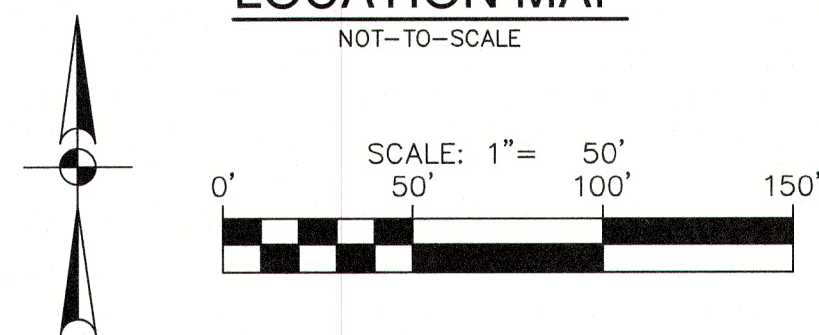
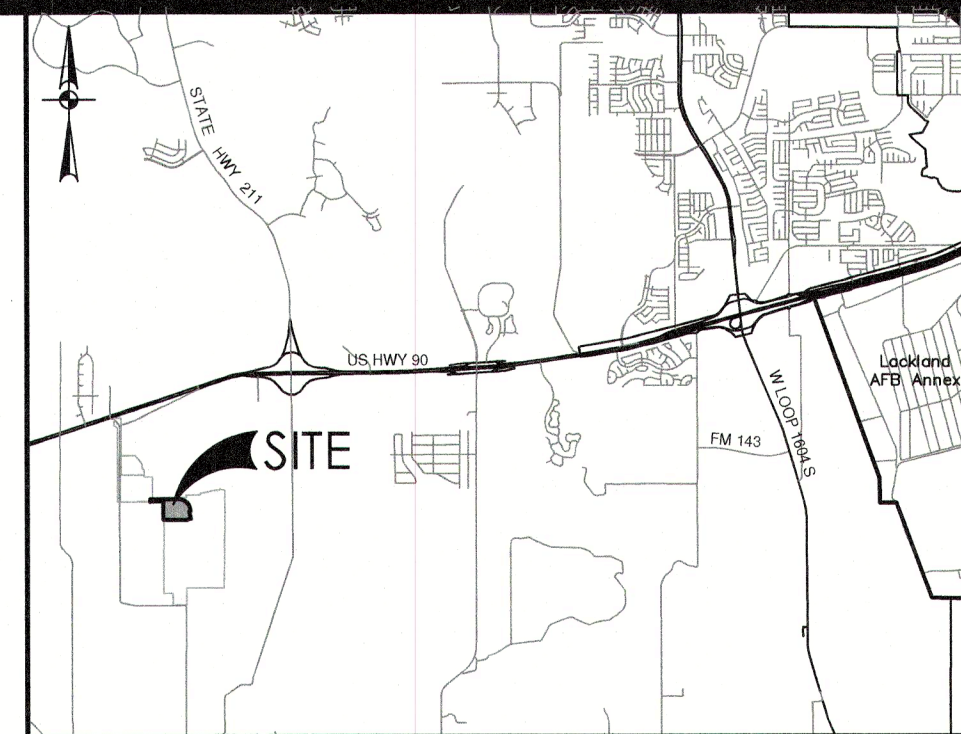


BENCHMARKS				
HORIZONTAL AND VERTICAL CONTROL POINTS				
Point #	Northing	Easting	Elevation	Full Description
6	13,683,988.08	2,035,786.75	765.71	SET I.R. REDCAP (TRAV)
8	13,682,558.97	2,035,856.88	763.09	SET I.R. REDCAP (TRAV)
11	13,680,489.90	2,035,856.24	749.70	SET I.R. REDCAP (TRAV)



## SEWER LEGEND

PROJECT LIMITS	---
EXISTING WATER	---
EXISTING SEWER	---
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED SEWER LATERAL	---
FINISHED FLOOR ELEVATION FOR SEWER	FF = XXXX.XX
VEHICULAR NON-ACCESS EASEMENT	VNAE

## OPEN SPACE:

LOT 901, BLOCK 42, LOT 901, BLOCK 44, LOT 901, BLOCK 47, LOT 902, BLOCK 41, ARE DESIGNATED AS OPEN SPACE AND AS A COMMON AREA AND A DRAINAGE, SEWER, WATER, ELECTRIC, GAS, TELEPHONE AND CABLE TV EASEMENT.

## CAUTION!!

CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITING TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

## FINISHED FLOOR NOTES:

- THE FINISHED FLOOR ELEVATIONS (FF) REPRESENT THE MINIMUM POSSIBLE FLOOR ELEVATION TO PROVIDE SANITARY SEWER SERVICE TO EACH LOT. ACTUAL FINISHED FLOOR ELEVATIONS FOR EACH LOT ARE TO BE DETERMINED BY THE BUILDER AND SHALL TAKE INTO CONSIDERATION AS-BUILT CONDITIONS FOR FOUND SEWER SERVICES AND ACTUAL LATERAL PLACEMENT. IT IS THE BUILDER'S SOLE RESPONSIBILITY TO DETERMINE ACTUAL FINISHED FLOOR ELEVATIONS FOR EACH LOT PRIOR TO THE START OF HOME FOUNDATION CONSTRUCTION TAKING INTO CONSIDERATION SITE DRAINAGE, STREET ACCESS AND SANITARY SEWER SERVICE ELEVATIONS.
- THE MINIMUM SANITARY SEWER LATERAL GRADES WERE BASED UPON THE MINIMUM FINISHED FLOOR ELEVATIONS FOR THE LOTS LOCATED ON THE DOWNHILL SIDES OF THE PROPOSED ROADWAYS.

## ROW PERMIT NOTE:

A BEXAR COUNTY PERMIT MUST BE OBTAINED BEFORE WORKING IN BEXAR COUNTY RIGHTS-OF-WAY.

## TRENCH EXCAVATION SAFETY PROTECTION:

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/ GEOTECHNICAL/ SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND /OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

## SEWER (SOUTH SEWERSHED DOS RIOS W.R.C.)

DEVELOPER'S NAME:	STARLIGHT HOMES TEXAS, LLC.
ADDRESS:	17319 SAN PEDRO AVENUE, SUITE 140
CITY:	SAN ANTONIO
STATE:	TEXAS
ZIP:	78232
PHONE#	(210)941-1838
FAX#	
SAWS BLOCK MAP#	070550 TOTAL EDU'S 128 TOTAL ACREAGE 29.35
TOTAL LINEAR FOOTAGE OF PIPE	3,902 LF-8" PVC PLAT NO 22-1180012
NUMBER OF LOTS	128
SAWS JOB NO.	22-1617

**PAPE-DAWSON**  
**ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS  
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.575.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #0038800

**JUNGMAN TRACT UNIT-2**  
**SAN ANTONIO, TEXAS**

**OVERALL SANITARY SEWER PLAN**

PLAT NO.	22-11800112
JOB NO.	12405-02
DATE	APRIL 2022
DESIGNER	CB
CHECKED	BS DRAWN BR
SHEET	C4.00



