVICE, STUB OUT (1) 2" FLEXIBLE ELECTRICAL PVC CONDUIT 6" BELOW GRADE CENTERED IN FRONT OF ALL TRANSFORMERS AND PEDESTALS. WHEN TEMPORARY SERVICE IS RETIRED, CUT OFF AND CAP 6" BELOW FINISHED GRADE.
- VERIFY ALL UNDERGROUND UTILITIES BEFORE DIGGING.
- GVEC STAFF WILL NOTIFY CONSTRUCTION CREWS WHEN TO PROCEED WITH INSTALLATION OF THE UNDERGROUND SYSTEM.
- GVEC TO HAVE A 5' WIDE ELECTRIC EASEMENT ON ALL ROAD CROSSINGS IN WHICH ELECTRIC LINES ARE PLACED.
- INSTALL THE CORRECT KV RATED PARKING STAND ARRESTORS AND LIGHTNING ARRESTORS FOR ALL OPEN POINT TRANSFORMERS.
- ALL UNDERGROUND CONDUIT FOR GVEC ELECTRIC FACILITIES TO BE SCHEDULE 40, GRAY PVC UNLESS OTHERWISE SPECIFIED BY GVEC STAFF.
- WATER PROVIDED BY GUADALUPE VALLEY SUD.
- SEWER PROVIDED BY GUADALUPE-BLANCO RIVER AUTHORITY.



ROAD CROSSING DETAIL - REQUIRED CLEARANCE
FROM WATER MAIN AND SERVICE LINES

ALL ELECTRIC CONDUITS PARALLEL WITH WATER MAIN OR SERVICE LINES TO HAVE SEVEN FOOT (7') HORIZONTAL CLEARANCE.



DATE	#	BY	REVISION
03/21/2025	1	SBF	DEVELOPER REVISION: PHASING ADJUSTED DUE TO WATER SERVICE CHANGES
06/10/2025	2	EH	DEVELOPER REVISION: ADJUSTED FOR DESIGN PAD RELOCATION

NOTE: G.V.E.C. WILL MAINTAIN 5' EASEMENT FOR SERVICE ENTRANCE TO DWELLING. THIS EASEMENT WILL VARY DEPENDING UPON LOCATION OF DWELLING.

G.V.E.C. SHALL HAVE ACCESS TO THE METER LOCATIONS FROM THE FRONT YARDS WITH THE METER LOCATIONS NOT BEING LOCATED WITHIN A FENCED AREA.

REAR

5' MIN. (DISTANCE VARIES)

HOUSE

ELECTRIC METER 5' MAX FROM CORNER OF HOUSE

2 1/2"

5' EASE.

5' EASE.

20' MIN. (DISTANCE VARIES)

20' UTILITY EASEMENT

PROPERTY LINE (STREET SIDE)

LOT B

LOT A

TYPICAL EASEMENT ON INTERIOR PROPERTY LINE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INITIAL REVIEW UNDER THE AUTHORITY OF:
REX N. WOODS, P.E. 87089
JUNE 10, 2025
IT IS NOT TO BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.

PRELIMINARY
NOT FOR CONSTRUCTION
REVISION NO. 2

gvec
Delivering more.™

GUADALUPE VALLEY ELECTRIC CO-OP., INC.
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GONZALES, TEXAS 78629-0118
830-672-2871
1800-223-GVEC(4832)
FAX 210-672-9841
e-mail info@gvec.org

DATE	06/10/2025	JOB NAME	HIGHLAND RIDGE UNIT 3
DRAWN BY	CTP	DEVELOPER REVISION	
CHECKED BY			
DATE			
SCALE	1" = 100'	WORK ORDER #	WO# 2039442
SCALE	1" = 100'	DATE	06/10/2025
DRAWING	CTP	JOB CODE	GVC-3-H20-A
SHEET NO.	1 OF 1	REV.	2

MEI-18396