

## VICINITY MAP

(NOT TO SCALE)

### CONSTRUCTION PLANS

- C0 - OVERALL COVER SHEET
- C1 - GENERAL NOTES
- C2 - EXISTING CONDITIONS PLAN
- C3 - SITE AND DIMENSIONAL CONTROL PLAN
- C4 - UTILITY PLAN
- C5 - FIRE PROTECTION PLAN
- C6 - GRADING AND DRAINAGE PLAN
- C7 - STORMWATER POLLUTION PREVENTION PLAN
- C8 - SITE PLAN DETAILS
- C9 - UTILITY DETAILS

### LEGAL DESCRIPTION:

BEING 6.916 ACRES OF LAND LYING IN THE MARIA LUCIA TORRES SURVEY NO. 81, ABSTRACT NO. 754, ALSO BEING A PORTION OF LOT 2, BLOCK 101, COUNTY BLOCK 5053, CONVERSE GATEWAY UNIT-1, RECORDED IN VOLUME 9586, PAGES 222-223, AND IN VOLUME 9587, PAGE 1, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, ALSO BEING A PORTION OF A 22.096 ACRE TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED DATED MAY 5, 2015 TO KNEUPPER BUSINESS PARK, LLC., RECORDED IN VOLUME 17218, PAGE 1018, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

### PLAT:

KNEUPPER BUSINESS PARK  
6.916 ACRES  
LOTS 12, 13, 14, & 15  
BLOCK 101

### GEOTECHNICAL REPORT:

FGS PROJECT NO: FGS-G 23127, DATED JANUARY 15, 2024, WAS PREPARED FOR THIS SUBDIVISION AND SHOULD BE CONSULTED AS REQUIRED OR AS REFERENCED IN THESE PLANS.

#### DEVELOPER:

KNEUPPER BUSINESS PARK, LLC  
310 GENESIS BLVD, STE E  
WEBSTER, TEXAS  
PHONE: (210) 681-2951

#### ENGINEER:

CUDE ENGINEERS  
4122 POND HILL ROAD, SUITE 101  
SAN ANTONIO, TEXAS 78231  
PHONE : (210) 681-2951

#### SURVEYOR:

CUDE ENGINEERS  
4122 POND HILL ROAD, SUITE 101  
SAN ANTONIO, TEXAS 78231  
PHONE : (210) 681-2951

#### PROJECT ADDRESS:

LOT 12, 9322 KNEUPPER AVENUE  
LOT 13, 9330 KNEUPPER AVENUE  
LOT 14, 9358 KNEUPPER AVENUE  
LOT 15, 9346 KNEUPPER AVENUE  
CONVERSE, TEXAS 78109

#### GENERAL NOTES

- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE FOLLOWING REGULATIONS AND SPECIFICATIONS. THE FIRST LISTED WILL HAVE PRIORITY OF THOSE LIST BELOW:  
PERMITS ISSUED FOR PROJECT BY ANY REGULATORY AGENCIES, CITY OF CONVERSE CONSTRUCTION STANDARDS, PLANS FOR THIS PROJECT.
- VERIFY EXACT LOCATION OF UNDER GROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON PLANS OR NOT.

WATER/WASTEWATER	CITY OF CONVERSE	(210) 658-9900
ELECTRIC	CPS	(210) 353-2222
GAS	CENTERPOINT ENERGY	(800) 427-7142
TELEPHONE	AT&T	(210) 283-1015
FIRE MARSHAL	CITY OF CONVERSE	(210) 658-8900
BUILDING OFFICIAL	CITY OF CONVERSE	(210) 658-8285
- TRENCH EXCAVATION PROTECTION SHALL BE ACCOMPLISHED AS REQUIRED BY THE PROVISIONS OF PART 1926, SUBPART P-EXCAVATION, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND INTERPRETATIONS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS INCLUDED IN ITEM 700, TRENCH EXCAVATION PROTECTION, CITY OF CONVERSE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO PROPERTY OWNED BY THE DEVELOPER OR PUBLIC RIGHT-OF-WAY AND EASEMENT UNLESS WRITTEN PERMISSION IS OBTAINED BY THE CONTRACTOR FROM THE PROPERTY OWNER AFFECTED.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS.
- IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS AND THE U.S. OCCUPATION SAFETY AND HEALTH ADMINISTRATION REGULATIONS, ALL TRENCHES OVER 5 FEET IN DEPTH IN EITHER HARD OR STABLE OR SOFT AND UNSTABLE SOIL SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED. FURTHERMORE, ALL TRENCHES LESS THAN 5 FEET IN DEPTH SHALL ALSO BE EFFECTIVELY PROTECTED WHEN HAZARDOUS GROUND MOVEMENT MAY BE EXPECTED. TRENCH SAFETY SYSTEMS TO BE UTILIZED FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CITY OF CONVERSE STAFF, INCLUDING THE DIRECTOR OF PUBLIC WORKS
CITY ENGINEER AND THE PUBLIC WORKS INSPECTOR.
CONTRACTOR
DESIGN ENGINEER
ELECTRIC, GAS, PHONE AND CABLE UTILITY REPRESENTATIVES, IF APPROPRIATE.
- IMPROVEMENTS AND ELEVATIONS SHOWN ARE EXISTING ON THE DATE OF THIS SURVEY AND MAY BE SUBJECT TO SUBSEQUENT CHANGES.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHICAL INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR AND CIVIL ENGINEER IMMEDIATELY.
- CONTRACTOR TO PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND SHALL REPLACE OR REPAIR, AT HIS OR HER OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
- IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET TO A TOLERANCE OF 0.010 FT.
- TREES SHOWN FOR REFERENCE ONLY, TREE REMOVAL, PROTECTION, AND TRANSPLANTING SHALL BE ACCORDING TO PROJECT TREE PRESERVATION PLAN AND LANDSCAPE PLANS AS APPLICABLE.
- ALL STORMWATER POLLUTION PREVENTION PERMITS, BMP'S TO BE IN PLACE PRIOR TO COMMENCEMENT OF ANY WORK.
- NO EDWARDS AQUIFER RECHARGE/CONTRIBUTING ZONE REQUIREMENTS FOR THIS SITE.
- THE INFORMATION CONTAINED ON THESE DRAWINGS IN REGARDS TO EXISTING UTILITIES, TOPOGRAPHY, CONTOURS, OR SUBSURFACE CONDITIONS IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AT THIS TIME. ITS ACCURACY IS NOT GUARANTEED AND ITS USE IN NO WAY RELIEVES THE CONTRACTOR OF ANY RESPONSIBILITY FOR LOSSES DUE TO ANY INACCURACIES.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN BASED UPON RECORD INFORMATION AND SURVEY INFORMATION FOR UTILITIES VISIBLE AT THE TIME OF SURVEY AND MAY NOT MATCH LOCATIONS AND/OR DEPTHS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL UTILITY CROSSINGS PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR IS TO MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES.
- ALL REQUIRED RELOCATION'S OR ALTERATIONS OF TELEPHONE POLES, UNDERGROUND CONDUIT, POWER POLES AND ANY OTHER FACILITIES SHALL BE DONE BY THIS CONTRACTOR, UNLESS NOTED AS "BY OTHERS". THIS CONTRACTOR SHALL SCHEDULE AND COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS AND UTILITY COMPANIES SO AS NOT TO DELAY THE PROJECT.
- CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING AND CUT SHEETS FOR PIPE LINES LAID ON GRADE AND ROAD CONSTRUCTION. CUT SHEETS SHALL BE DELIVERED TO THE CITY INSPECTOR BY THE CONTRACTOR AT LEAST 36 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- CONTRACTOR SHALL GIVE CITY INSPECTOR 36 HOURS NOTICE OF THE NEED FOR MATERIALS TESTING. ALL TESTING WILL BE ARRANGED AND PAID FOR BY THE CONTRACTOR. THE CITY SHALL RECEIVE A COPY OF TEST RESULTS.
- CONTRACTOR IS RESPONSIBLE FOR TAKING (AND INCLUDING IN BID) ALL OF THE APPROPRIATE SECURITY MEASURES AT THE SITE, FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- CONTRACTOR IS TO PROVIDE "AS BUILTS" ON ALL UTILITY AND DRAINAGE IMPROVEMENTS, PUBLIC AND PRIVATE.
- PERMANENT EROSION CONTROL/VEGETATION SHALL BE COMPLETED BY CONTRACTOR.

#### EXISTING UTILITIES NOTES:

- THE CONTRACTOR SHALL BE AWARE THAT GAS, SANITARY SEWER, WATER, OVERHEAD ELECTRIC AND OVERHEAD/UNDERGROUND CABLE AND TELEPHONE LINES EXIST WITHIN THE LIMITS OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THESE UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THIS AREA. ANY DAMAGE DONE TO THESE EXISTING FACILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR. THE POSITION AND DEPTH OF ALL UTILITIES LOCATED IN THE VICINITY OF THE PROPOSED WORK SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- UTILITY CONFLICTS THAT ARE DISCOVERED SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND REPAIRED AT THE CONTRACTOR'S OWN EXPENSE.
- NOTIFY OWNER 72 HOURS IN ADVANCE OF UTILITY SHUTDOWN.
- ONE CALL NOTE - CONTRACTOR MUST CALL CITY OF CONVERSE (210-658-9900) FOR LOCATION OF CITY UTILITIES.

#### SWPPP NOTES:

- PROVIDE BAGGED GRAVEL INLET FILTERS AT ALL EXPOSED DRAINAGE STRUCTURES.
- SOIL DISTURBANCES MAY OCCUR OVER MAJORITY OF SITE.
- LOCATIONS OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS ARE LABELED. THESE ARE THE TEMPORARY AND PERMANENT BEST MANAGEMENT PRACTICES.
- SOIL STABILIZATION PRACTICES SHALL OCCUR OVER THE ENTIRE SITE WITH THE USE OF PAVEMENT, BUILDINGS, SIDEWALKS, GRASS SOD, GRASS SEEDING AND MULCH.
- CONTRACTOR TO ADJUST LOCATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT AND/OR CONSTRUCTION STAGING AREA/WASHOUT PIT AS NECESSARY TO SUPPORT CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR LOCAL AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORTER SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING, PUMPING AND TREATMENT OF WATER. NO WATER FROM ANY CONSTRUCTION WORK SHALL BE RELEASED DOWNSTREAM OR INTO STORM SYSTEMS WITHOUT FIRST BEING TREATED OR HAVING SEDIMENT, OILS OR OTHER POLLUTANTS REMOVED IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- SHEET C7 IS FOR INCLUSION IN THE OPERATOR'S OVERALL STORMWATER POLLUTION PREVENTION PLAN AND GENERAL PERMIT TXR 150000 PACKAGE. SHEET C7 SHOULD NOT BE CONSIDERED TO BE THE ENTIRE STORMWATER POLLUTION PREVENTION PLAN IN AND OF ITSELF. SHEET C7 IS FOR THE TPDES STORM WATER POLLUTION PREVENTION PLAN ONLY. DO NOT USE FOR DIMENSIONAL CONTROL OR NEW SITE WORK LAYOUT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING & POSTING THE TCEQ NOTICE OF INTENT (NOI), THE NOTICE OF TERMINATION (NOT) AND/OR CONSTRUCTION SITE NOTICE (CSN) AS REQUIRED PER THE TPDES CONSTRUCTION GENERAL PERMIT TXR 150000.
- CONTRACTOR TO UPDATE & MAINTAIN SWPPP AS REQUIRED BY TPDES GENERAL PERMIT TXR15000. THIS TO INCLUDE REPLACING AND/OR UPDATING ANY BMP'S WHICH PROVE TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS IN DISCHARGES AUTHORIZED UNDER THE GENERAL PERMIT.

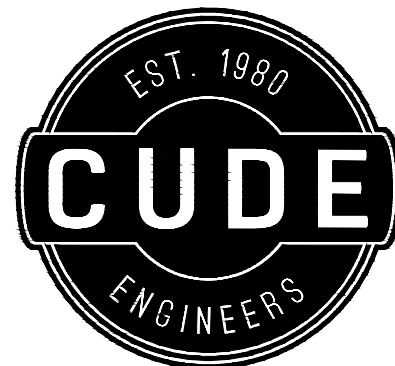
#### SOIL STABILIZATION PROCEDURE

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE. IN AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL AND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

#### ACCEPTED FOR CONSTRUCTION:

CITY ENGINEER, CITY OF CONVERSE DATE

NOTE: THE CITY ENGINEER'S SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE CITY ENGINEER AND CITY STAFF HAS REVIEWED THIS DOCUMENT AND HAS FOUND IT TO BE IN GENERAL CONFORMANCE WITH THE CITY OF CONVERSE SUBDIVISION ORDINANCE(S) OR APPROVED VARIANCES TO THOSE REGULATIONS. THE CITY ENGINEER, THROUGH THE ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED LICENSED PROFESSIONAL ENGINEER WHOSE SEAL AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.



4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P: (210) 681.2951 F: (210) 523.7112

KNEUPPER BUSINESS PARK

OVERALL COVER SHEET

#### DATE

02/13/2025

#### PROJECT NO.

03639.003

#### DRAWN BY

CG/XV

#### CHECKED BY

XV/AL

#### REVISIONS

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CUDE ENGINEERS  
TBPE No. 455

PLAT NO.  
100A

C0



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GENERAL NOTES:

- FIRE LANES SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED CONVERSE BUILDING CODES, AS AMENDED.
- MECHANICAL UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE UDC.
- THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE. ALL SIGNAGE IS CONTINGENT UPON APPROVAL BY BUILDING INSPECTION DEPARTMENT AND THE ISSUE OF A SIGN PERMIT.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE UDC.
- BUILDING FACADES SHALL BE COMPATIBLE WITH SURROUNDING DEVELOPMENT, AS PROVIDED IN THE UDC.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS OF THE UDC.
- CONTACT THE BUILDING INSPECTION DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND WHERE REQUIRED.
- USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO ALL ENVIRONMENTAL PERFORMANCE STANDARDS IN SPECIFIED IN THIS UDC, INCLUDING, BUT NOT LIMITED TO NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
- DURING CONSTRUCTION BUILDING ADDRESS SHALL BE POSTED. ADDRESS SHALL BE A COLOR CONTRASTING TO THE BACKGROUND. ADDRESS SHALL BE LOCATED SO THEY ARE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY.
- ALL MANUAL AND ELECTRONIC GATES ON REQUIRED FIRE DEPARTMENT ACCESS ROADS OR GATES OBSTRUCTING FIRE DEPARTMENT BUILDING ACCESS SHALL BE PROVIDE WITH KNOX RAPID ENTRY SYSTEM FOR EMERGENCY ACCESS BY FIREFIGHTING PERSONNEL. BUILDING ACCESS AND/OR GATE ACCESS IS REQUIRED. PROVIDE DETAILS AND LOCATION OF ALL KNOX BOX(S) AND/OR KNOX PAD LOCK(S).
- THE CONTRACTOR SHALL DESIGNATE A PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR THE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT. THE FIRE PREVENTION PROGRAM SUPERINTENDENT SHALL HAVE THE AUTHORITY TO ENFORCE THE PROVISION OF THE FIRE CODE AND OTHER PROVISIONS AS NECESSARY TO SECURE THE INTENT OF THE FIRE CODE. WHERE GUARD SERVICE IS PROVIDED, THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE GUARD SERVICE.
- DURING THE ENTIRE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING AND MAINTAINING UNOBSTRUCTED EMERGENCY VEHICLE ACCESS TO THE PROJECT SITE, BUILDINGS, AND BUILDING UNDER CONSTRUCTION 24 HOURS A DAY.
- ALL WEATHER ACCESS ROADS AND HYDRANTS LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHAL AND SHALL BE IN PLACE AND OPERATIONAL BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON SITE. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS AT ALL TIMES.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THE LOCATION PER THE CONVERSE FIRE DEPARTMENT. ON PRIVATE PROPERTY, MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER. ALL NEW PRIVATE HYDRANT BARRELS ARE TO BE CHROME YELLOW.

SITE CLEARING NOTES:

- CONDUCT SITE CLEARING OPERATIONS TO THE EXTENT SHOWN ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: REMOVAL OF TREES AND OTHER VEGETATION, TOPSOIL, STRIPPING, CLEARING AND GRUBBING, AND REMOVAL OF ALL IMPROVEMENTS ABOVE OR BELOW GRADE. REFER TO THE GEOTECHNICAL REPORT FOR THIS PROJECT FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.
- EXECUTION:
  - SITE CLEARING OPERATIONS SHALL NOT DAMAGE OR INTERFERE WITH THE PUBLIC USE OF ROADS, WALKS, ADJACENT LAND OR FACILITIES AND EXISTING IMPROVEMENTS INTENDED TO REMAIN.
  - EXISTING TREES TO REMAIN SHALL BE PROTECTED IN COMPLIANCE WITH - LANDSCAPE PLANS.
  - CONTRACTOR SHALL REMOVE TREES, SHRUBS, GRASS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH THE INSTALLATION OF NEW CONSTRUCTION OR AS SHOWN ON PLANS. CLEARING OPERATIONS SHALL INCLUDE REMOVAL OF STUMPS AND ROOTS.
  - CONTRACTOR SHALL STRIP TOPSOIL IN A MANNER APPROPRIATE TO SEGREGATE FROM UNDERLYING SUBSOIL. TOPSOIL STRIPPING NEAR TREES INTENDED TO REMAIN SHALL BE COMPLETED IN COMPLIANCE WITH LANDSCAPE PLANS.
- SPOIL SHALL BE STORED ONLY IN AREAS SHOWN ON THE PLANS AND SHALL BE MAINTAINED IN ACCORDANCE WITH APPLICABLE POLLUTION PREVENTION PLANS OR PERMITS.
- WASTE MATERIAL OR EXCESS TOPSOIL GENERATED AS A RESULT OF CLEARING AND GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF ALL SPOIL MATERIAL SHALL BE AT THE CONTRACTOR'S EXPENSE. BURNING ON THE OWNER'S PROPERTY IS NOT PERMITTED.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED. ALL MATERIALS SHALL BE DEMOLISHED AND REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE, FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND THAT ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AN DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.

- CONTRACTOR SHALL CONFIRM WITH THE OWNER OF HIS DESIGNATION WHETHER TO SALVAGE AND MAKE ARRANGEMENTS TO STORE TRANSPLANTABLE TREES PRIOR TO REMOVAL.
- FOR TREES SHOWN TO REMAIN, THE CONTRACTOR SHALL INSTALL TREE PROTECTION IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT REMOVE OR DAMAGE ANY TREES WITHOUT A PERMIT TO DO SO.
- NO PARKING AND/OR STORAGE SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES TO REMAIN.
- THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT THE NEW PAVEMENT, CURB AND SIDEWALK JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS, BENCH MARKS, CONSTRUCTION STAKES, HUBBS, OR OTHER KEY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE.
- DEMOLITION CONTRACTOR IS RESPONSE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION CONTRACTOR.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND/OR REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
- NO EXISTING ASPHALT OR CONCRETE PAVING SCHEDULED FOR REMOVAL SHALL REMAIN ON-SITE OR BE USED AS FILL MATERIAL. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIAL OFFSITE FOLLOWING ALL APPLICABLE DISPOSABLE REGULATIONS.
- CONTRACTOR SHALL ADJUST IRRIGATION LATERALS TO ALLOW PROPER FUNCTION OF ZONES AT COMPLETIONS OF CONSTRUCTION. WORK TO BE COORDINATED WITH THE OWNER.
- CONTRACTOR SHALL NOT DEMOLISH ANY PUBLIC WATER OR SANITARY SEWER LINES WITHOUT APPROVAL. EXISTING WATER AND SANITARY SEWER SERVICES SHALL REMAIN OPERATIONAL. UNTIL NEW SERVICE IS COMPLETE. CUT AND CAP ANY ABANDONED SANITARY SEWER AND WATER SERVICES AT THE EXISTING MAIN. NO ABANDONED SERVICES SHALL REMAIN CONNECTED TO THE PUBLIC MAIN.
- THE USE OF EXPLOSIVES IS PROHIBITED.
- ALL WASTE MATERIAL REMAINING AFTER THE OWNER SALVAGE IS COMPLETE AND RESULTING FROM DEMOTION OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS OWN EXPENSE. OWNER WILL PROVIDE LIST OF ITEMS TO BE SALVAGED.
- THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDED BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTORS SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR SHALL MEET ALL LOCAL, STATE, AND FEDERAL REGULATIONS FOR DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE AT THEIR OWN EXPENSE FOR ANY FUGITIVE DUST ON ADJOINING PROPERTIES.

UTILITY NOTES:

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL FOLLOW THE CITY OF CONVERSE TO COMPLY WITH THE FOLLOWING AS APPLICABLE:
  - CURRENT CONVERSE WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION
  - CURRENT CONVERSE WATER SYSTEM UTILITY SERVICE REGULATIONS.
  - CURRENT GVEC UTILITY SERVICE REQUIREMENTS.
  - 2021 INTERNATIONAL BUILDING CODE (IBC)
  - 2021 INTERNATIONAL ENERGY CODE (IECC)
  - 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
  - 2021 INTERNATIONAL FIRE CODE (IFC)
  - 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
  - 2021 INTERNATIONAL PRIVATE SEWAGE CODE (IPSC)
  - 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
  - 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
  - 2021 NATIONAL ELECTRIC CODE (NEC)
  - M. 2021 UNIFORM MECHANICAL CODE (UMC)
  - N. 2021 UNIFORM PLUMBING CODE (UPC)
- UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR SHALL UNCOVER KNOWN EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM THE PLANS, OR UPON THE DISCOVERY OF ADDITIONAL UTILITIES NOT SHOWN ON THE PLANS, PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND THE ENGINEER.

- ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ENGINEER.
- CONTRACTOR SHALL PROVIDE FOR THE SAFE PASSAGE OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING UTILITY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY PER CITY OF CONVERSE.
- NO WATER JETTING WILL BE ALLOWED ON THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE PLAN OF RECORD DRAWING(S), WITH FINAL MEASUREMENTS, TYPE OF PIPE, FITTINGS, AND APPURTENANCES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF ALL UTILITY SYSTEMS. PLAN(S) SHALL BE DIMENSIONED TO ACCURATELY LOCATE BURIED FITTINGS.
- UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO PROCEED WITH THE CONSTRUCTION OF ANY UTILITIES, BOTH UNDERGROUND AND OVERHEAD, UNTIL EVERYTHING HAS BEEN COORDINATED AND ALL PERMITS AND APPROVALS BY ALL GOVERNING AGENCIES ARE IN ORDER.
- THE CONTRACTOR SHALL COMPLY WITH ALL NECESSARY GOVERNMENTAL REGULATIONS AND SHALL OBTAIN ALL REQUIRED PERMITS AND BEAR COST FOR THE SAME.
- CONTRACTOR TO SUPPORT AND KEEP INTACT STORM DRAINS AND INLET STRUCTURES, EXISTING DRAINAGE PATTERNS AND FACILITIES ARE TO BE MAINTAINED THROUGHOUT PROJECT DURATION. ANY DAMAGES INCURRED WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL STABILIZE ALL DISTURBED SOIL AREAS IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND RE-SOD DISTURBED SOIL AREAS IN COMPLIANCE WITH LANDSCAPE PLANS OR WITH BERMUDA SODDING OR HYDROMULCH TO MATCH CONDITIONS PRIOR TO CONSTRUCTION.

- THE CONTRACTOR SHALL BE REQUIRED TO COMMENCE CONSTRUCTION AND LAYING OF PIPE AT THE DOWNSTREAM END OF THE GRAVITY FLOW OUTFALL LINE AND PROCEED NON-STOP IN A FORWARD UPSTREAM DIRECTION. NO PIPE SHALL BE LAID WITHIN TEN FEET (10') OF ANY POINT WHERE EXCAVATION IS IN PROGRESS. PIPE LAYING SHALL PROCEED UPGRADE WITH THE TONGUE OR SPIGOT POINTING IN THE DIRECTION OF FLOW. PIPE SHALL BE LOWERED INTO THE TRENCH WITHOUT DISTURBING THE PREPARED FOUNDATION OR THE TRENCH SIDES.
- ALL EXCAVATION SHALL BE UNCLASSIFIED AND SHALL INCLUDE ALL MATERIAL ENCOUNTERED REGARDLESS OF THEIR NATURE OR THE MANNER IN WHICH THEY ARE REMOVED.
- ADJUST ALL EXISTING VALVES, UTILITY MANHOLES, METER BOXES, PULL BOXES, VALVE BOXES, ETC. TO REMAIN TO FINAL GRADE, UNLESS NOTED OTHERWISE. REFERENCE GRADING PLAN.
- WHEN PRESSURE UTILITY SYSTEMS ARE IN VERTICAL CONFLICT WITH GRAVITY UTILITY SYSTEMS THE CONTRACTOR SHALL REROUTE PRESSURE UTILITY SYSTEMS VERTICAL AS NECESSARY FOR PROPOSED CONSTRUCTION.
- NO OTHER UTILITY SERVICE/APPUTENANCES SHALL BE PLACED NEAR THE PROPERTY LINE, OR OTHER ASSIGNED LOCATION DESIGNATED FOR WATER AND WASTEWATER UTILITY SERVICE THAT WOULD INTERFERE WITH THE WATER AND WASTEWATER SERVICES.
- CONTRACTOR SHALL FURNISH ALL UTILITY PIPE FITTINGS, MATERIALS, EQUIPMENT, ETC. AS NECESSARY FOR PROPOSED CONSTRUCTION.
- FOR PRESSURE TAPS, FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. CONCRETE BLOCKING SHALL BE PLACED BEHIND AND UNDER ALL TAP SLEEVES TWENTY-FOUR (24) HOURS PRIOR TO MAKING THE WET TAP.
- JOINT RESTRAINTS SHALL BE IN ACCORDANCE WITH CITY OF CONVERSE REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL GRAVITY LINES FROM DOWNSTREAM END TO UPSTREAM END.
- REFER TO LANDSCAPE PLANS FOR IRRIGATION SERVICE.
- ALL PROPOSED ELECTRIC, GAS, PHONE, AND CABLE UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY COMPANIES AND/OR ENGINEER.
- IF REQUIRED, ALL WORK ASSOCIATED WITH PROVIDING NATURAL GAS INCLUDING TRENCHING, CONDUIT INSTALLATION, PAVEMENT REPLACEMENT/BACKFILL AND METER INSTALLATION AS DESCRIBED ON THESE PLANS SHALL BE COORDINATED WITH NATURAL GAS PROVIDER.
- ALL PROPOSED ELECTRIC, PHONE AND CABLE CONDUITS SHALL BE PROVIDED WITH PULL STRINGS.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CENTERPOINT ENERGY MUST MAINTAIN ACCESS TO ALL GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

TRENCH EXCAVATION SAFETY PROTECTION:

- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS, AND/OR PROCEDURES SHALL PROVIDE ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, CURRENT OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH CURRENT OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS:

- FURNISH AND INSTALL THE DOMESTIC WATER LINE, AND WASTEWATER COLLECTION SYSTEM AND ALL RELATED APPURTENANCES FROM THE PUBLIC MAIN TO THE BUILDING PAD(S) AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO ALL PIPING, FITTINGS, VAULTS, VALVES, METERS, MANHOLES AND JUNCTION BOXES REQUIRED.
- EXECUTION:
- ALL MATERIALS, INSTALLATION. INSPECTION AND TESTING OF WATER METER AND RELATED PIPING AND APPURTENANCES SHALL CONFORM TO IPC STANDARDS, AWWA STANDARDS, TCEQ STANDARDS, AND THE APPLICABLE LOCAL UTILITY COMPANY REGULATIONS. ALL MATERIALS AND INSTILLATION REQUIRED FOR FIRE PROTECTION SHALL MEET FACTORY MUTUAL GLOBAL STANDARDS.
  - CONTRACTOR IS RESPONSIBLE FOR TAP AT PUBLIC MAIN AND ALL LINES, FITTINGS AND APPURTENANCES SHOWN ON PLANS OR REQUIRED BY THE LOCAL UTILITY COMPANY.
  - INSTALLATION OF WASTEWATER LINES SHALL BEGIN AT THE TAP OF THE END OF THE EXISTING SERVICE LATERAL AND PROGRESS UPSTREAM. INVERT CALLED OUT ON PLANS ON END OF THE EXISTING SERVICE LATERAL SHALL BE CONFIRMED. NOTIFY ENGINEER WITH ANY DISCREPANCIES. WATER AND WASTEWATER LINES SHALL BE EXTENDED TO SERVICE ENTRANCE INTO BUILDING(S). CONTRACTOR SHALL PROVIDE A WATERTIGHT SLEEVE IN FOUNDATION FOR WATER LINE.

SANITARY SEWER NOTES:

- ALL PIPE TRENCHING, BEDDING AND BACKFILL SHALL BE DONE IN ACCORDANCE WITH APPROPRIATE ASTM/ANSI SPECIFICATIONS [REFERENCE 30 TAC 317.2(A)(5); ASTM C12 (ANSI A106.2) OR ASTM D-2321 (ANSI K65.17)].
- TEST LINES & MANHOLES PER PROJECT SPECIFICATIONS.
- A MINIMUM OF 3 FEET OF COVER IS TO BE MAINTAINED OVER THE SANITARY SEWER LINES AND LATERALS OTHERWISE CONCRETE ENCASEMENT WILL BE REQUIRED.
- UPON COMPLETION OF SANITARY SEWER CONSTRUCTION AND TRENCH BACKFILL, CONTRACTOR TO TELEVIEW LINES OVER 100 LINEAR FEET OF NEW CONSTRUCTION AND PROVIDE TELEVIEWING TAPE FOR REVIEW AND ACCEPTANCE BY OWNER.
- ALL MANHOLES, RINGS AND COVERS SHALL BE WATERTIGHT AND BOLTED.
- WHEN SEWER LINES OR MANHOLES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE "DESIGN CRITERIA FOR SEWAGE SYSTEMS" OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY.
- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE BOARD (C.P.S.B.) MUST MAINTAIN ACCESS TO ALL GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- ALL MANHOLE TOPS NOT LOCATED IN PAVEMENT WILL REQUIRE A CONCRETE COLLAR FINISHED 6" ABOVE FINISHED GRADE, OTHERWISE COLLAR SHALL BE FLUSH WITH PAVING.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING CONTINUAL SANITARY SERVICE AT ALL TIMES AT ANY EXISTING LINE.
- WHEN MANHOLES ARE INSTALLED IN NON-PAVED AREAS, THE RIM ELEVATION SHALL BE 3" ABOVE FINISHED GRADE.

- CONTRACTOR TO ENSURE CITY OF CONVERSE MANHOLE COATING REQUIREMENTS ARE MET.

STORM SEWER NOTES:

- VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES. COMPLETE OR COORDINATE ADJUSTMENT OF OTHER UTILITIES IN ORDER TO CONSTRUCT STORM SEWER TO ELEVATIONS PROVIDED.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. (SEE SITE INFORMATION SHEET FOR UTILITY CONTACTS)
- ALL STORM SEWER INLETS/STRUCTURES SHALL BE PRE-CAST.
- GROUT/FORM MANHOLE OR INLET TO PROVIDE FOR SMOOTH FLOW OF WATER.

SITE PLAN NOTES:

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE APPROVED PLANS. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE PLAN REVISIONS AND APPROVAL OF THE CITY OF CONVERSE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BUILDING FACE OF MATERIAL, AND FACE OF WALLS, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILED BUILDING DIMENSIONS.
- PUMPING RUNOFF OR RAINWATER FROM A BUILDING EXCAVATION IS NOT AN EXTRA PAY ITEM.
- CONTRACTOR SHALL COMPLY WITH ALL RELEVANT BUILDING CODES, CONSTRUCTION SPECIFICATIONS FROM ANY POLITICAL SUBDIVISION HAVING JURISDICTION (INCLUDING BUT NOT LIMITED TO CITY OF CONVERSE, GUADALUPE COUNTY, TADOT, TCEQ, AND THE TEXAS ACCESSIBILITY STANDARDS OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION).
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY IN CONNECTION WITH THE WORK PERFORMED ON THIS PROJECT EXCEPT FROM LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- CONTRACTOR AND SUBCONTRACTORS SHALL CONTRACT WITH A SURVEYOR AS REQUIRED TO VERIFY PROJECT ELEVATIONS AND BENCHMARK ELEVATION(S) PRIOR TO CONSTRUCTION. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY BOTH VERTICAL AND HORIZONTAL ALIGNMENT. ALL FINISHED EARTHEN GRADES SHALL NOT EXCEED ±1 (H:V) SLOPE.
- BARRICADES, WARNING SIGNS & LIGHTS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ARE GENERALLY LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT AND TO ASSURE AN EXPEDITIOUS TRAFFIC FLOW AT ALL TIMES. DURING THE PROGRESS OF WORK, THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.

PAVEMENT NOTES:

- DESIGN MIX SUBMITTALS SHALL BE PROVIDED FOR REVIEW BY THE GEOTECHNICAL AND/OR CIVIL ENGINEER AT LEAST 7 DAYS PRIOR TO PLACEMENT.
- DO NOT UNLOAD OR USE ANY HEAVY CONSTRUCTION EQUIPMENT ON NEW CONCRETE FOR AT LEAST 7 DAYS AFTER CONCRETE IS POURED.
- GENERAL CONTRACTOR OR APPLICABLE SUB-CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK SUCH THAT UTILITIES ARE INSTALLED PRIOR TO PAVEMENT BASE BEING INSTALLED OR ELSE LOCATE AND PLACE LINES FOR PROPOSED UNDERGROUND UTILITIES. LOCATE AND PLACE LINES OR SLEEVES FOR UNDERGROUND UTILITIES PRIOR TO PLACEMENT OF PAVEMENT BASE.
- UNLESS OTHERWISE SHOWN ON THE PLANS, RECOMMENDED BY THE GEOTECHNICAL ENGINEER OR APPROVED BY THE ENGINEER, CONCRETE AREAS SHALL COMPLY WITH THE FOLLOWING ITEMS WITHIN THE TEXAS DEPARTMENT OF TRANSPORTATION 2014 STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES:
  - ITEM 247 - FLEXIBLE BASE
  - ITEM 360 - CONCRETE PAVING
  - ITEM 421 - PORTLAND CEMENT CONCRETE
  - ITEM 529 - CONCRETE CURBS, GUTTER AND COMBINED CURB AND GUTTER
  - ITEM 531 - SIDEWALKS
- JOINTS SHALL BE PLACED IN ANY PROPOSED CONCRETE PAVEMENT AND CURBING AS RECOMMENDED IN THE APPLICABLE GEOTECHNICAL STUDY FOR THIS PROJECT. IF A GEOTECHNICAL STUDY WAS NOT PERFORMED OR IF DESIGN IS NOT INCLUDED IN CIVIL PLANS, THE JOINT LAYOUT AND DESIGN SHALL CONFORM TO THE AMERICAN CONCRETE PAVEMENT ASSOCIATION (ACPA) TECHNICAL PUBLICATION 150.61.01P, TABLE Z AND FIGURE 13.
- ALL CONCRETE PAVING AND FLATWORK SHALL BE CURED IN CONFORMANCE WITH CURRENT AMERICAN CONCRETE PAVEMENT ASSOCIATION GUIDELINES.
- ALL CONCRETE WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF ACI 330. FLY ASH CAN BE USED IN MIX DESIGNS WHERE SUITABLE.
- ALL EXPOSED CORNERS FOR CONCRETE WORK SHALL BE CHAMFERED 1"

PAVEMENT MARKING NOTES:

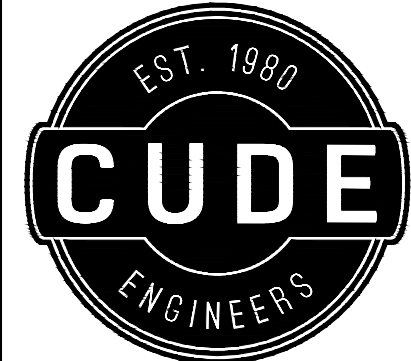
- UNLESS OTHERWISE NOTED, THE PAVEMENT MARKING PAINT TO BE USED ON THIS PROJECT WILL BE WHITE OR YELLOW ACRYLIC-LATEX PAINT. ALL PAVEMENT MARKINGS WITHIN PUBLIC ROW SHALL BE THERMOPLASTIC.
- SURFACE PREPARATION: SURFACES WILL BE CLEAN, DRY AND FREE FROM LOOSE OR PEELING SURFACES. DO NOT APPLY WHEN AIR TEMPERATURES ARE BELOW 50° F. OR WHEN THE RELATIVE HUMIDITY EXCEEDS 85%, OR WHEN THE TEMPERATURE FALLS BELOW THE DEW POINT. IT IS RECOMMENDED TO PLACE AN INCONSPICUOUS TEST STRIP TO DETERMINE IF THE NEW PAVEMENT SURFACES HAVE CURED SUFFICIENTLY TO PAINT. WAIT 24 HOURS AFTER ANY RAIN TO PAINT ASPHALT SURFACES.
- APPLICATION RATES: APPLY PAINT AT FILM THICKNESS AND SPREADING RATE AS RECOMMENDED BY THE PAINT SUPPLIER. ALL NEW STRIPING IN PARKING LOTS WILL BE PAINTED WITH TWO (2) COATS OF 15.0 MILS WET, 8.0 MILS DRY. THE FIRST COAT MUST BE COMPLETELY DRY BEFORE THE SECOND COAT IS APPLIED. WAIT A MINIMUM OF 10 DAYS BETWEEN THE ASPHALT SEAL COAT APPLICATION AND THE PERMANENT TRAFFIC STRIPING AND MARKINGS.
- CLOSE AREAS TO TRAFFIC FOR DURATION OF DRYING TIME, WHICH SHALL BE NO LESS THAN THE MINIMUM RECOMMENDED BY THE PAINT MANUFACTURER.
- MINIMUM LINE WIDTH IS 4 INCHES. PAVEMENT MARKINGS MUST COMPLY WITH LOCAL FIRE STANDARDS AND CURRENT ACCESSIBILITY CODE.

EARTHWORK NOTES:

- SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONCURRENTLY WITH THESE PLANS.
- ALL FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
- ALL EXCAVATION, BACKFILL AND COMPACTION SHALL BE PERFORMED AS SHOWN IN THE PLANS AND GEOTECHNICAL REPORT FOR THE SITE.
- OWNER WILL ENGAGE, AT THE OWNER'S COST, SOIL TESTING AND INSPECTION SERVICE IN ACCORDANCE WITH MATERIAL TESTING SPECIFICATION TO VERIFY COMPLIANCE WITH THE PLANS & SPECIFICATIONS. REPLACEMENT AND RETESTING OF DEFICIENT WORK SHALL BE DONE BY THE CONTRACTOR AT NO ADDITIONAL COMPENSATION.
- IF DATA ON SUBSURFACE CONDITIONS IS AVAILABLE TO THE CONTRACTOR, THE OWNER MAKES NO WARRANTY AS TO THE CORRECTIVENESS OF THESE REPORTS. THE CONTRACTOR MAY, AT HIS OWN EXPENSE, PERFORM ADDITIONAL TEST BORINGS.
- THE EXCAVATION IS UNCLASSIFIED, AND CONTRACTOR SHALL PERFORM EXCAVATION TO THE ELEVATIONS INDICATED IN THE PLANS, REGARDLESS OF CHARACTER OF MATERIAL, WITH NO ADDITIONAL COMPENSATION FROM THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FACILITIES FROM DAMAGE.
- EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LANDSCAPE PROTECTION.
- OVER-EXCAVATION IS UNCOMPENSATED, AND SHALL BE BACKFILLED AND COMPACTED AS DIRECTED BY THE ENGINEER OR GEOTECH REPORT AT NO ADDITIONAL COST TO THE OWNER.
- EARTHWORK SHALL BE PERFORMED TO THE TOLERANCES SHOWN IN THE PLANS AND/OR SPECIFIED IN THE GEOTECHNICAL REPORT FOR THE PROJECT.
- TRENCHES SHALL BE BACKFILLED ONLY AFTER INSPECTION AND APPROVAL OF THE ENGINEER. BACKFILL MATERIAL AND PROCEDURES FOR TRENCHES (WITHIN THE TxDOT ROW) SHALL BE IN COMPLIANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION 2014 STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES, ITEM 400 - EXCAVATION AND BACKFILL FOR STRUCTURES AND/OR THE DETAIL SPECIFICATIONS PROVIDED HEREIN. TRENCHES SHALL ALSO COMPLY WITH SAWS STANDARDS WHERE APPLICABLE.

GRADING NOTES:

- CONTRACTOR IS REQUIRED TO SET AND VERIFY ALL PROJECT ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY THE SAME MATERIALS AS WELL AS VERTICAL AND HORIZONTAL ALIGNMENT.
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSION & GRADE CONDITIONS (BOTH NEW AND EXISTING). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER AND PROJECT ARCHITECT BEFORE PROCEEDING WITH ANY PHASE OF THE WORK AS HE WILL BE RESPONSIBLE FOR ALL WORK AS INTENDED BY THE DRAWINGS AND SPECIFICATIONS. MINOR ADJUSTMENTS TO FINISHED GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING FENCES, CURBS, CONCRETE DRIVEWAYS, SIDEWALK STRUCTURES, PAVEMENT, ETC. THAT ARE NOT INDICATED TO BE REMOVED. AN INVENTORY OF EXISTING CONDITIONS SHALL BE CONDUCTED WITH CONTRACTOR AND PROJECT ARCHITECT PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AND GRADED TO DRAIN.
- ALL SLOPES 3:1 OR GREATER SHALL BE OVERLAID WITH TRM 450 AND ANCHORED PER MANUFACTURERS RECOMMENDATIONS.
- NOTIFY OWNER, HOMEOWNER'S ASSOCIATION, AND UTILITY PURVEYOR (IF APPLICABLE) A MINIMUM OF 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
- MATCH GRADE AT PROPERTY LINE UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE, ALL GRADES ARE TO INVERT OF GUTTER. ADD 0.5' TO GUTTER GRADE FOR TOP OF CURB GRADE EXCEPT WHERE CURB IS FLUSH WITH PAVEMENT, OR OTHERWISE SPECIFIED IN PLANS.
- ACHIEVE GRADE CHANGES WITH SMOOTH TRANSITIONS. REFER TO DETAIL SHEETS.
- REFER TO CIVIL AND/OR LANDSCAPE PLANS FOR RETAINING WALL LOCATIONS AND ELEVATIONS. REFER TO STRUCTURAL RETAINING WALL PLANS FOR CONSTRUCTION DETAILS.
- CONTRACTOR SHALL ENGAGE A TEXAS LICENSED STRUCTURAL ENGINEER TO PROVIDE A SIGNED AND SEALED SET OF STRUCTURAL PLANS, DETAIL AND SPECIFICATION FOR THE STRUCTURAL COMPONENTS OF THE LIMESTONE BLOCK RETAINING WALL. CONTRACTOR SHALL ALSO PROVIDE STRUCTURAL ENGINEER'S INSPECTION DURING LIMESTONE BLOCK RETAINING WALL CONSTRUCTION AND STRUCTURAL ENGINEER'S CONSTRUCTION CERTIFICATION UPON COMPLETION OF WALL.
- FINAL PAVING SURFACES TO BE FLOOD TESTED OR OBSERVED DURING RAINFALL - ANY PONDING AREAS TO BE CORRECTED/ELIMINATED.
- REFER TO PAVEMENT SITE PLAN SHEET FOR ADDITIONAL INFORMATION.
- SURFACE DRAINAGE AND UTILITY FEATURES SHOWN FOR REFERENCE ONLY.
- REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.



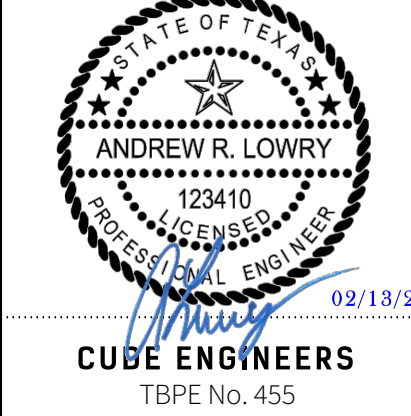
4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F: (210) 523.7112

KNEUPPER BUSINESS PARK

GENERAL NOTES

DATE
02/13/2025
PROJECT NO.
03639.003
DRAWN BY
CG/XV
CHECKED BY
XV/AL

REVISIONS
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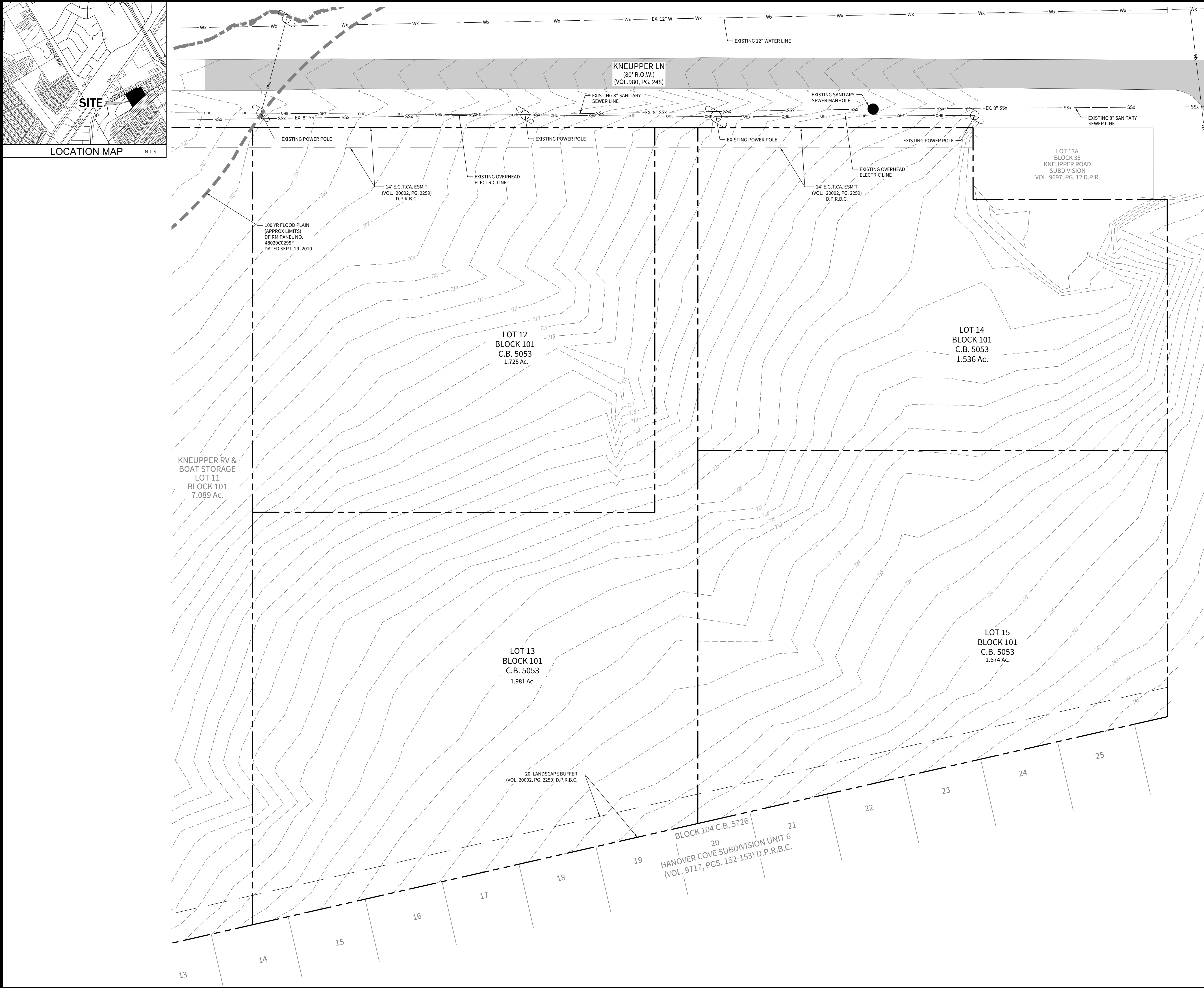


PLAT NO.  
100A

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**LEGEND**

- PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EASEMENT
- EXISTING 8" SANITARY SEWER MAIN
- EXISTING WATER MAIN
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING PAVEMENT

CUDEENGINEERS.COM

EST. 1980  
**CUDE**  
ENGINEERS

4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F:(210) 523.7112

**KNEUPPER BUSINESS PARK**

EXISTING CONDITIONS PLAN

DATE  
02/13/2025

PROJECT NO.  
03639.003

DRAWN BY  
CG/XV

CHECKED BY  
XV/AL

**REVISIONS**

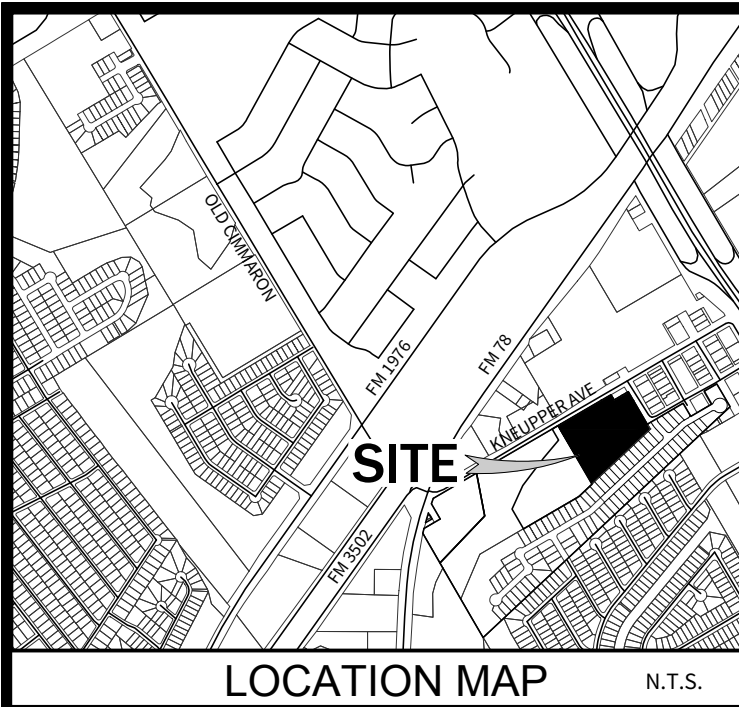
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STATE OF TEXAS  
ANDREW R. LOWRY  
123410  
PROFESSIONAL ENGINEER  
CUDE ENGINEERS  
TBPE No. 455

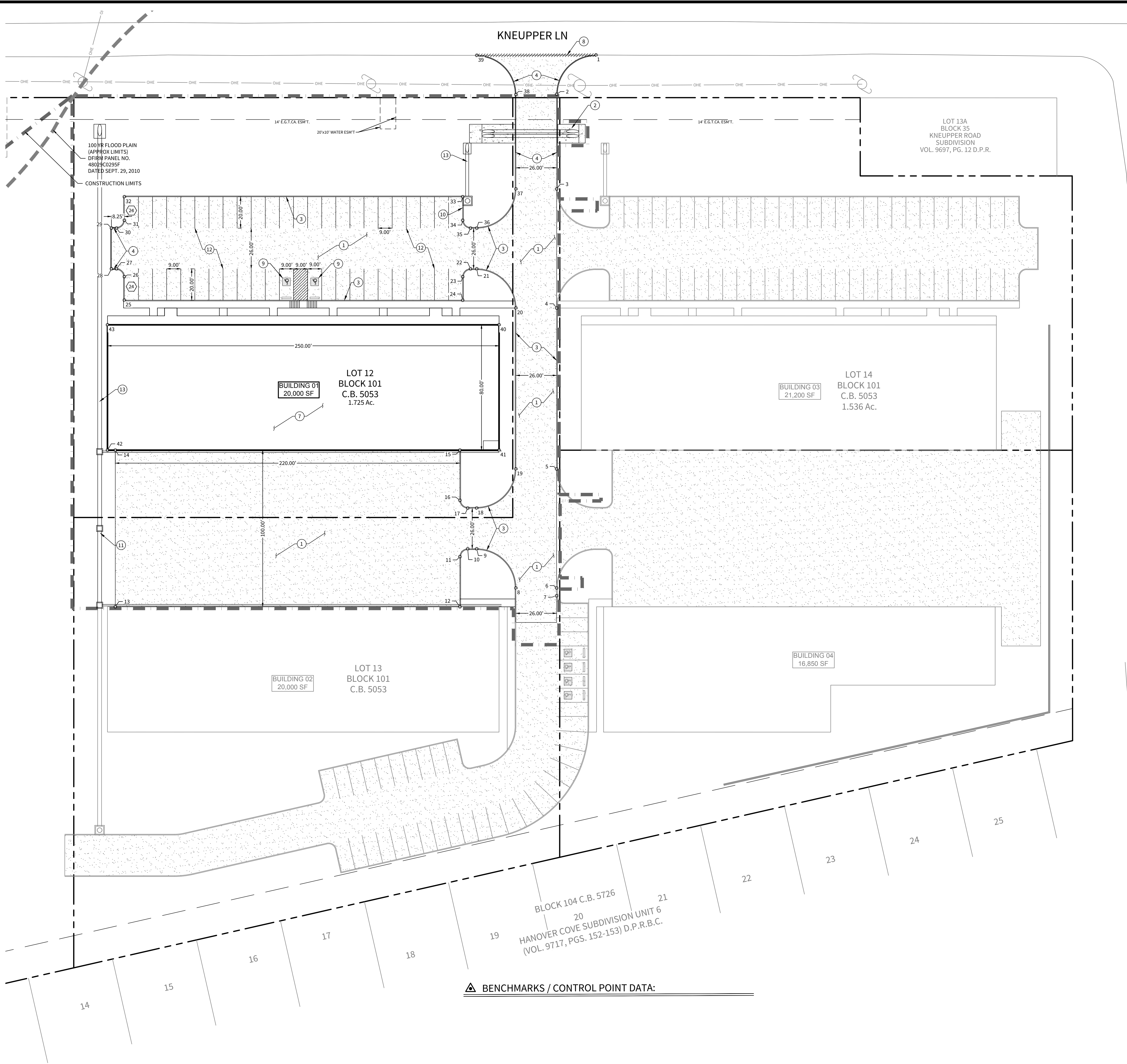
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**C2**





COORDINATE POINTS		
POINT #	NORTHING	EASTING
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2	13742393.5431	2190512.3690
3	13742341.2628	2190542.8708
4	13742275.6183	2190581.1697
5	13742186.8686	2190632.9487
6	13742121.2242	2190671.2476
7	13742116.9055	2190673.7673
8	13742108.1219	2190648.7903
9	13742117.1172	2190614.5984
10	13742114.2197	2190609.6320
11	13742107.3813	2190607.8330
12	13742079.7415	2190623.9588
13	13741968.8765	2190433.9353
14	13742055.2508	2190383.5421
15	13742166.1158	2190573.5656
16	13742138.4761	2190589.6914
17	13742136.6770	2190596.5298
18	13742139.5745	2190601.4961
19	13742173.7664	2190610.4914
20	13742262.5160	2190558.7123
21	13742271.5113	2190524.5205
22	13742269.4956	2190521.0655
23	13742262.6572	2190519.2664
24	13742249.7010	2190526.8254
25	13742140.8517	2190340.2569
26	13742153.8078	2190332.6979
27	13742155.6069	2190325.8595
28	13742153.9691	2190323.0524
29	13742176.4264	2190309.9501
30	13742178.0642	2190312.7573
31	13742184.9026	2190314.5564
32	13742197.8587	2190306.9974
33	13742206.7081	2190493.5659
34	13742293.7519	2190501.1249
35	13742291.9529	2190507.9632
36	13742293.9686	2190511.4182
37	13742328.1605	2190520.4135
38	13742380.2581	2190490.0183
39	13742389.2610	2190455.8394
40	13742247.8136	2190554.8446
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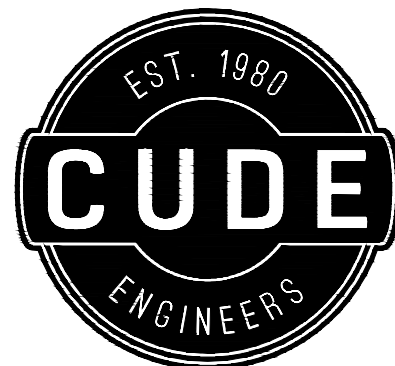
#### LEGEND

- LOT BOUNDARY
- PROPOSED CONCRETE PVM/T
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN
- PH1 CONSTRUCTION LIMITS

#### KEYNOTES

- NEW CONCRETE PAVEMENT. SEE DETAIL 5 ON SHEET C8
- PROPOSED ± 62 L.F. OF 2'-24" R.C.P. WITH SAFETY END TREATMENT. SEE DETAIL 6 ON SHEET C9
- PROPOSED STANDARD CURB. SEE DETAIL 1 ON SHEET C8
- PROPOSED HEADER CURB. SEE DETAIL 3 ON SHEET C8
- PROPOSED RETAINING WALL.
- PROPOSED 26" ACCESS GATE
- PROPOSED BUILDING WITH CONCRETE SLAB.
- CONTRACTOR TO SAW CUT +/- 76 L.F. OF EXISTING PAVEMENT
- PROPOSED HANDICAP PARKING STALL
- PROPOSED 10" CURB INLET
- PROPOSED 5' x 5' GRATE INLET
- PROPOSED 4" SOLID WHITE STRIPING
- PROPOSED STORM DRAIN PIPE

△ BENCHMARKS / CONTROL POINT DATA:



4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F:(210) 523.7112

## KNEUPPER BUSINESS PARK

### SITE AND DIMENSIONAL CONTROL PLAN

#### DATE

02/13/2025

#### PROJECT NO.

03639.003

#### DRAWN BY

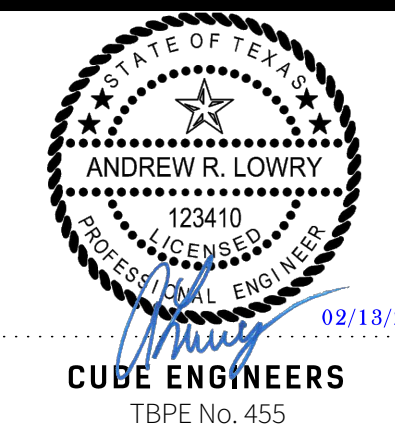
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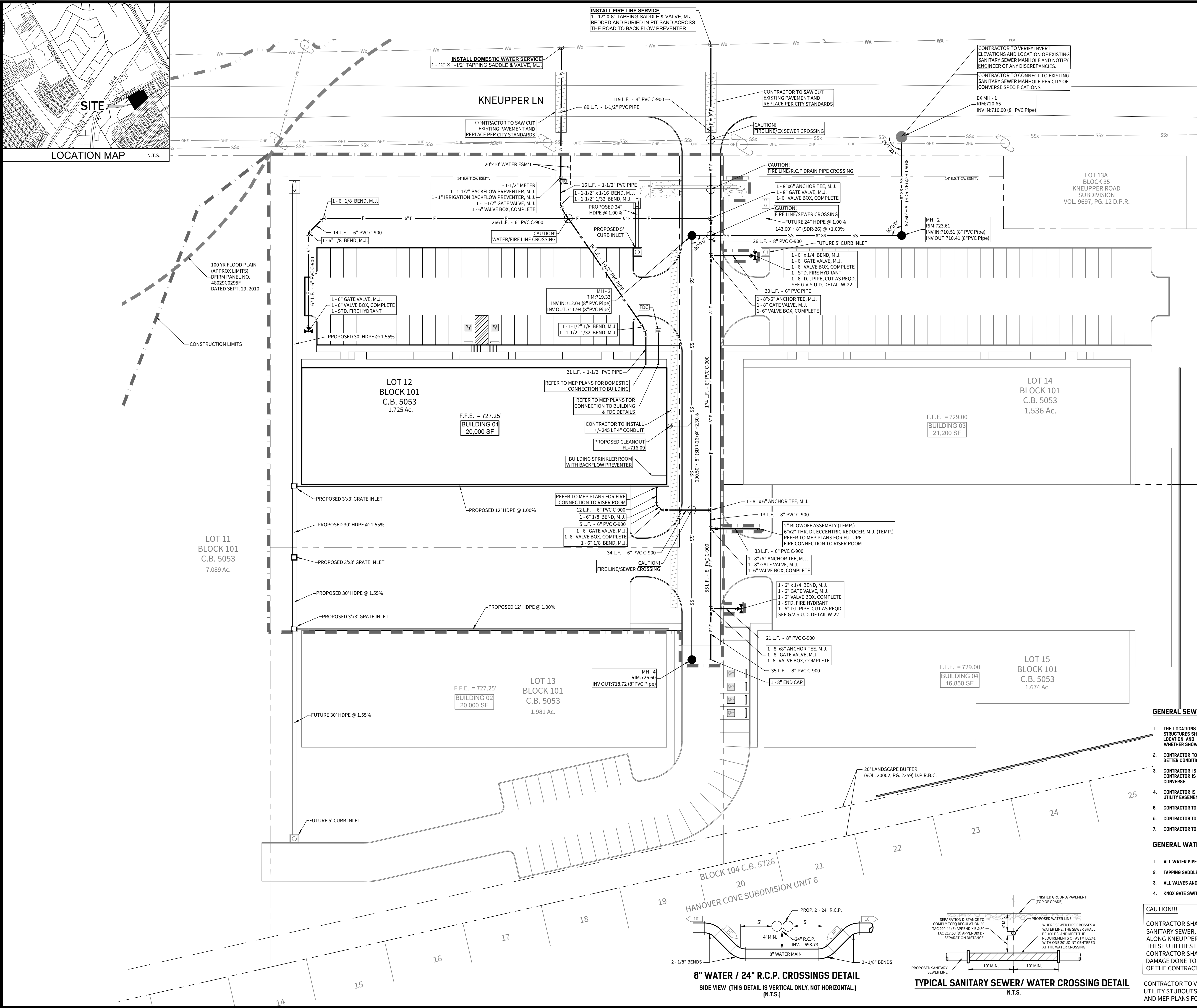
#### PLAT NO.

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**LEGEND**

EXISTING SANITARY SEWER LINE	SSx
EXISTING WATER LINE	Wx
PROPOSED SANITARY SEWER	SS
PROPOSED DOMESTIC WATER LINE	W
PROPOSED FIRE SERVICE LINE	FF
PHI CONSTRUCTION LIMITS	---

- GENERAL SEWER NOTES:**
- THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES, INCLUDING SERVICE LATERALS AND DRAINAGE STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTHS OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, AND TO PROTECT THE SAME DURING CONSTRUCTION.
  - CONTRACTOR TO REMOVE AND RELOCATE EXISTING SIGNS AND FENCES AS NECESSARY TO EXISTING OR BETTER CONDITION.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE TRAFFIC FLOW AND TRAFFIC MOVEMENTS. CONTRACTOR IS RESPONSIBLE FOR PRODUCING A TRAFFIC CONTROL PLAN AS REQUIRED BY THE CITY OF CONVERSE.
  - CONTRACTOR IS RESPONSIBLE FOR REVEGETATING ALL DISTURBED AREAS WITH IN THE RIGHT OF WAY OR UTILITY EASEMENTS.
  - CONTRACTOR TO DRILL EXISTING MANHOLE AND CREATE NEW FLOW LINE IN THE BENCH.
  - CONTRACTOR TO COAT THE INSIDE OF MANHOLE AND CONCRETE BOOT THE SEWER CONNECTION.
  - CONTRACTOR TO RAISE MANHOLE TO GRADE AND POUR CONCRETE AROUND RING AND COVER
- GENERAL WATER NOTES:**
- ALL WATER PIPE TO BE JM EAGLE C900.
  - TAPPING SADDLE WILL BE A TYLER UNION C153 OR SMITH BLAIR MODEL 623.
  - ALL VALVES AND HYDRANTS WILL BE OPEN LEFT AND MULLER.
  - KNOX GATE SWITCH AND SIREN OPERATE SYSTEM (SOS) REQUIRED ON AUTOMATIC GATES.

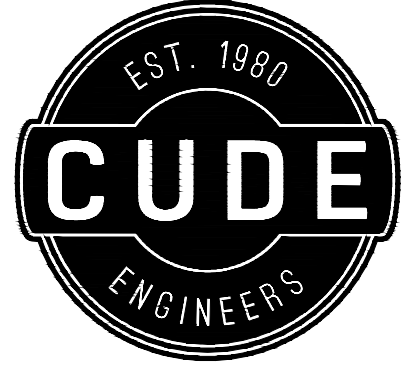
**CAUTION!!!!**

CONTRACTOR SHALL BE AWARE THAT A 12" WATER MAIN, 18" SANITARY SEWER, 8" SANITARY SEWER, AND OVERHEAD/UNDERGROUND ELECTRIC UTILITIES EXIST ALONG KNEUPPER LANE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THESE UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THIS AREA. ANY DAMAGE DONE TO THESE EXISTING FACILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR.

CONTRACTOR TO VERIFY FINAL LOCATION OF ALL (PROPOSED AND EXISTING) UTILITY STUBOUTS PRIOR TO BEGINNING CONSTRUCTION. SEE ARCHITECTURAL AND MEP PLANS FOR FINAL LOCATION AND ELEVATION OF PROPOSED UTILITIES.

**8" WATER / 24" R.C.P. CROSSINGS DETAIL**  
SIDE VIEW (THIS DETAIL IS VERTICAL ONLY, NOT HORIZONTAL)  
(N.T.S.)

**TYPICAL SANITARY SEWER/ WATER CROSSING DETAIL**  
N.T.S.



4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F:(210) 523.7112

KNEUPPER BUSINESS PARK

UTILITY PLAN

**DATE**  
02/13/2025

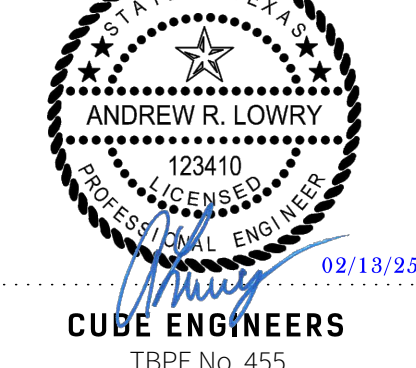
**PROJECT NO.**  
03639.003

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**REVISIONS**

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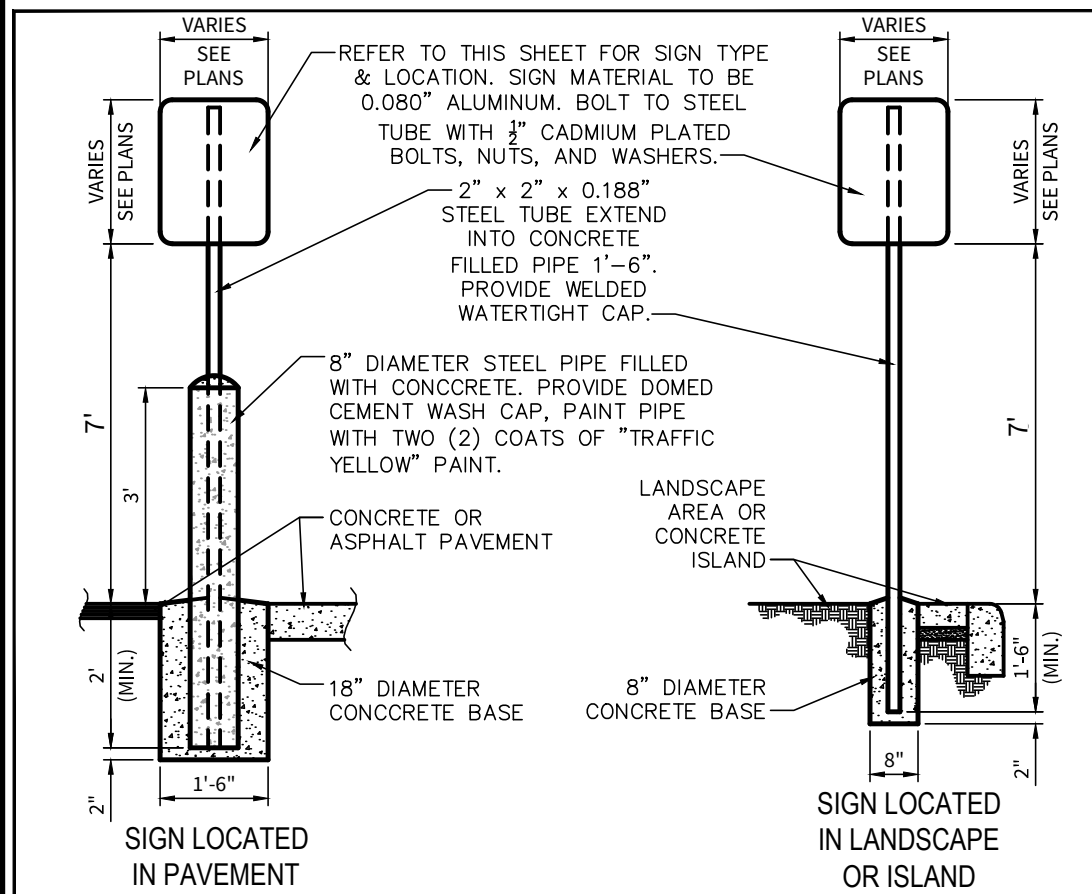


**PLAT NO.**  
100A

**C4**

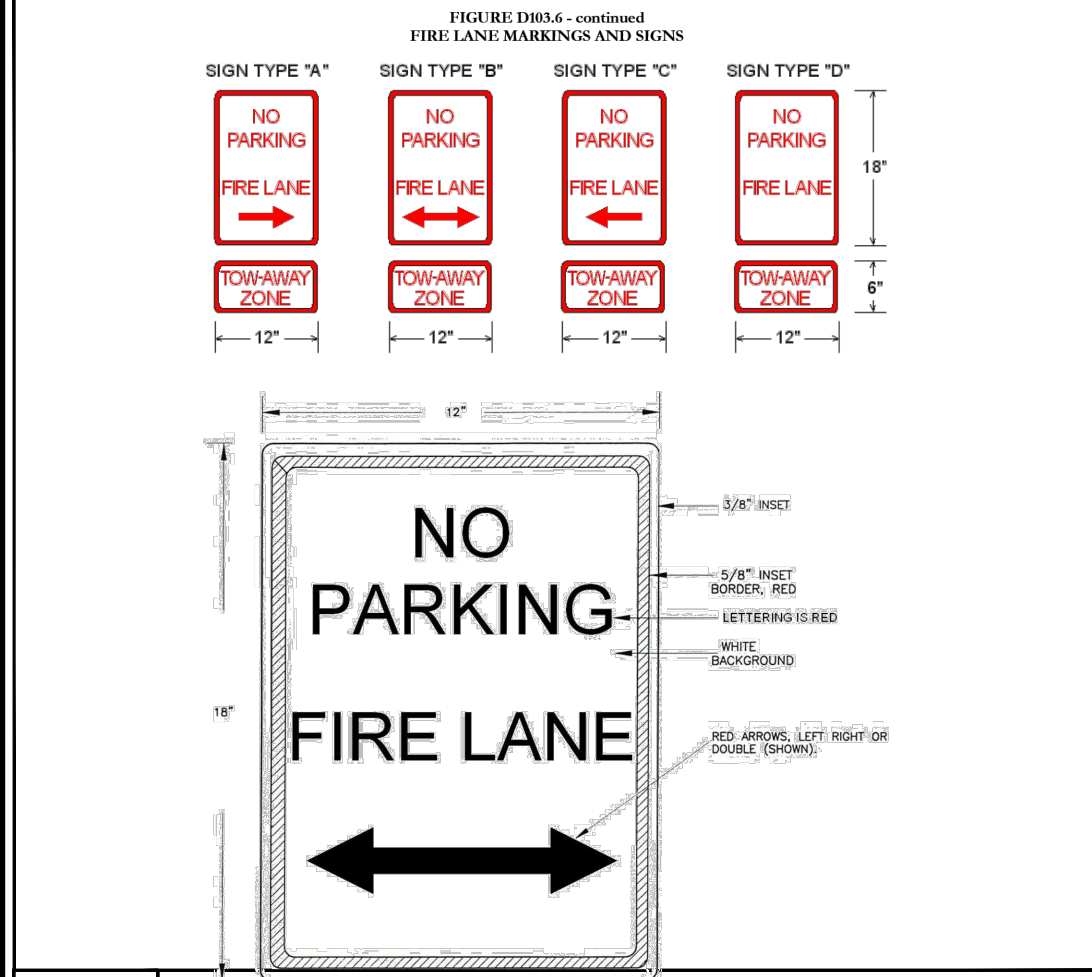


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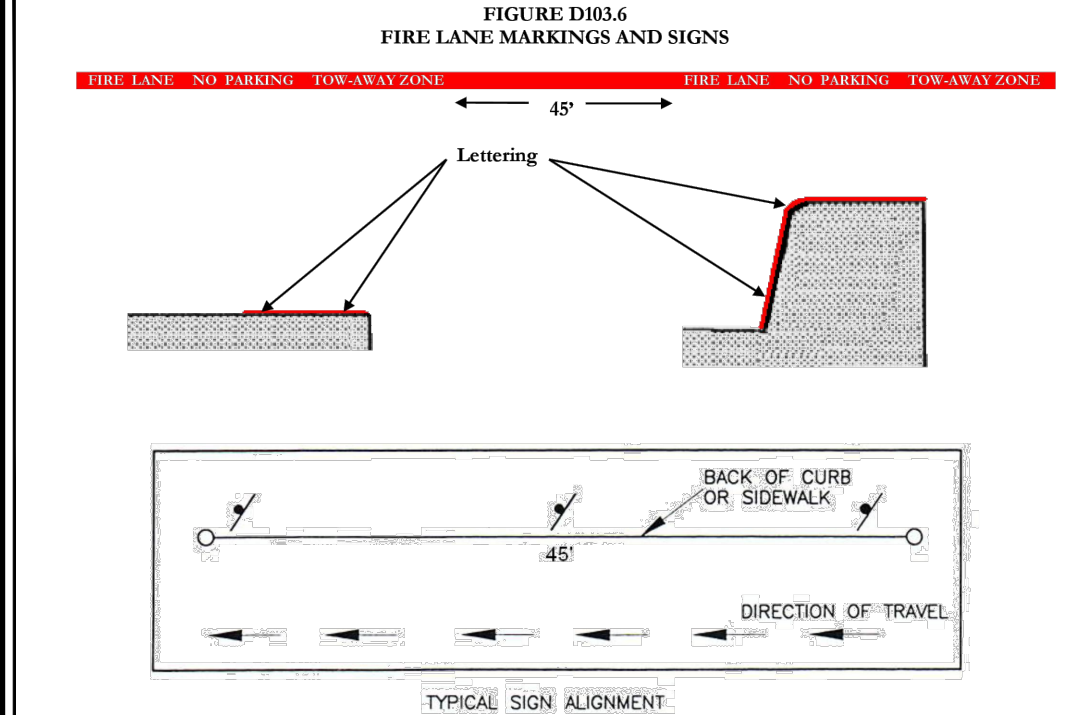
## 1 TRAFFIC SIGN DETAIL

SCALE: NONE



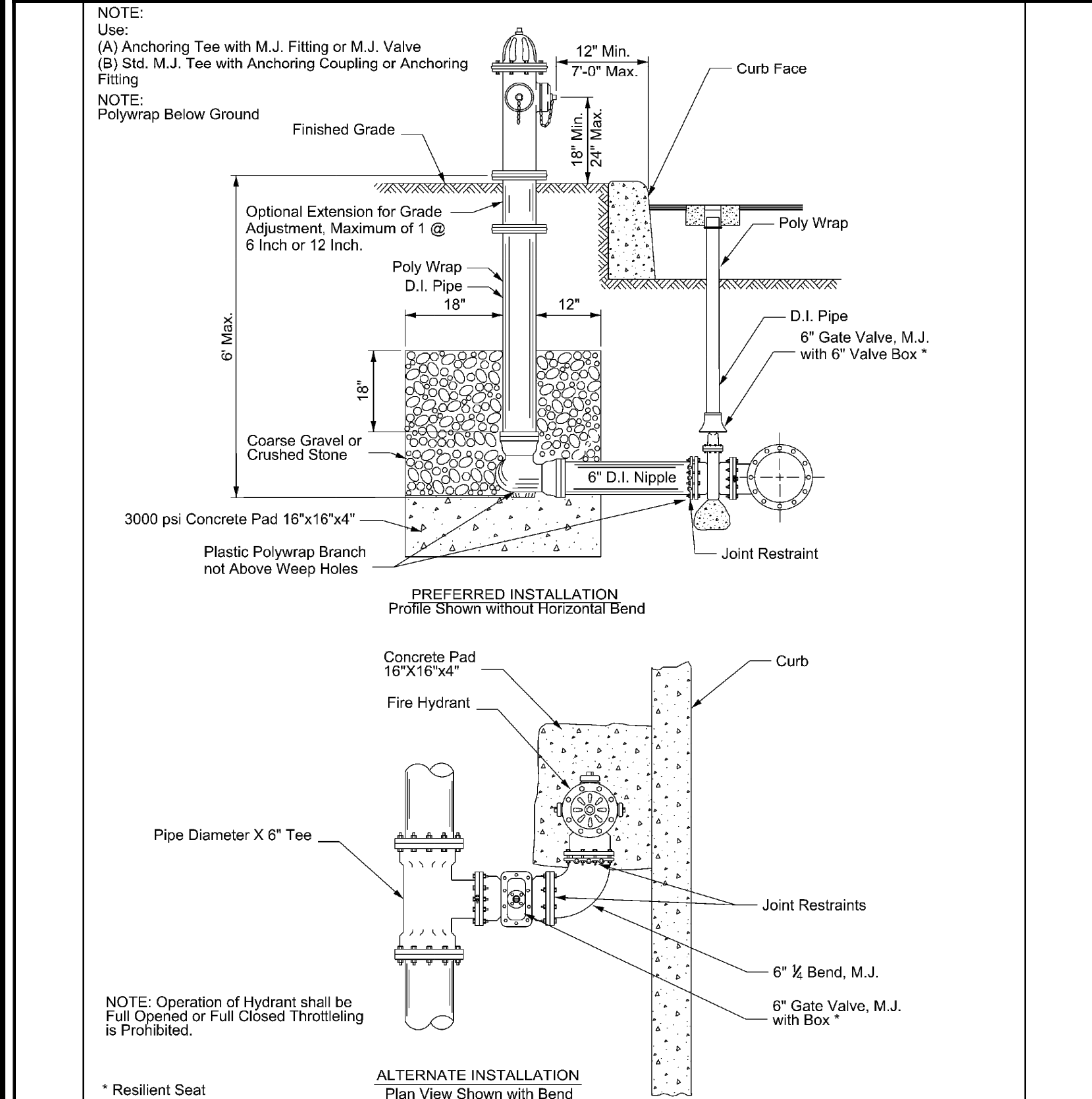
## 2 FIRE LANE SIGNS

SCALE: NONE



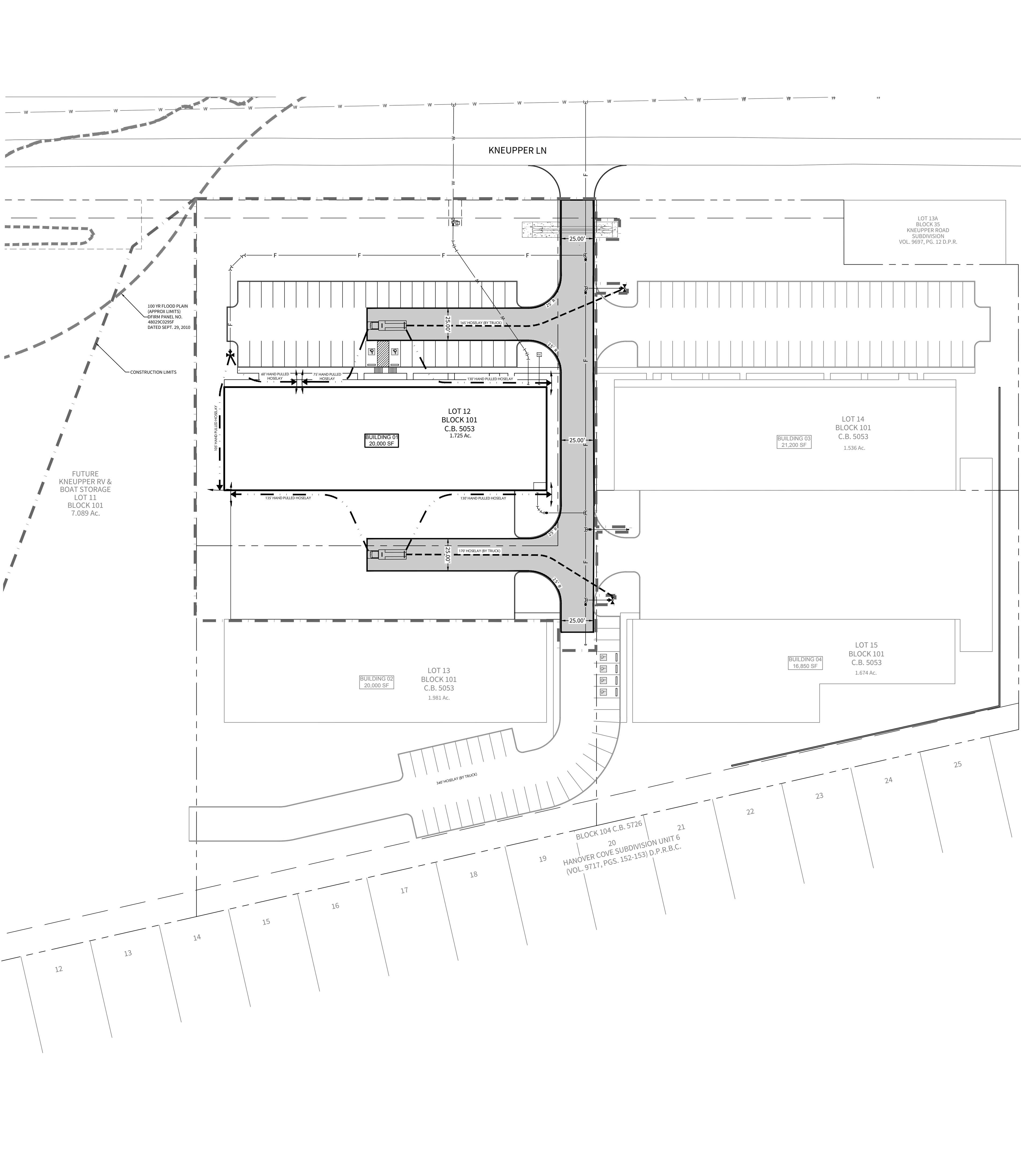
## 3 FIRE LANE STRIPING

SCALE: NONE

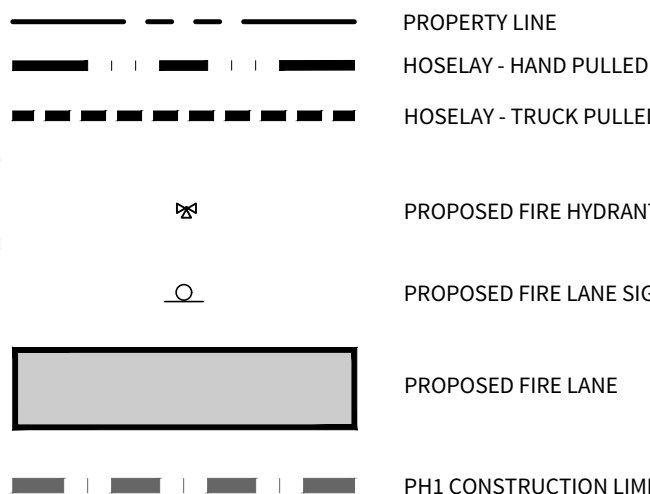


## 4 FIRE HYDRANT DETAIL

SCALE: NONE



### LEGEND

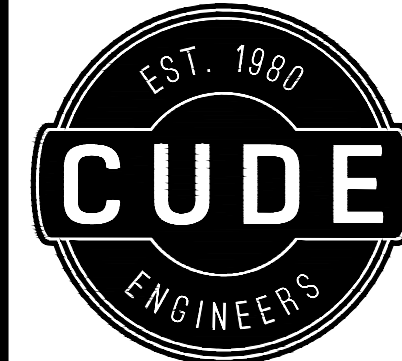


### NOTES:

- GENERAL SITE PLAN AND UTILITY PLAN NOTES:  
DURING CONSTRUCTION BUILDING ADDRESS SHALL BE POSTED. ADDRESS NUMERALS SHALL BE A COLOR CONTRASTING TO THE BACKGROUND. ADDRESS SHALL BE LOCATED SO THEY ARE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL MANUAL AND ELECTRONIC GATES ON REQUIRED FIRE DEPARTMENT ACCESS ROADS OR GATES OBSTRUCTING FIRE DEPARTMENT BUILDING ACCESS SHALL BE PROVIDED WITH THE KNOX RAPID ENTRY SYSTEM FOR EMERGENCY ACCESS BY FIREFIGHTING PERSONNEL. BUILDING ACCESS AND/OR GATE ACCESS IS REQUIRED. PROVIDE DETAILS AND LOCATION OF ALL KNOX BOX(S) AND/OR KNOX PAD LOCK(S).
- THE CONTRACTOR SHALL DESIGNATE A PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR THE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT. THE FIRE PREVENTION PROGRAM SUPERINTENDENT SHALL HAVE THE AUTHORITY TO ENFORCE THE PROVISIONS OF THE FIRE CODE AND OTHER PROVISIONS AS NECESSARY TO SECURE THE INTENT OF THE FIRE CODE. WHERE GUARD SERVICE IS PROVIDED, THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE GUARD SERVICE.
- DURING THE ENTIRE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING AND MAINTAINING UNOBSTRUCTED EMERGENCY VEHICLE ACCESS TO THE PROJECT SITE, BUILDINGS, AND BUILDINGS UNDER CONSTRUCTION 24 HOURS A DAY.
- GRADE TRANSITIONS SHALL NOT EXCEED THE CITY OF CONVERSE FIRE DEPARTMENT AND MUTUAL AID DEPARTMENTS APPARATUS MAXIMUM APPROACH AND DEPARTURE ANGLES MAXIMUM 8 PERCENT (FOR AERIAL APPARATUS 8 PERCENT) OR AS DETERMINED BY THE FIRE CHIEF.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THE LOCATION PER THE CONVERSE FIRE DEPARTMENT. ON PRIVATE PROPERTY, MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER. ALL NEW PUBLIC HYDRANT BARRELS ARE TO BE RED IN COLOR AND BE OF A REFLECTIVE-TYPE PAINT AND ALL NEW PRIVATE HYDRANTS THE HYDRANT BARRELS SHOULD BE PAINTED CHROME YELLOW, TO DISTINGUISH THEM FROM PUBLIC HYDRANTS AND BE OF A REFLECTIVE-TYPE PAINT.
- FREESTANDING FIRE DEPARTMENT CONNECTION PIPING AND FIRE LINE SHALL NOT TO BE SMALLER THAN SYSTEM RISER PIPING. UNDERGROUND FIRE LINE PIPING IS TO TERMINATE ONE FOOT ABOVE FINISH FLOOR.
- AUTOMATIC BALL DRIP VALVE IS TO BE LOCATED IN LOWEST POINT OF FIRE DEPARTMENT CONNECTION PIPING, FIRE DEPARTMENT CONNECTION PIPING IS TO SLOPE BACK TO FREESTANDING FIRE DEPARTMENT CONNECTION.
- FIRE DEPARTMENT CONNECTION PIPING IS TO RUN FROM THE FIRE DEPARTMENT CONNECTION TO THE RISER ROOM AND CONNECT DIRECTLY TO THE FIRE SPRINKLER SYSTEM RISER ABOVE THE ALARM CHECK VALVE.
- FREESTANDING FIRE DEPARTMENT CONNECTION TO INCLUDE LOCKING FDC CAPS.
- BOLLARDS PROTECTING HYDRANTS AND FIRE DEPARTMENT CONNECTIONS ARE TO INCLUDE A 6 INCH BLUE REFLECTIVE STRIPE ON TOP OF THE BOLLARDS.
- ALL-WEATHER ACCESS ROADS AND HYDRANT LOCATIONS SHALL BE APPROVED BY THE FIRE MARSHAL AND SHALL BE IN PLACE AND OPERATIONAL BEFORE ANY COMBUSTIBLE MATERIALS ARE PLACED ON SITE. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS AT ALL TIMES.
- NO LANDSCAPING OR OTHER OBSTRUCTIONS ARE TO BE WITHIN A THREE FOOT RADIUS OF A HYDRANT OR FIRE DEPARTMENT CONNECTION.

EMERGENCY ACCESS LANE AS SHOWN HEREON, A HARD ALL-WEATHER SURFACE SHALL BE MAINTAINED IN A STATE OF GOOD REPAIR AT ALL TIMES AND KEEP THE SAME FREE AND CLEAR OF ANY STRUCTURES, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO THE PARKING OF MOTOR VEHICLES, TRAILERS, BOATS, OR OTHER IMPEDIMENTS TO THE ACCESS OF FIRE APPARATUS. THE MAINTENANCE OF THE FIRE ACCESS LANE IS THE RESPONSIBILITY OF THE OWNER, AND THE OWNER SHALL POST SIGNS WHERE REQUIRED AND MAINTAIN APPROPRIATE SIGNS IN CONSPICUOUS PLACES ALONG SUCH FIRE LANES, STATING "FIRE LANE, NO PARKING, TOW-AWAY ZONE". THE FIRE MARSHAL, POLICE, OR DULY AUTHORIZED REPRESENTATIVE IS HEREBY AUTHORIZED TO CAUSE SUCH FIRE LANES TO BE MAINTAINED FREE AND UNOBSTRUCTED AT ALL TIMES FOR FIRE DEPARTMENT AND EMERGENCY USE.

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4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F:(210) 523.7112

## KNEUPPER BUSINESS PARK

### FIRE PROTECTION PLAN

DATE

02/13/2025

PROJECT NO.

03639.003

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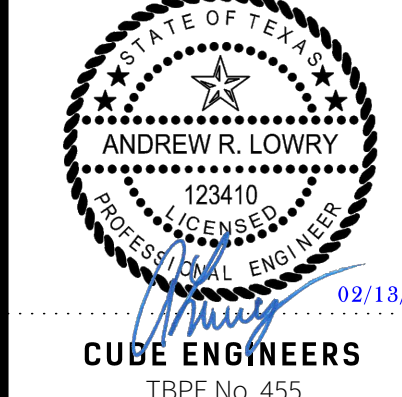
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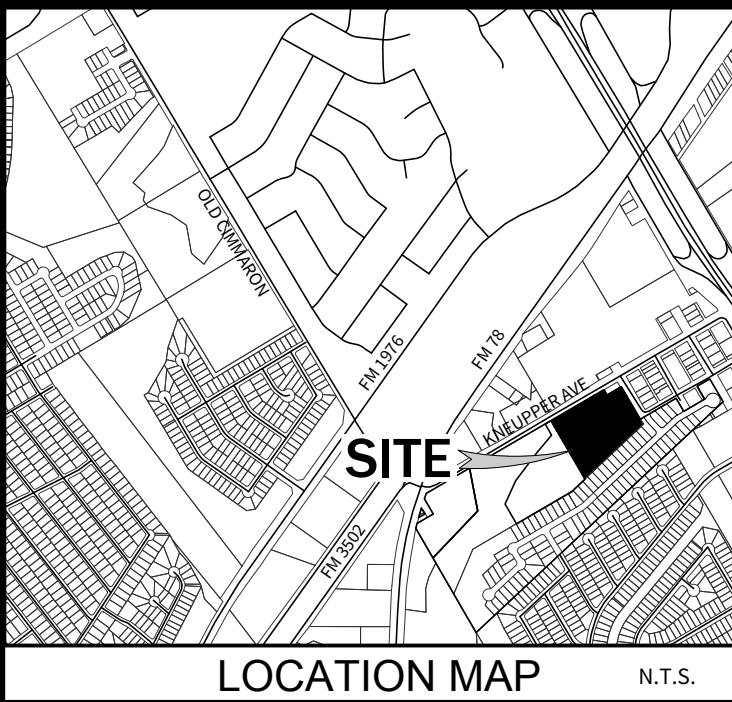


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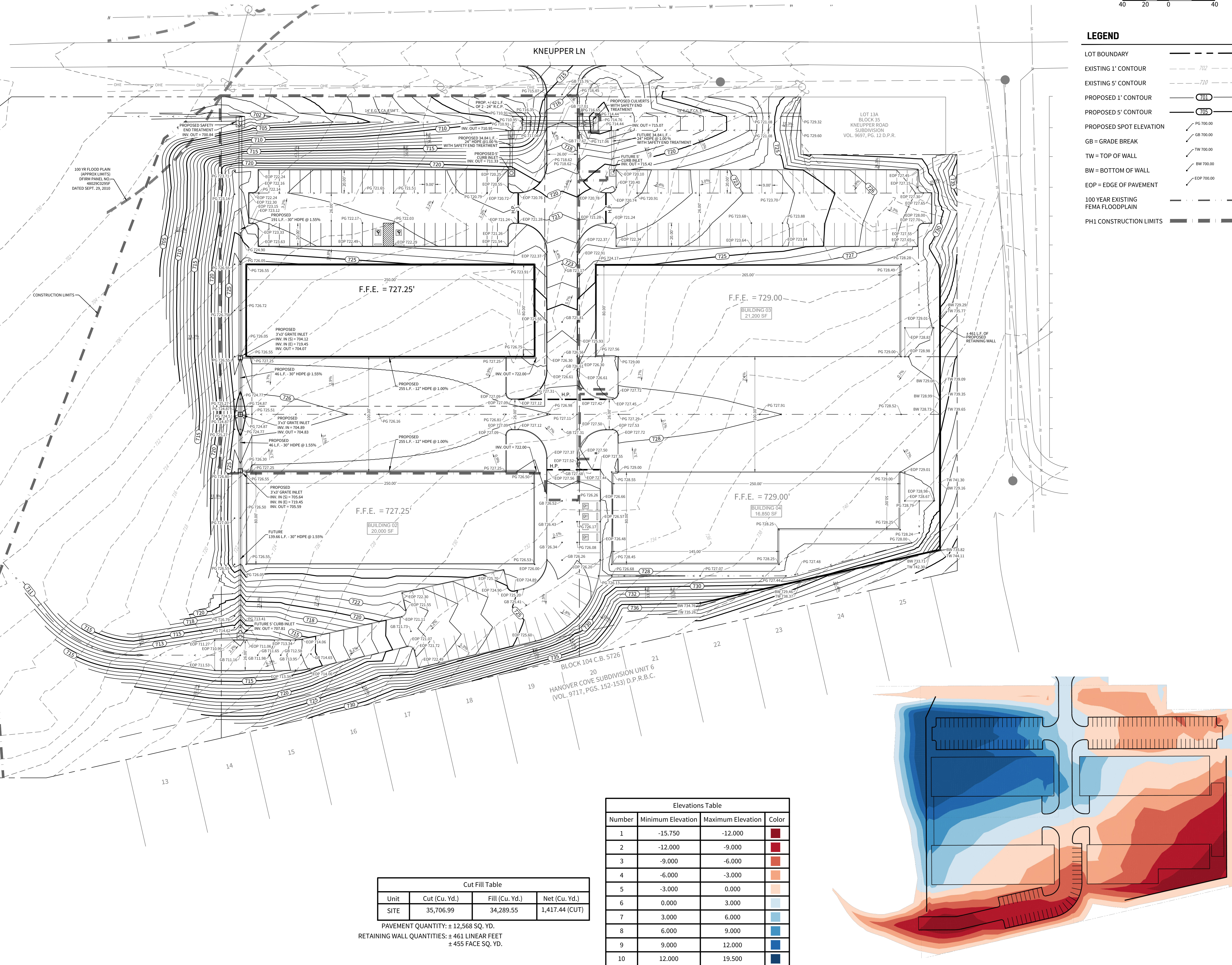
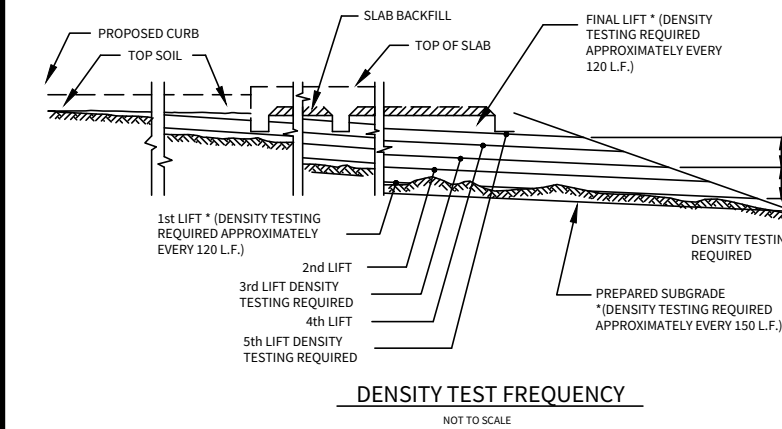




NOTE:  
CONTRACTOR TO STABILIZE  
SLOPES GREATER THAN 3:1 (33.3%)

#### GENERAL SPECIFICATIONS FOR SITE PREPARATION

- GENERAL DESCRIPTION**  
THE TEST SHALL CONSIST OF ALL CLEARING AND GRUBBING, DEMOLITION, PREPARATION OF LAND TO BE FILLED, FILLING OF THE LAND, SPREADING, COMPACTION TESTING AND INSPECTION OF THE FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING OF THE CUT AND FILL AREAS TO CONFORM WITH THE LINES, GRADES AND SLOPES AS SHOWN ON THE APPROVED PLANS. ALL LOT GRADING MUST MEET REQUIREMENTS OF FHWA HND HANDBOOK 4140.3, SPECIFICATIONS FOR LAND DEVELOPMENTS ON CONTROLLED EARTHWORK, DATASHEET 79b, HUD 79b REQUIREMENTS FOR FILL MATERIAL OF 6 INCHES AND MORE WILL BE CONDUCTED. ALL CUT AREAS WILL ALSO MEET THE REQUIREMENTS FOR HUD 79b COMPACTION TESTING. IN ADDITION, ENGINEERS MUST PROVIDE VERIFICATION OF ALL AREAS WHICH DO NOT REQUIRE HUD 79b.
- CLEARING THE AREA TO BE FILLED**  
ALL TIMBER, LOGS, TREES, BRUSH AND RUBBISH SHALL BE REMOVED FROM THE SITE.
- SCARIFYING THE AREA TO BE FILLED**  
ALL ORGANIC MATTER SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED, AND THE SURFACE SHALL THEN BE DISKED OR SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES (6"). ALL SURFACE RUTS OR OTHER UNEVEN FEATURES WILL BE LEVELED PRIOR TO FIELD DENSITY TESTING. WHERE FILLS ARE MADE ON HILLSIDES OR SLOPES, THE SLOPE OF THE ORIGINAL GROUND UPON WHICH THE FILL IS TO BE PLACED SHALL BE DISKED OR SCARIFIED. WHERE THE SLOPE RATIO OF THE ORIGINAL GROUND IS STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, THE BANK SHALL BE STEPPED OR BENCHED. GROUND SLOPES WHICH ARE FLATTER THAN 5 TO 1 SHALL BE BENCHED WHEN CONSIDERED NECESSARY BY THE GEOTECHNICAL ENGINEER.
- COMPACTING THE AREA TO BE FILLED**  
FOLLOWING THE CLEARING AND DISKING OR SCARIFYING OF THE FILL AREA, IT SHALL BE BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS. THE AREA SHALL BE BROUGHT TO THE ADEQUATE MOISTURE CONTENT AND COMPACTED (TYPICALLY TO NOT LESS THAN NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CURRENT ASTM D 1557 COMPACTION PROCEDURE, OR 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH THE CURRENT T90-113-E COMPACTION PROCEDURE.
- FILL MATERIALS**  
THE MATERIALS USED SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES, SUCH AS TREES, BRUSH AND RUBBISH.
- DEPTH AND MIXING OF FILL LAYERS**  
THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS WHICH, WHEN COMPACTED, SHALL HAVE A DENSITY CONFORMING TO THAT STIPULATED ABOVE. EACH LAYER SHALL BE THOROUGHLY MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. COMPACTED LAYER THICKNESS MAY VARY DEPENDING ON THE COMPACTION EQUIPMENT OF DEMONSTRATED CAPABILITY. THE MAXIMUM LOOSE DEPTH FOR ANY MATERIAL SHALL NOT EXCEED TWELVE INCHES (12"). FOR TESTING REQUIREMENTS OF FILL MATERIAL, SEE DENSITY TESTING.
- ROCK**  
WHEN FILL MATERIAL INCLUDES ROCK, THE MAXIMUM ROCK SIZE SHALL BE AS APPROVED BY THE GEOTECHNICAL ENGINEER. NO LARGE ROCKS SHALL BE ALLOWED TO NEST AND ALL VOIDS MUST BE FILLED WITH SMALL STONES OR SOIL AND ABSOLUTELY COMPACTED. NO LARGE ROCKS WILL BE PERMITTED WITHIN EIGHTEEN INCHES (18") OF THE FINISHED GRADE.
- COMPACTATION OF FILL LAYER**  
COMPACTATION EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE FILL TO THE SPECIFIED DENSITY. COMPACTING SHALL BE ACCOMPLISHED WHILE THE FILL MATERIAL IS AT OR NEAR THE APPROPRIATE MOISTURE CONTENT. COMPACTATION OF EACH LAYER SHALL BE CONTINUOUS OVER THE ENTIRE STRUCTURAL AREA (BENEATH PROPOSED STRUCTURES).
- COMPACTATION OF SLOPES**  
THE FACES OF FILL SLOPES SHALL BE COMPACTED. COMPACTING OPERATIONS SHALL BE CONTINUED UNTIL THE SLOPE FACES ARE STABLE BUT NOT TOO DENSE FOR PLANTING ON THE SLOPES. COMPACTATION OF THE SLOPE FACES MAY BE DONE PROGRESSIVELY IN INCREMENTS OF THREE TO FIVE FEET (3' TO 5') IN FILL HEIGHT AS THIS FILL PROGRESSES OR AFTER THE FILL HAS BEEN BROUGHT TO ITS TOTAL HEIGHT.
- MOISTURE CONTENT**  
THE FILL MATERIAL SHALL BE COMPACTED AT THE APPROPRIATE MOISTURE CONTENT SPECIFIED FOR THE SOILS BEING USED. APPROPRIATE MOISTURE CONTENT IS DEFINED, TYPICALLY, AS OPTIMUM MOISTURE CONTENT; HOWEVER, FOR EXPANSIVE SOILS IT MAY BE GREATER THAN OPTIMUM MOISTURE CONTENT, AND OTHER MOISTURE CONTENTS MAY BE NECESSARY TO PRODUCE THE DESIRED RESULTS WITH CERTAIN SOILS.
- DENSITY TESTS**  
FIELD DENSITY TESTS SHALL BE PERFORMED ON LAYERS OF FILL WHEN THE FILL IS BEING PLACED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE MAXIMUM FILL HEIGHT BETWEEN DENSITY TESTING SHALL BE EIGHTEEN INCHES (18"). ALL TESTING SHALL BE REQUESTED BY THE CONTRACTOR TO MEET THE CONTRACTOR'S CONSTRUCTION SCHEDULE. NOTIFICATION BY THE CONTRACTOR TO CONDUCT TESTS SHALL BE AT LEAST THE DAY BEFORE. THIS NOTIFICATION SHALL INCLUDE THE FILL AREA LOCATION (LOT AND BLOCK), THE LIFT OR HEIGHT OF FILL AND APPROXIMATE DESIRED TIME OF TESTING. WHEN THESE TESTS INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY, THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED AND RETESTED AT THE EXPENSE OF THE CONTRACTOR UNLESS THE CONTRACTOR CAN SHOW EVIDENCE THAT CIRCUMSTANCES BEYOND HIS CONTROL REQUIRED THE RETESTING. GENERALLY, THE SPECIFIC TESTING WILL BE AS FOLLOWS AND CONDUCTED BY GEOTECHNICAL ENGINEER.



Cut Fill Table			
Unit	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
SITE	35,706.99	34,289.55	1,417.44 (CUT)

PAVEMENT QUANTITIES: ± 12,568 SQ. YD.  
RETAINING WALL QUANTITIES: ± 461 LINEAR FEET  
± 455 FACE SQ. YD.

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	-15.750	-12.000	Dark Red
2	-12.000	-9.000	Red
3	-9.000	-6.000	Light Red
4	-6.000	-3.000	Orange
5	-3.000	0.000	Light Orange
6	0.000	3.000	Light Yellow
7	3.000	6.000	Yellow
8	6.000	9.000	Light Green
9	9.000	12.000	Green
10	12.000	19.500	Dark Green

#### LEGEND

- LOT BOUNDARY
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED SPOT ELEVATION
- GB = GRADE BREAK
- TW = TOP OF WALL
- BW = BOTTOM OF WALL
- EOP = EDGE OF PAVEMENT
- 100 YEAR EXISTING FEMA FLOODPLAIN
- PH1 CONSTRUCTION LIMITS

## KNEUPPER BUSINESS PARK

### GRADING AND DRAINAGE PLAN

DATE  
02/13/2025

PROJECT NO.  
03639.003

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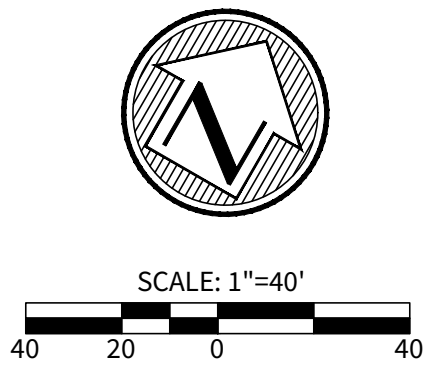
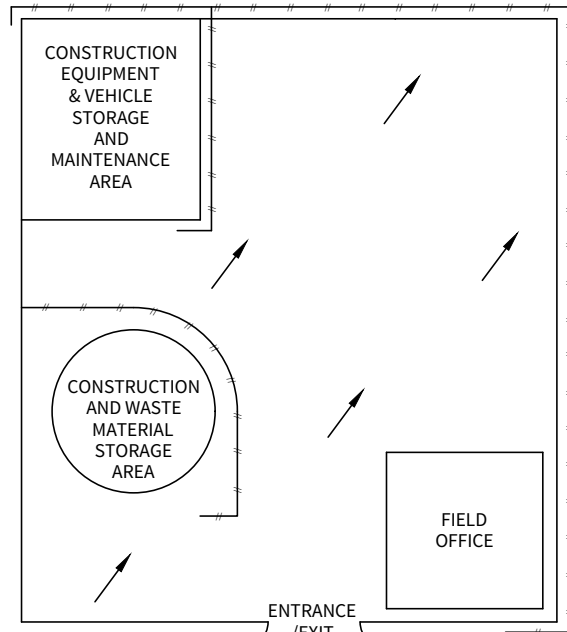
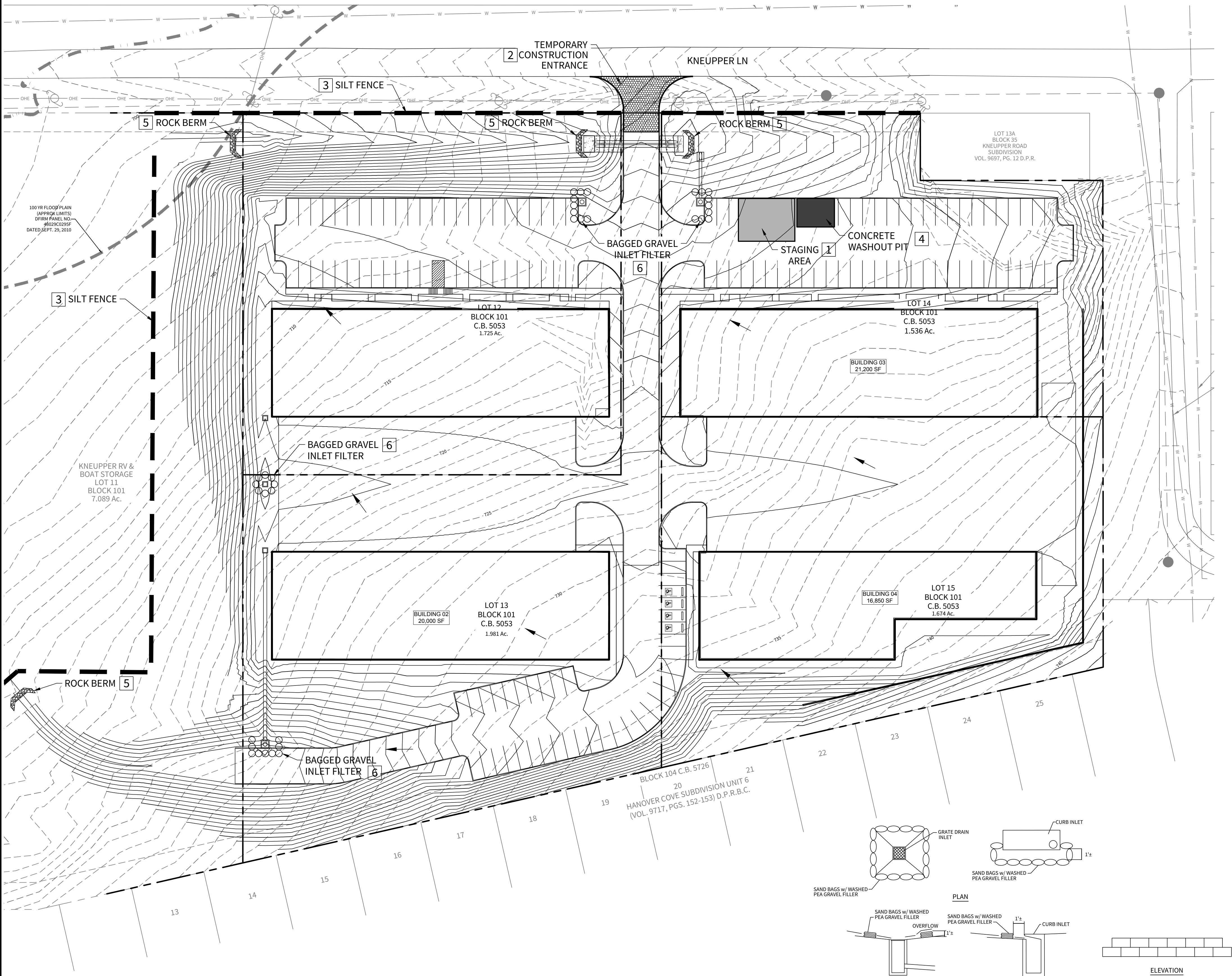
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ANDREW R. LOWRY  
123410  
PROFESSIONAL ENGINEER  
02/13/25  
CUDE ENGINEERS  
TBPE No. 455

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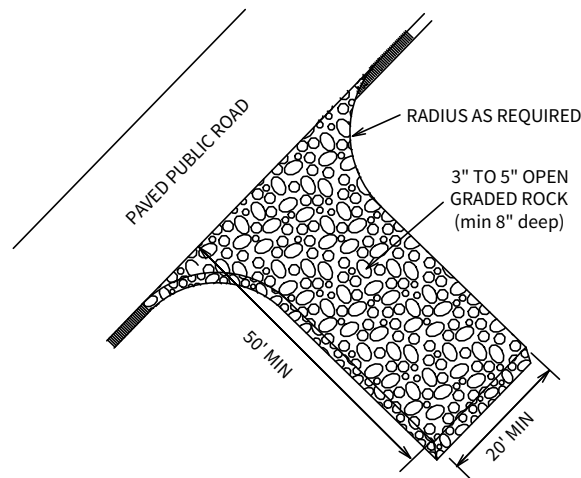
#### LEGEND

PROPERTY LINE	---
PROPOSED CONTOUR	1000
EXISTING CONTOURS	930
BMP ITEM NUMBER	1
TEMPORARY CONSTRUCTION ENTRANCE/EXIT	
ROCK BERM	
SILT FENCE	
FLOW ARROW	
STAGING AREA	
CONCRETE WASHOUT PIT	
PHASE BOUNDARY	
BAGGED GRAVEL INLET FILTER	

#### NOTES

- ALL SILT FENCES AND/OR ROCK BERMS AND TEMPORARY CONSTRUCTION ENTRANCES/EXITS SHALL BE PLACED AT THE MOST DOWN-GRADIENT POINT OF CONSTRUCTION AS SHOWN ON THIS SITE PLAN.
- CONTRACTOR SHALL TAKE INTO CONSIDERATION ANY PROPOSED CONSTRUCTION THAT MAY TAKE PLACE AT THESE LOCATIONS. ANY RELOCATION OF THE SILT FENCE, ROCK BERMS AND/OR TEMPORARY CONSTRUCTION ENTRANCES/EXITS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- AREA OF SOIL DISTURBANCES INCLUDE STREET RIGHT-OF-WAYS, EASEMENTS AND LOTS.
- THERE WILL BE NO STORMWATER DISCHARGES INTO THE FEMA FLOOD PLAIN.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN EROSION CONTROLS THROUGHOUT THE DURATION OF THE PROJECT.
- THE COUNTY INSPECTOR HAS THE AUTHORITY TO HAVE THE CONTRACTOR MODIFY THE EROSION CONTROLS AT THE DEVELOPER'S EXPENSE. THE DEVELOPER SHALL BE NOTIFIED OF THESE MODIFICATIONS PRIOR TO COMMENCEMENT OF MODIFICATIONS.

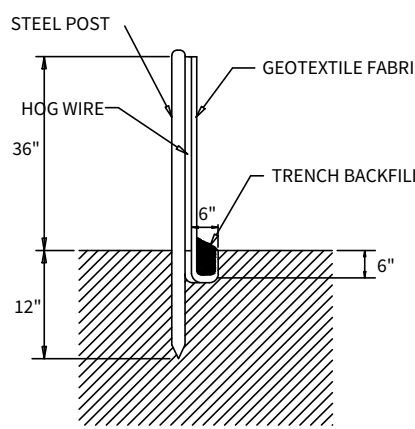
#### 1 TYP. CONSTRUCTION STAGING AREA N.T.S.



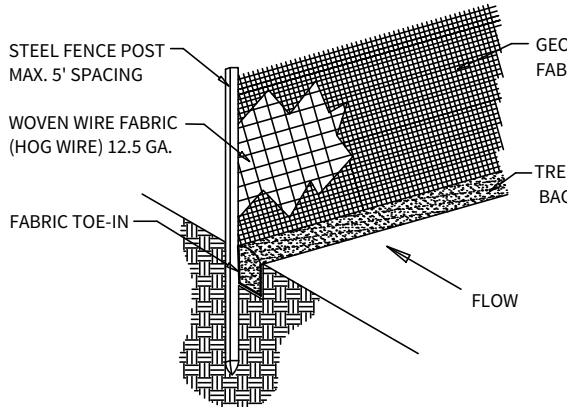
#### STABILIZED CONSTRUCTION EXIT NOTES:

- WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ON PUBLIC ROADWAY.
- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS MUST BE REMOVED IMMEDIATELY.

#### 2 TEMPORARY CONSTRUCTION ENTRANCE/EXIT N.T.S.

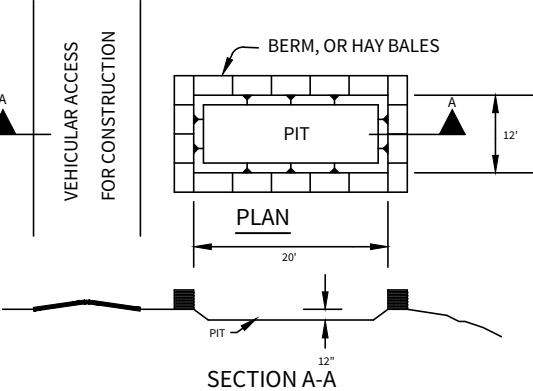


#### SECTION DETAIL



#### SILT FENCE DETAIL

#### 3 STANDARD SILT FENCE N.T.S.

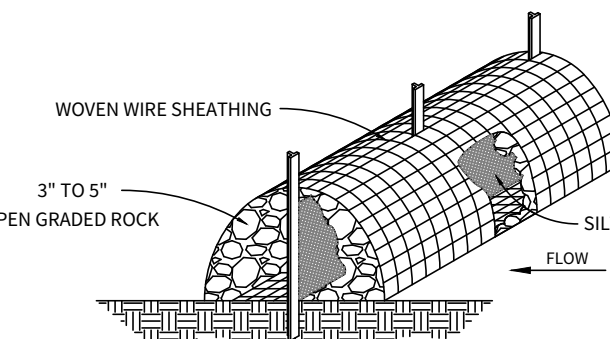


#### SECTION A-A

#### GENERAL NOTES:

- DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY USE.
- IF HAY BALES ARE USED, THEY SHALL BE PLACED IN ACCORDANCE WITH DETAILS SHOWN ON EXHIBIT FOR HAY BALES.
- WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
- WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.
- WASHOUT PIT SHALL BE LINED WITH A 10-MIL THICK POLYETHYLENE SHEETING FREE OF HOLES, TEARS AND OTHER DEFECTS.

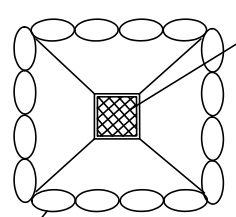
#### 4 CONCRETE TRUCK WASHOUT PIT N.T.S.



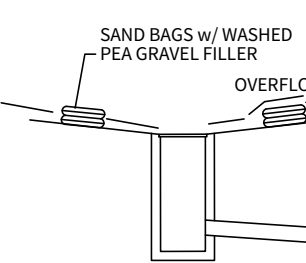
#### ISOMETRIC PLAN VIEW

#### SECTION DETAIL

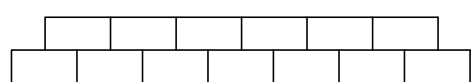
#### 5 HIGH PERFORMANCE ROCK BERM N.T.S.



#### PLAN



#### SECTION



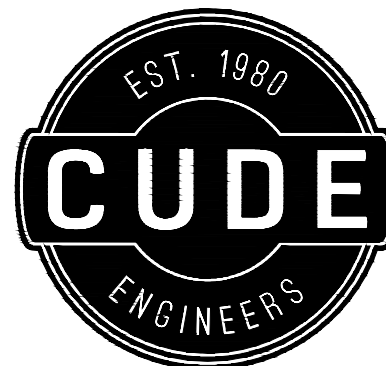
#### ELEVATION

#### BAGGED GRAVEL INLET FILTER NOTES

- THE GRAVEL BAG MATERIAL MUST BE POLYPROPYLENE, POLYETHYLENE, POLYAMIDE OR COTTON BURLAP WOVEN FABRIC. MINIMUM UNIT WEIGHT 4.0Z/YD<sup>2</sup>, MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70 PERCENT.
- THE BAG LENGTH MUST BE 24 INCHES, WIDTH MUST BE 18 INCHES AND THICKNESS MUST BE 6 INCHES.
- THE GRAVEL BAGS MUST BE FILLED WITH 2" GRAVEL.
- WHEN A GRAVEL BAG IS FILLED WITH GRAVEL, THE OPEN END OF THE GRAVEL BAG MUST BE STAPLED OR TIED WITH NYLON OR POLY CORD.
- THE GRAVEL BAGS MUST BE PLACED AS SHOWN ON THE DETAIL. THE GRAVEL BAGS MUST BE STACKED TO FORM A CONTINUOUS BARRIER AROUND THE INLETS. THE BAGS MUST BE TIGHTLY ABUTTED AGAINST EACH OTHER TO PREVENT RUNOFF FROM FLOWING BETWEEN THE BAGS.
- INSPECTION MUST BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT MUST BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
- CHECK PLACEMENT OF DEVICE TO PREVENT GAPS BETWEEN DEVICE AND CURB.
- REMOVE SEDIMENT WHEN BUILDUP REACHES A DEPTH OF 3 INCHES. REMOVED SEDIMENT MUST BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- STRUCTURES MUST BE REMOVED AND THE AREA STABILIZED ONLY AFTER THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

#### 6 BAGGED GRAVEL INLET FILTER N.T.S.

REPRODUCTION OF THE ORIGINAL SIGNED AND SEALED PLAN AND/OR ELECTRONIC MEDIA MAY HAVE BEEN INADVERTENTLY ALTERED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE SCALE OF THE DOCUMENT AND CONTACTING CUDE ENGINEERS TO VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION.



4122 Pond Hill Road, Suite 101  
San Antonio, Texas 78231  
P:(210) 681.2951 F:(210) 523.7112

## KNEUPPER BUSINESS PARK

### STORM WATER POLLUTION PREVENTION PLAN

DATE  
02/13/2025

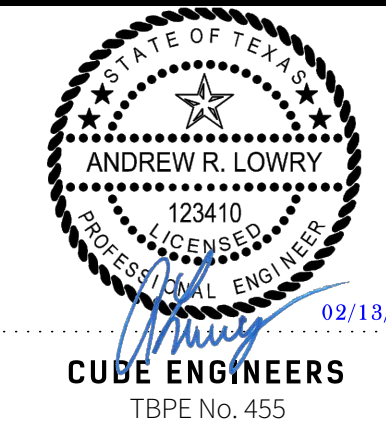
PROJECT NO.  
03639.003

DRAWN BY  
CG/XV

CHECKED BY  
XV/AL

#### REVISIONS

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CUDE ENGINEERS  
TBPE No. 455

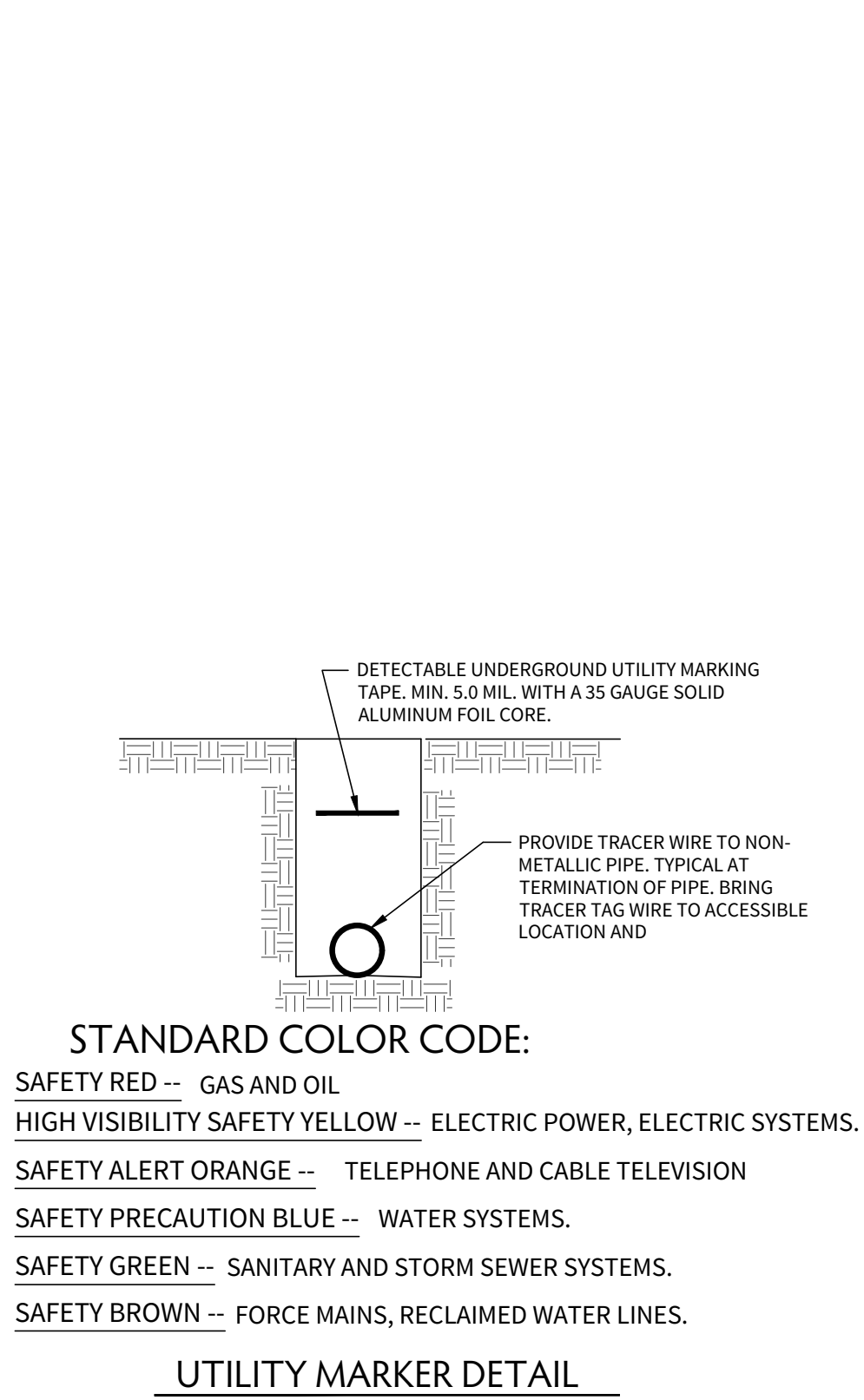
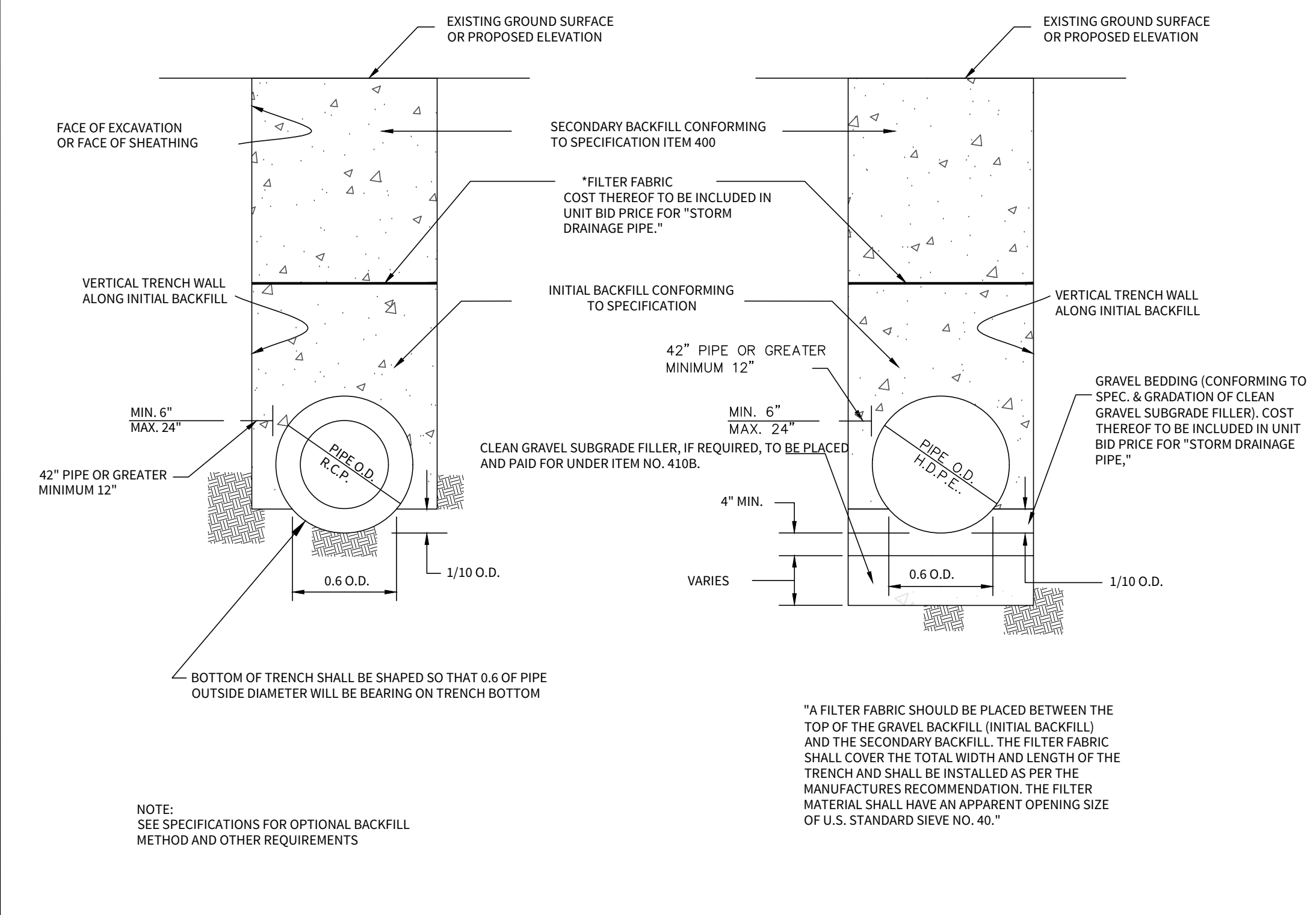
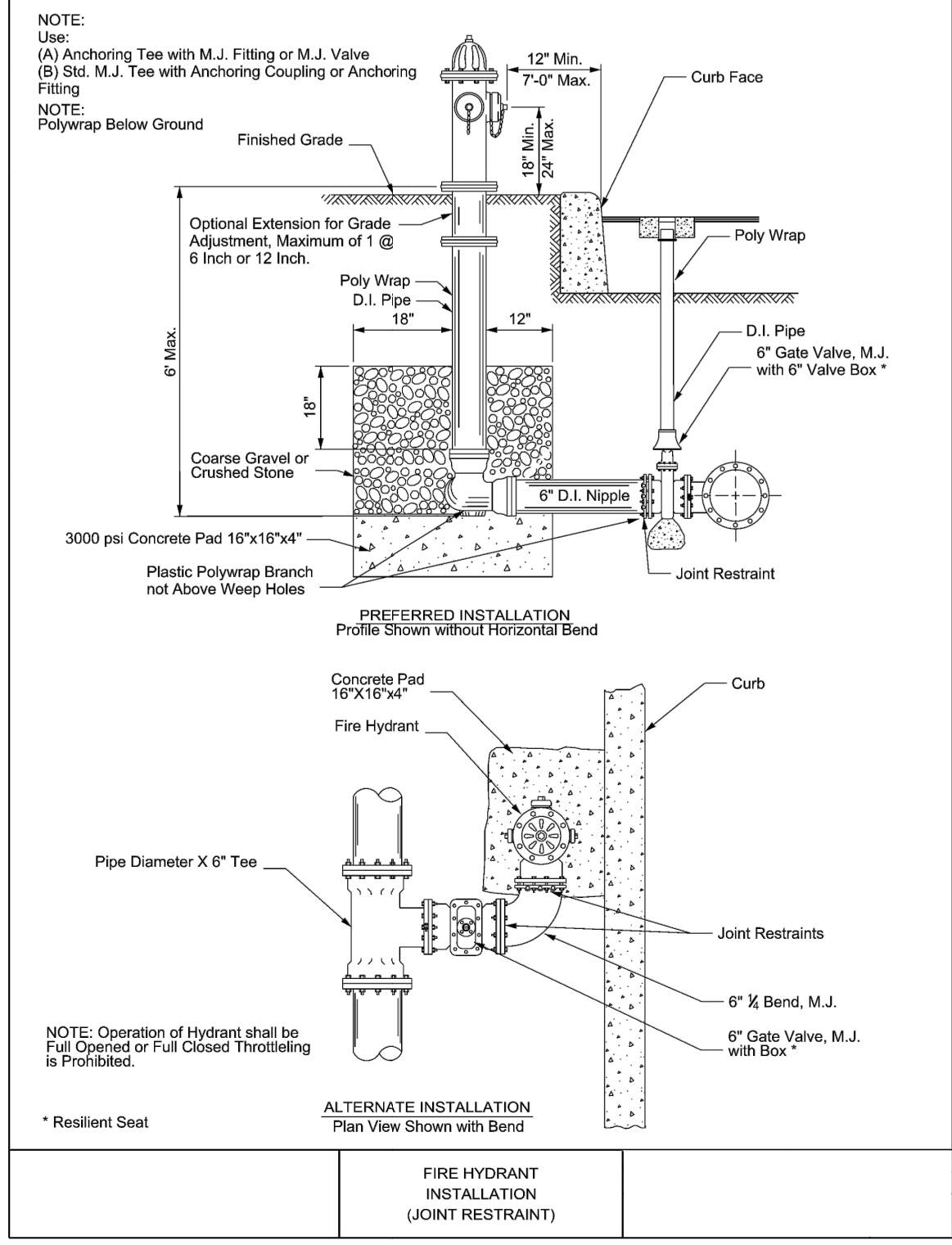
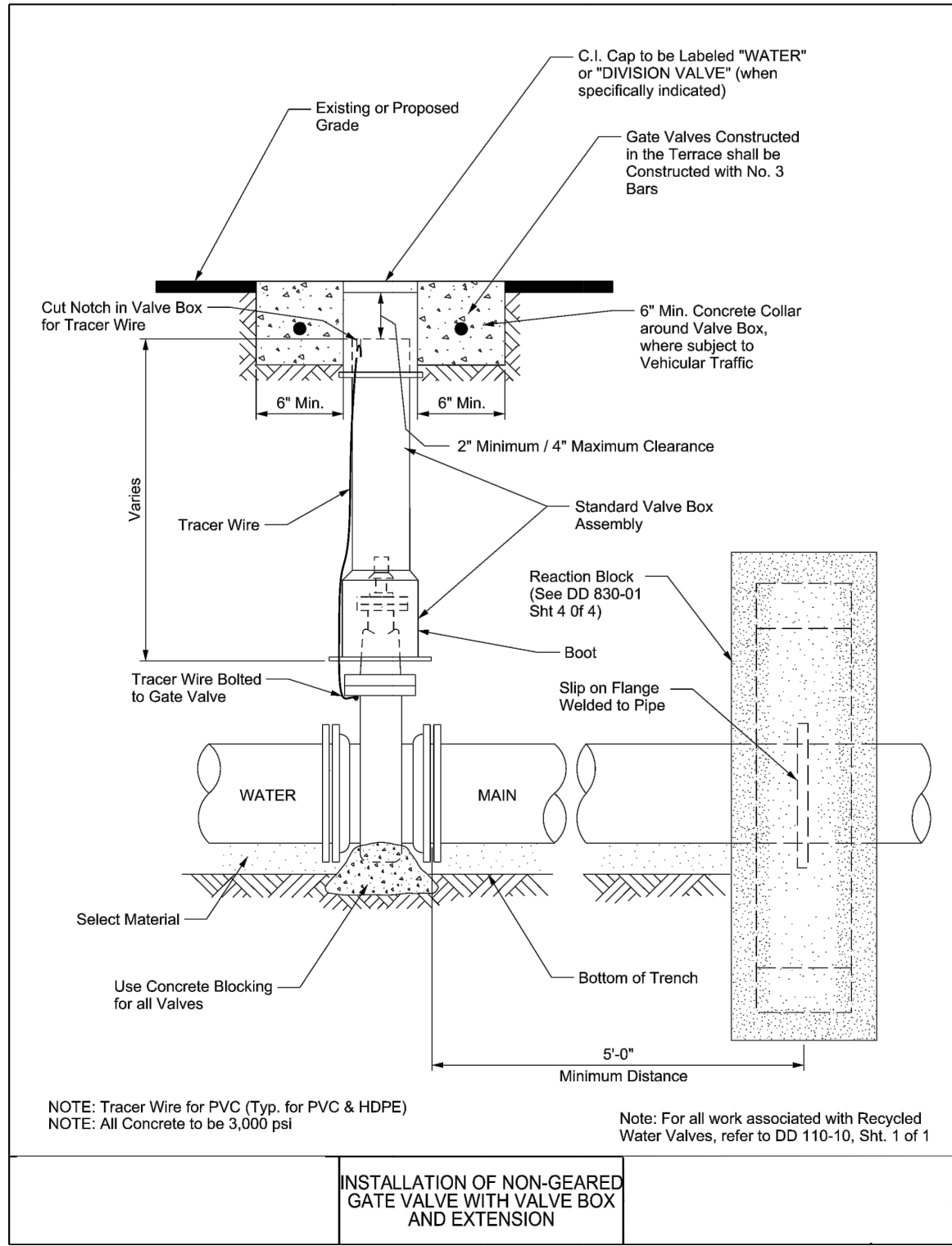
PLAT NO.  
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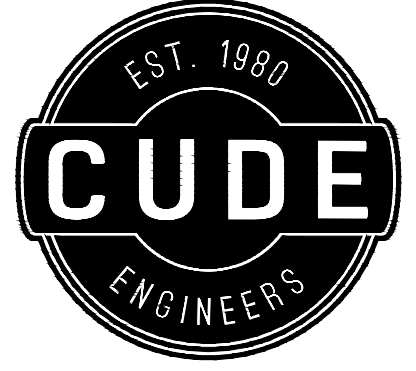
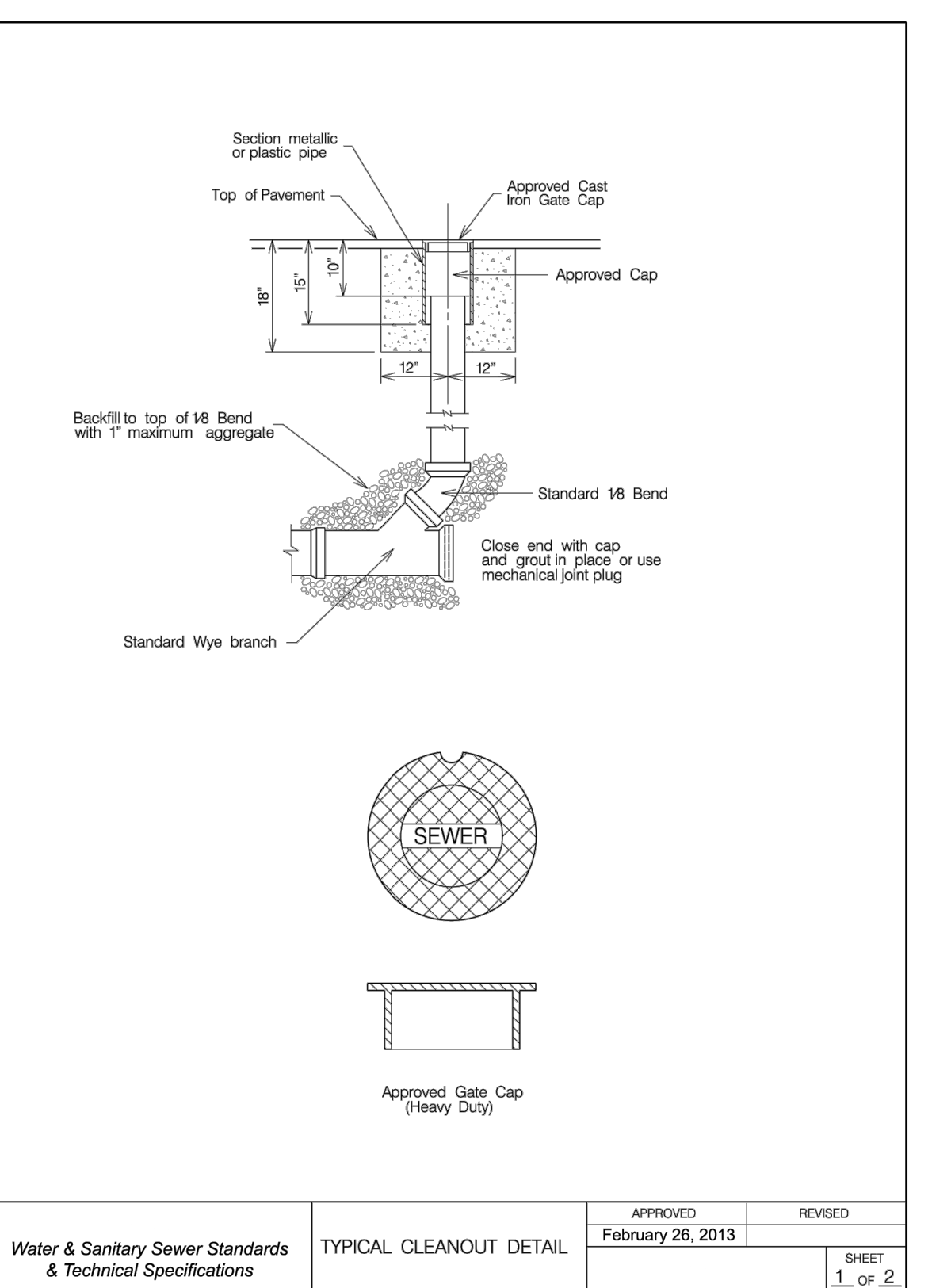
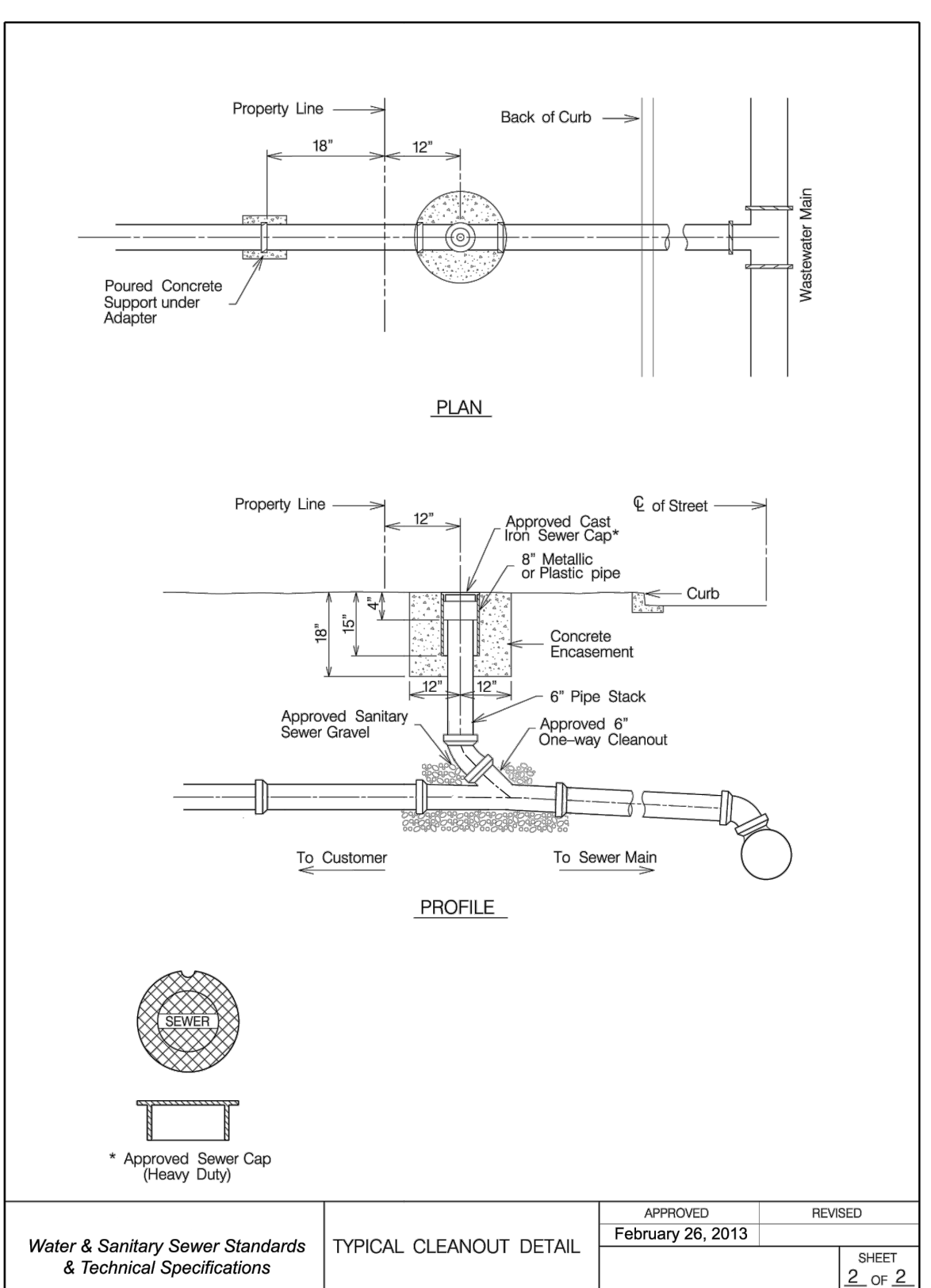
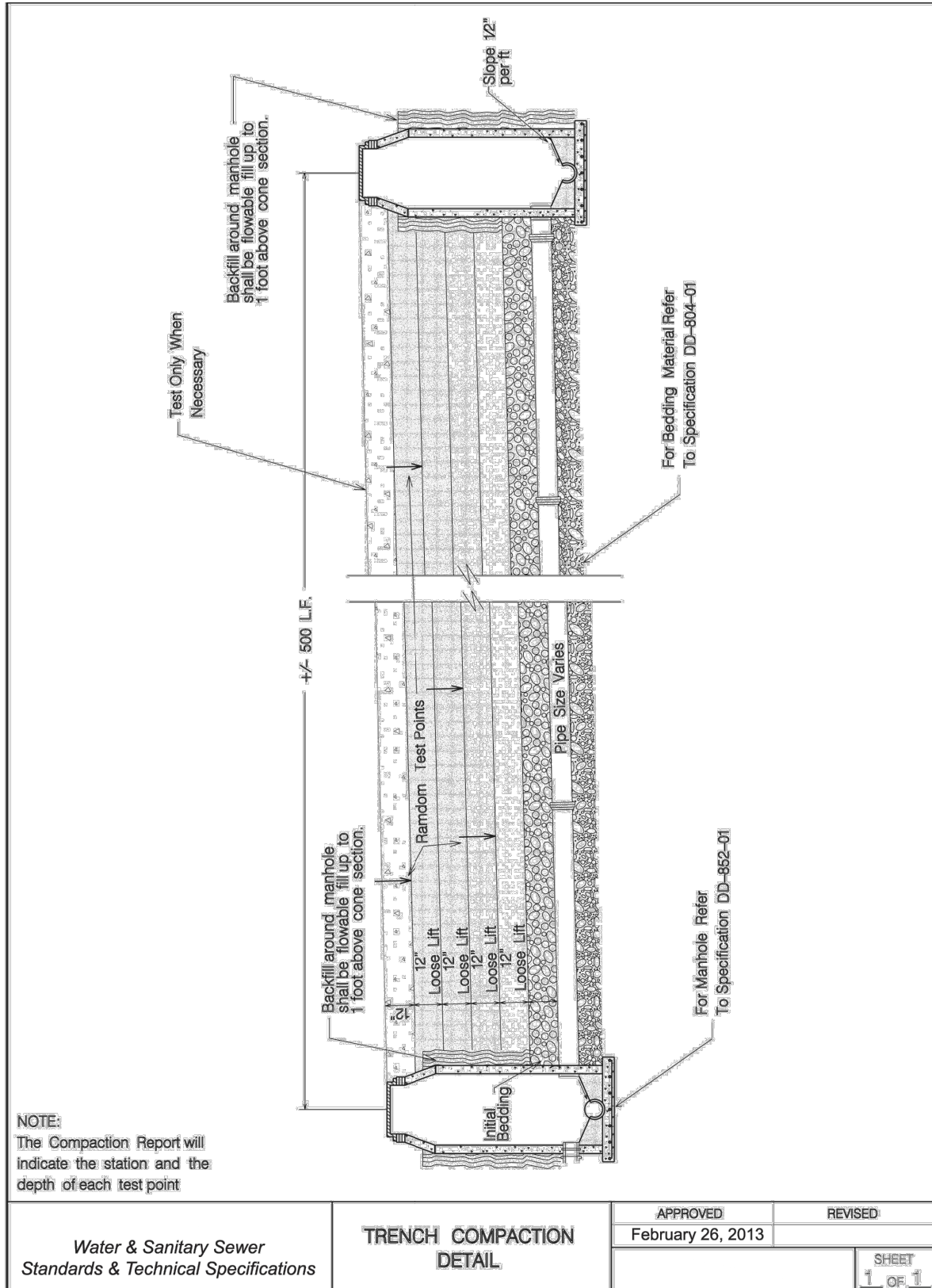
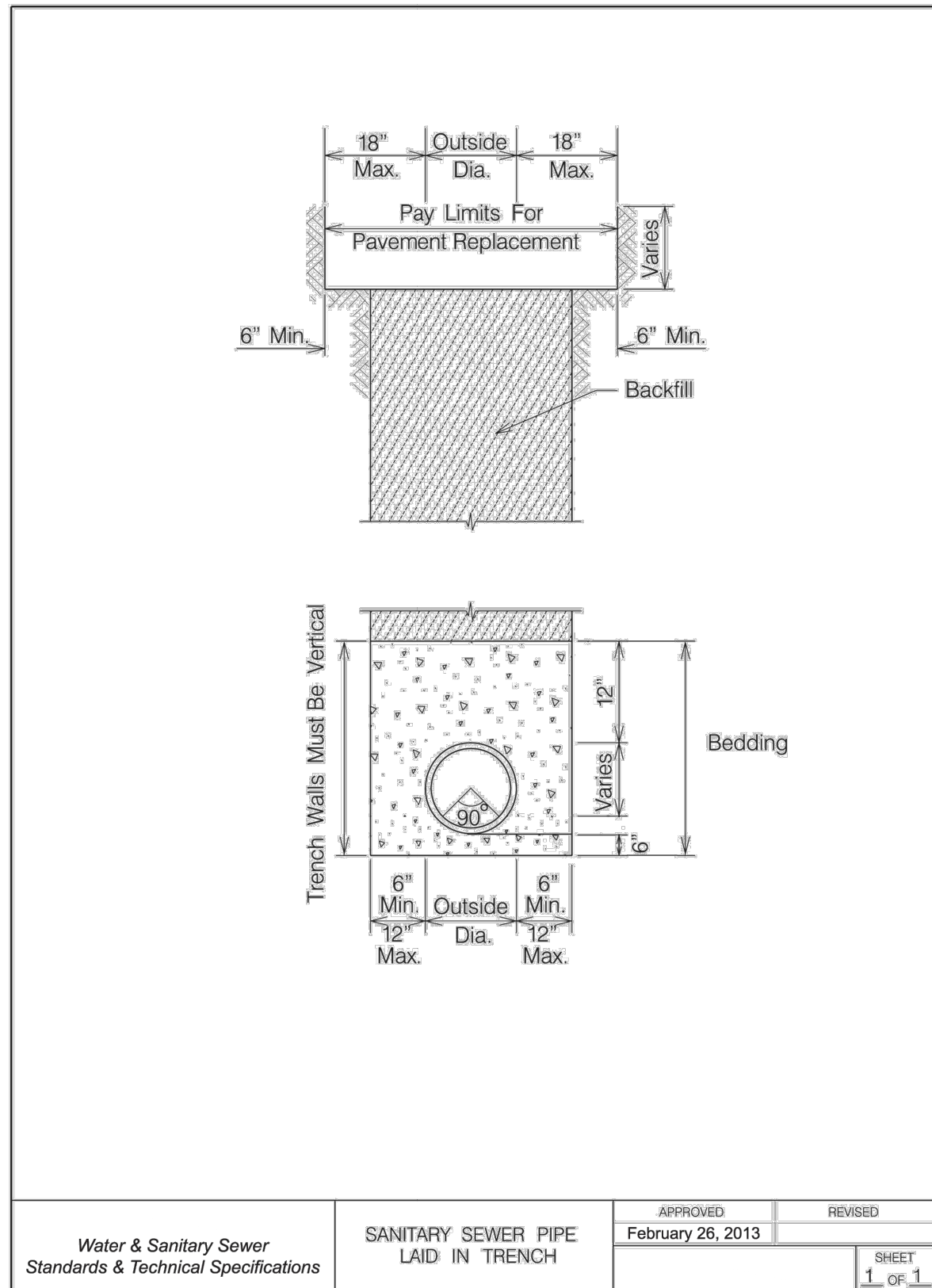






# 1 PIPE TRENCHING AND BACKFILL DETAILS

SCALE: NONE



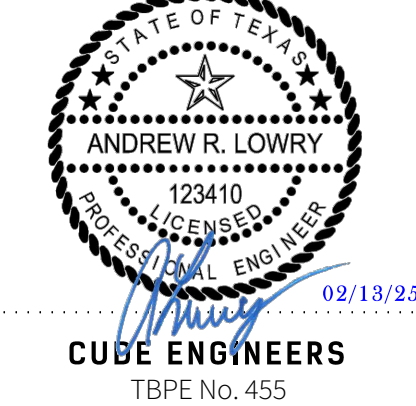
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## KNEUPPER BUSINESS PARK

UTILITY DETAILS

DATE  
02/13/2025  
PROJECT NO.  
03639.003  
DRAWN BY  
CG/XV  
CHECKED BY  
XV/AL

REVISIONS	
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