

NOTES:

1. THE PROPERTY SHOWN HEREON LIES WITHIN THE GUADALUPE COUNTY.
2. THE PROPERTY SHOWN HEREON IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE ZONE.
3. THE PROPERTY SHOWN HEREON IS LOCATED INSIDE MARION SCHOOL DISTRICT.
4. ALL PROPOSED STREETS & DRAINS WILL BE DEDICATED TO THE PUBLIC AND MAINTAINED BY GUADALUPE COUNTY MUNICIPAL UTILITY DISTRICT NUMBER 15.
5. THE PROPERTY SHOWN HEREON WILL HAVE UTILITIES PROVIDED BY THE FOLLOWING:  
WATER - G.V.S.U.D.  
SEWER - G.V.S.U.D.  
ELECTRICITY - G.V.E.C.
6. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH ARE DESCRIBED HEREON.
7. ALL UTILITY EASEMENTS ARE FOR CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREE AND OTHER OBSTRUCTIONS), READING METERS AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
8. BEARING REFERENCE SOURCE IS THE TEXAS STATE PLANE COORDINATE SYSTEM - SOUTH CENTRAL ZONE, NAD 83 (93).
9. 1/2" IRON RODS WITH PLASTIC CAP STAMPED "CUDE" SET AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.
10. HOMEOWNER(S) ASSOCIATION WILL MOW AND MAINTAIN PARKS, LANDSCAPE BUFFERS, OPEN SPACE, GREENBELTS AND DRAINAGE EASEMENTS.
11. LOT 901, BLOCK 1, 2, & 4 & LOT 902 BLOCK 2 & 4 ARE DESIGNATED AS OPEN SPACE AND AS A COMMON AREA AND A DRAINAGE, SEWER, WATER, ELECTRIC, GAS, TELEPHONE AND CABLE TV EASEMENT.
12. THIS PLAT CONTAINS APPROXIMATELY 9,329 L.F. OF ROADWAY.
13. RIGHT-OF-WAY TO BE USED AS A PUBLIC UTILITY EASEMENT.
14. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
15. PLAT APPROVAL SHALL NOT BE DEEMED TO OR PRESUMED TO GIVE AUTHORITY TO VIOLATE, NULLIFY, VOID, OR CANCEL ANY PROVISIONS OF LOCAL, STATE, OR FEDERAL LAWS, ORDINANCES, OR CODES.
16. THE APPLICANT IS RESPONSIBLE FOR SECURING ANY FEDERAL PERMITS THAT MAY BE NECESSARY AS THE RESULT OF PROPOSED DEVELOPMENT ACTIVITY. THE GUADALUPE COUNTY IS NOT RESPONSIBLE FOR DETERMINING THE NEED FOR, OR ENSURING COMPLIANCE WITH ANY FEDERAL PERMIT.
17. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD OR REGISTERED PUBLIC LAND SURVEYOR IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.
18. ALL RESPONSIBILITY FOR THE ADEQUACY OF THIS PLAT REMAINS WITH THE ENGINEER OR SURVEYOR WHO PREPARED IT. IN APPROVING THESE PLANS, THE GUADALUPE COUNTY MUST RELY ON THE ADEQUACY OF THE WORK OF THE ENGINEER AND/OR SURVEYOR OF RECORD.
19. NO FENCING OR STRUCTURES THAT WILL INTERFERE WITH ADEQUATE DRAINAGE FLOW WILL BE ALLOWED ON OR ACROSS SUCH LINES.
20. ROUTINE MAINTENANCE OF WEEDS AND GRASS IN ALL EASEMENTS AND 900 SERIES LOTS SHALL BE THE RESPONSIBILITY OF THE GUADALUPE COUNTY MUNICIPAL UTILITY DISTRICT NUMBER 15, THE PROPERTY OWNER, H.O.A., OR PROPERTY OWNER ASSOCIATION ON WHICH THE EASEMENT IS LOCATED IN ACCORDANCE WITH CITY OF MARION CODE ORDINANCES PROVISIONS FOR HIGH WEEDS AND GRASS.
21. FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8 INCHES ABOVE FINISHED ADJACENT GRADE.
22. NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCING, OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASES THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. GUADALUPE COUNTY SHALL HAVE THE RIGHT TO INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
23. A GEOTECHNICAL REPORT SHALL BE COMPLETED SHOWING COMPLIANCE WITH ALL RECOMMENDED PRACTICE FOR THE DESIGN OF RESIDENTIAL FOUNDATIONS, VERSION 1. STANDARDS OF THE TEXAS SECTION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS, THE GEOTECHNICAL STANDARDS OF THE GUADALUPE COUNTY UDC, AND THE GUADALUPE COUNTY BUILDING CODE, EACH OF WHICH MAY BE AMENDED.
24. LOTS WITHIN THIS PLAT NOT MEETING FIRE HYDRANT COVERAGE REQUIREMENTS SHALL BE COVERED BY HYDRANTS PROPOSED WITH FUTURE ADJACENT UNITS AS APPROVED BY THE GUADALUPE COUNTY FIRE MARSHAL.
25. THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE GREEN VALLEY SPECIAL UTILITY DISTRICT OF MARION, TEXAS, ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL, AND LAY OVER AND ACROSS THOSE AREAS MARKED AS "WATERLINE EASEMENT", "SANITARY SEWER EASEMENT", AND IN ALL STREETS AND BYWAYS, SUCH PIPELINES, SERVICE LINES, WATER METERS AND OTHER WATER & WASTE WATER SYSTEMS APPURTENANCES AS IT REQUIRES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES, SHRUBS, GRASSES, PAVEMENTS, FENCES STRUCTURES, IMPROVEMENTS, OR OTHER OBSTRUCTIONS WHICH MAY INTERFERE WITH THE FACILITY OR THE ACCESS THERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDING, CONCRETE SLAB OR WALLS WILL BE LOCATED WITHIN 36" PARALLEL TO WATER & WASTE WATER LINES.
26. ANY MONETARY LOSS TO GREEN VALLEY S.U.D. RESULTING FROM MODIFICATIONS REQUIRED OF UTILITY EQUIPMENT LOCATED WITHIN SAID EASEMENTS DUE TO GRADE CHANGE OR GROUND ELEVATION ALTERATIONS OR PERSONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS, UPON ENTERING IN AND UPON SAID EASEMENT, THE DISTRICT WILL ENDEAVOR TO RESTORE THE LAND SURFACE TO A USEABLE CONDITION BUT IS NOT OBLIGATED TO RESTORE IT TO A PRE-EXISTING CONDITION.
27. MAINTENANCE RESPONSIBILITY FOR DRAINAGE WILL NOT BE ACCEPTED BY THE COUNTY OTHER THAN THAT ACCEPTED WITH DRAINING OR PROTECTING THE ROAD SYSTEM. MAINTENANCE RESPONSIBILITY FOR STORM WATER MANAGEMENT CONTROLS WILL REMAIN WITH GUADALUPE COUNTY MUNICIPAL UTILITY DISTRICT #15.
28. GUADALUPE COUNTY MUNICIPAL UTILITY DISTRICT #15 (OWNER), BY FILING THIS RECORD DOCUMENT, AND ALL FUTURE OWNERS OF THIS PROPERTY, BY PURCHASING SUCH PROPERTY, ACKNOWLEDGE AND AGREE THAT GUADALUPE COUNTY SHALL HAVE NO OBLIGATION WHATSOEVER TO REPAIR OR ACCEPT MAINTENANCE OF THE STREETS SHOWN ON THIS APPROVED DEVELOPMENT PLAT UNTIL AND UNLESS OWNER AND/OR THE PROPERTY OCCUPANTS OR TENANTS HAVE IMPROVED THE STREETS TO THE THEN CURRENT STANDARDS REQUIRED BY GUADALUPE COUNTY AND THE STREETS HAVE BEEN ACCEPTED FOR MAINTENANCE BY FORMAL WRITTEN ACTION OF THE COUNTY COMMISSIONS COURT AND THE STREETS, WITH ALL REQUIRED RIGHT-OF-WAY BUILDING SETBACKS HAVE BEEN DEDICATED BY THE OWNERS THEREOF, AND ACCEPTED BY THE COUNTY, AS PUBLIC STREETS. UNTIL SUCH TIME, OWNER AND ALL FUTURE OWNERS OF PROPERTY WITHIN THE LIMITS OF THE APPROVED DEVELOPMENT PLAT SHALL LOOK SOLELY TO THE OWNER, DEVELOPER OR ENTITY CREATED FOR THAT PURPOSE FOR FUTURE MAINTENANCE AND REPAIR OF THE STREETS INCLUDED IN THE DEVELOPMENT PLAT.
29. MAINTENANCE NOTE:  
THE MAINTENANCE OF ALL PUBLIC STREETS, OPEN SPACE, GREEN BELTS, PARKS, TREE SAVE AREAS, DRAINAGE EASEMENTS, AND EASEMENTS OF ANY OTHER NATURE WITHIN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR GUADALUPE COUNTY MUNICIPAL UTILITY DISTRICT #15, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF MARION OR GUADALUPE COUNTY.
30. EASEMENTS EXPIRING TO ROW:  
EASEMENTS TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET RIGHT-OF-WAY.

G.V.E.C.:

1. G.V.E.C. WILL POSSESS A 5-FOOT WIDE EASEMENT TO THE SERVICE METER LOCATION. EASEMENT TO FOLLOW SERVICE LINE AND WILL VARY DEPENDING ON LOCATION OF BUILDING OR STRUCTURE.
2. G.V.E.C. SHALL HAVE ACCESS TO METER LOCATIONS FROM THE FRONT YARD WITH THE LOCATION NOT BEING WITHIN A FENCED AREA.
3. ANY EASEMENT DESIGNATED AS A G.V.E.C. 20' X 20' UTILITY EASEMENT SHALL REMAIN OPEN FOR ACCESS AT ALL TIMES AND SHALL NOT BE WITHIN A FENCED AREA.
4. ALL UTILITY EASEMENTS ARE FOR THE CONSTRUCTION, MAINTENANCE (INCLUDING BUT NOT LIMITED TO REMOVAL OF TREES AND OTHER OBSTRUCTIONS), READING OF METERS, AND REPAIR OF ALL OVERHEAD AND UNDERGROUND UTILITIES.
5. ALL ELECTRIC EASEMENTS, FOR BOTH PRIMARY AND SECONDARY ELECTRIC SERVICE, INCLUDING RIGHTS OF INGRESS AND EGRESS ACROSS THE SUBDIVISION FOR THE PURPOSE OF INSTALLING, SERVICING AND MAINTAINING THE ELECTRICAL FACILITIES.
6. ANY REQUEST TO SUBSEQUENTLY RELOCATE ANY PORTION OF THE ELECTRICAL FACILITIES INSTALLED SHALL BE SUBJECT TO THE COOPERATIVE'S REASONABLE DISCRETION AND THE REQUESTING PARTY SHALL BEAR ALL COSTS ASSOCIATED WITH SUCH RELOCATION.
7. THE COOPERATIVE SHALL ONLY BE REQUIRED TO FILL, GRADE AND RESTORE GROUND COVER BACK TO ORIGINAL GRADE AS A RESULT OF ANY EXCAVATION BY OR ON BEHALF OF THE COOPERATIVE.

GREEN VALLEY SPECIAL UTILITY DISTRICT EASEMENT CERTIFICATE

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE GREEN VALLEY SPECIAL UTILITY DISTRICT OF MARION, TEXAS, ITS SUCCESSORS AND ASSIGNS, A PERPETUAL EASEMENT MARKED AS "GVSUD WATERLINE EASEMENT", "GVSUD SEWER EASEMENT" OR "GVSUD REUSE WATER EASEMENT" AS APPLICABLE WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL, AND LAY AND THEREAFTER ACCESS AND USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE, UPGRADE, PARALLEL AND REMOVE WATER OR WASTE-WATER TRANSMISSION, COLLECTION AND/OR DISTRIBUTION LINES AND APPURTENANCES AND ANY OTHER FACILITIES NECESSARY TO SERVE GRANTORS' PROPERTY, AS WELL AS THE GRANTEE'S CURRENT AND FUTURE SYSTEM-WIDE CUSTOMERS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS UNDER, OVER AND ACROSS GRANTOR'S ADJACENT LANDS AND IN ALL STREETS AND BYWAYS FOR THE PURPOSE FOR WHICH THE ABOVE MENTIONED RIGHTS ARE GRANTED, INCLUDING THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES, SHRUBS, GRASSES, PAVEMENTS, FENCES, STRUCTURES, IMPROVEMENTS, OR OTHER OBSTRUCTIONS WHICH MAY INTERFERE WITH THE FACILITY OR THE ACCESS THERETO.

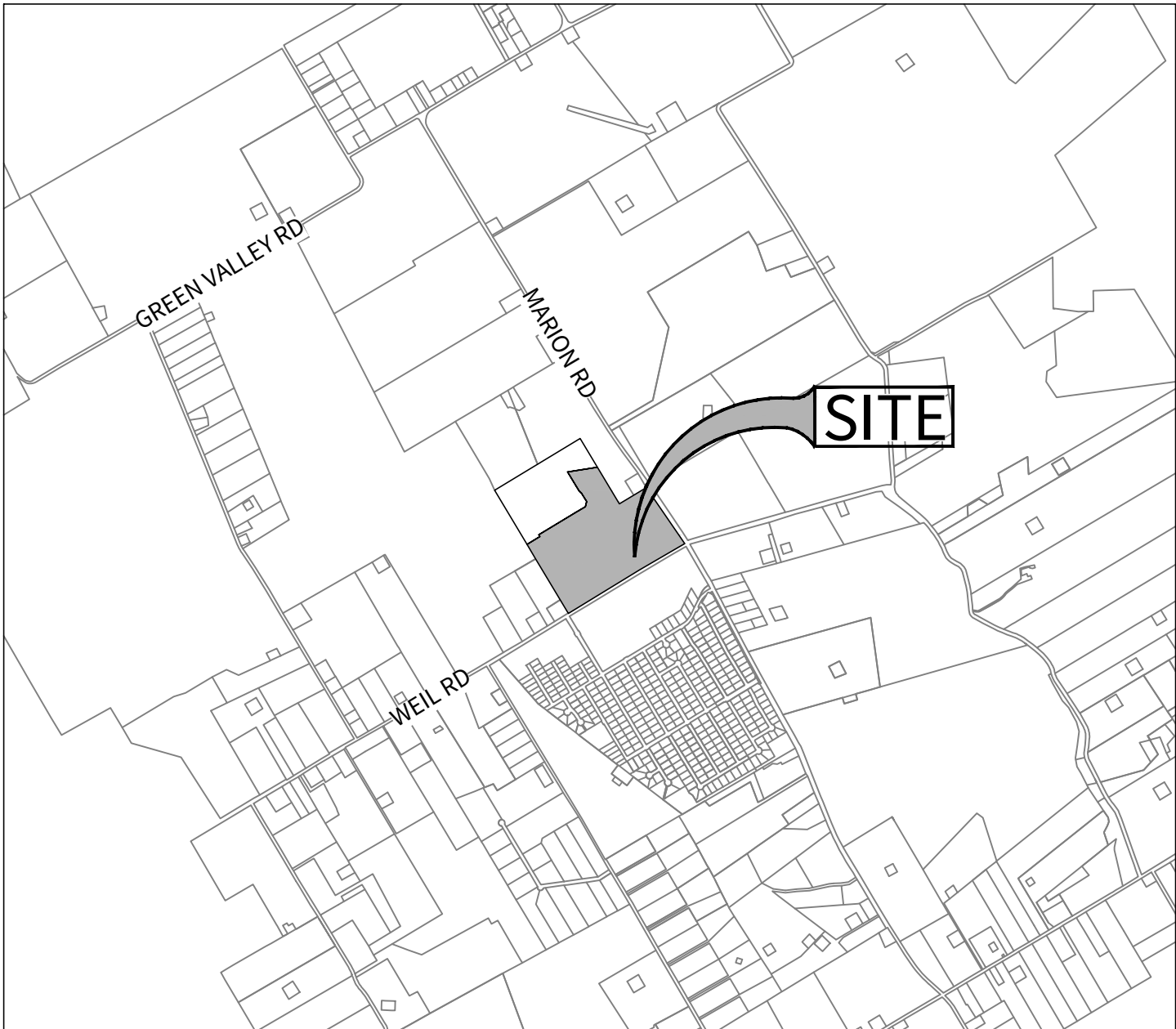
IT IS AGREED AND UNDERSTOOD THAT NO OTHER UTILITIES SHALL BE INSTALLED WITHIN OUR EASEMENT TO INCLUDE BUT NOT LIMITED TO PERMANENT STRUCTURES AND/OR BUILDINGS, CONCRETE SLABS, SIDEWALKS, WALLS, AND PAVEMENTS. ANY MONETARY LOSS TO GREEN VALLEY SUD RESULTING FROM MODIFICATIONS REQUIRED OF UTILITY EQUIPMENT LOCATED WITHIN SAID EASEMENT DUE TO GRADE CHANGE OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. UPON ENTERING IN AND UPON SAID EASEMENT, THE DISTRICT WILL ENDEAVOR TO RESTORE THE LAND SURFACE TO A USEABLE CONDITION BUT IS NOT OBLIGATED TO RESTORE IT TO A PRE-EXISTING CONDITION.

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISION OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964, AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

SUBDIVISION PLAT ESTABLISHING  
LANTANA, UNIT 1

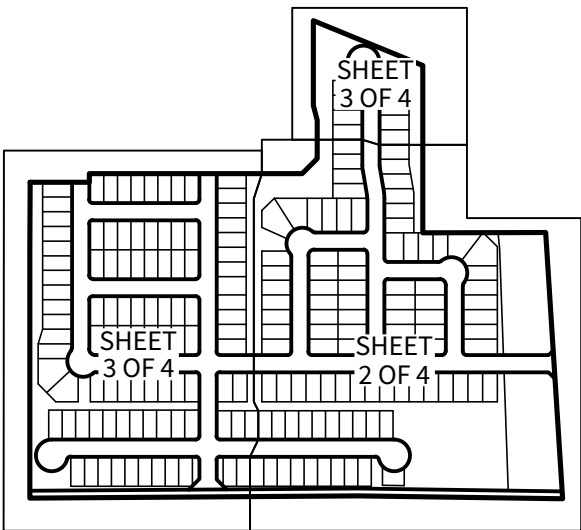
BEING 67.08 ACRES OF LAND OUT OF THE E. COY SURVEY 93, ABSTRACT 87, SITUATED IN GUADALUPE COUNTY, TEXAS, AND BEING ALL OF A CALLED 36.0 ACRE TRACT OF LAND AND ALL OF THAT CALLED 61.87 ACRE TRACT OF LAND RECORDED IN DOCUMENT 202199013820 OF THE OFFICIAL PUBLIC RECORD OF GUADALUPE COUNTY, TEXAS.

206 RESIDENTIAL LOTS (36.29 Ac.) / 5 OPEN SPACE LOTS ( 14.45 Ac.)  
2 NON-RESIDENTIAL LOTS (2.40 Ac.)  
9,329 L.F. OF NEW STREET (14.85 Ac.)



LOCATION MAP

N.T.S.



KEYMAP

N.T.S.

GUADALUPE VALLEY ELECTRIC COOPERATIVE

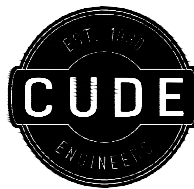
THIS SUBDIVISION PLAT OF LANTANA, UNIT 1 HAS BEEN SUBMITTED TO AND APPROVED BY GUADALUPE VALLEY ELECTRIC COOPERATIVE, INC. FOR EASEMENTS.

BY: \_\_\_\_\_  
AGENT FOR GUADALUPE VALLEY ELECTRIC COOPERATIVE, INC.

GREEN VALLEY SPECIAL UTILITY DISTRICT CERTIFICATE

THIS LAND DEVELOPMENT PLAT HAS BEEN SUBMITTED TO AND APPROVED BY GREEN VALLEY SPECIAL UTILITY DISTRICT FOR EASEMENTS. UPON REQUEST OF THE CUSTOMER AND PAYMENT OF THE REQUIRED FEES, THE DISTRICT WILL PROVIDE DOMESTIC WATER SERVICE AND/OR WASTEWATER SERVICE TO EACH LOT IN THIS SUBDIVISION, BY AGREEMENT WITH THE DEVELOPER.

BY: \_\_\_\_\_  
AGENT FOR GREEN VALLEY SPECIAL UTILITY DISTRICT



M.W. CUDE ENGINEERS, L.L.C.  
4122 POND HILL RD. • S-101  
SAN ANTONIO, TEXAS 78231  
T:210.681.2951 • F:210.523.7112  
WWW.CUDEENGINEERS.COM  
TBPLS #10048500 • TBPE FIRM #455  
[ MWC: ANDREW LOWRY, P.E. ]  
PROJECT # 04037.003

STATE OF TEXAS  
COUNTY OF GUADALUPE

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

M.W. CUDE ENGINEERS, L.L.C.  
ANDREW LOWRY, P.E.  
REGISTERED PROFESSIONAL ENGINEER NO. 123410

\_\_\_\_\_  
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS  
COUNTY OF GUADALUPE

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

M.W. CUDE ENGINEERS, L.L.C.  
CHRIS WALTERSCHEIDT, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6180

\_\_\_\_\_  
REGISTERED PROFESSIONAL LAND SURVEYOR

STATE OF TEXAS  
COUNTY OF GUADALUPE

THE OWNER OF THE LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/ DEVELOPER  
MERITAGE HOMES OF TEXAS, L.L.C.  
2722 WEST BITTERS ROAD, SUITE 200  
SAN ANTONIO, TX 78221  
PHONE: (210) 402-6045  
FAX: (210) 402-7397  
CONTACT PERSON: BRIAN OTTO

BY: \_\_\_\_\_  
NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF GUADALUPE

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
NOTARY PUBLIC, GUADALUPE COUNTY, TEXAS

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF GUADALUPE COUNTY, TEXAS, AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF GUADALUPE COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF GUADALUPE COUNTY, TEXAS, ON \_\_\_\_\_

AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
COUNTY JUDGE, GUADALUPE COUNTY, TEXAS

\_\_\_\_\_  
COUNTY CLERK, GUADALUPE COUNTY, TEXAS

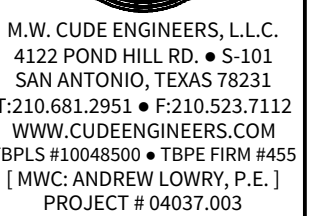
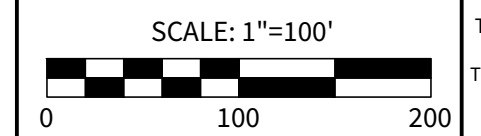
THIS PLAT OF \_\_\_\_\_ LANTANA, UNIT 1 \_\_\_\_\_ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF SANTA CLARA, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. \_\_\_\_\_.

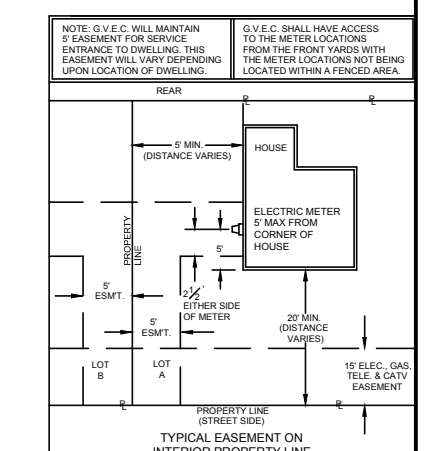
BY: \_\_\_\_\_  
MAYOR

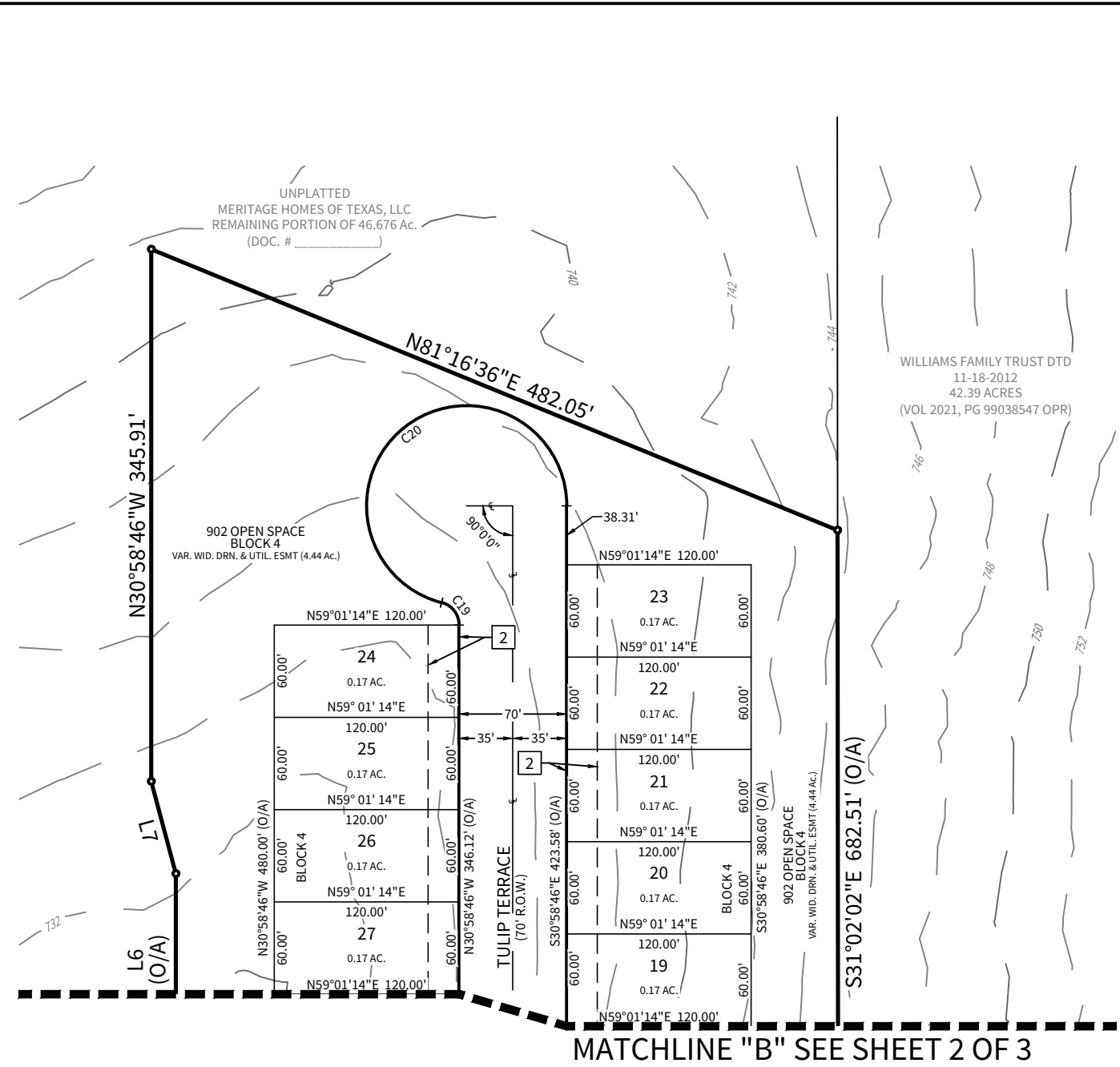
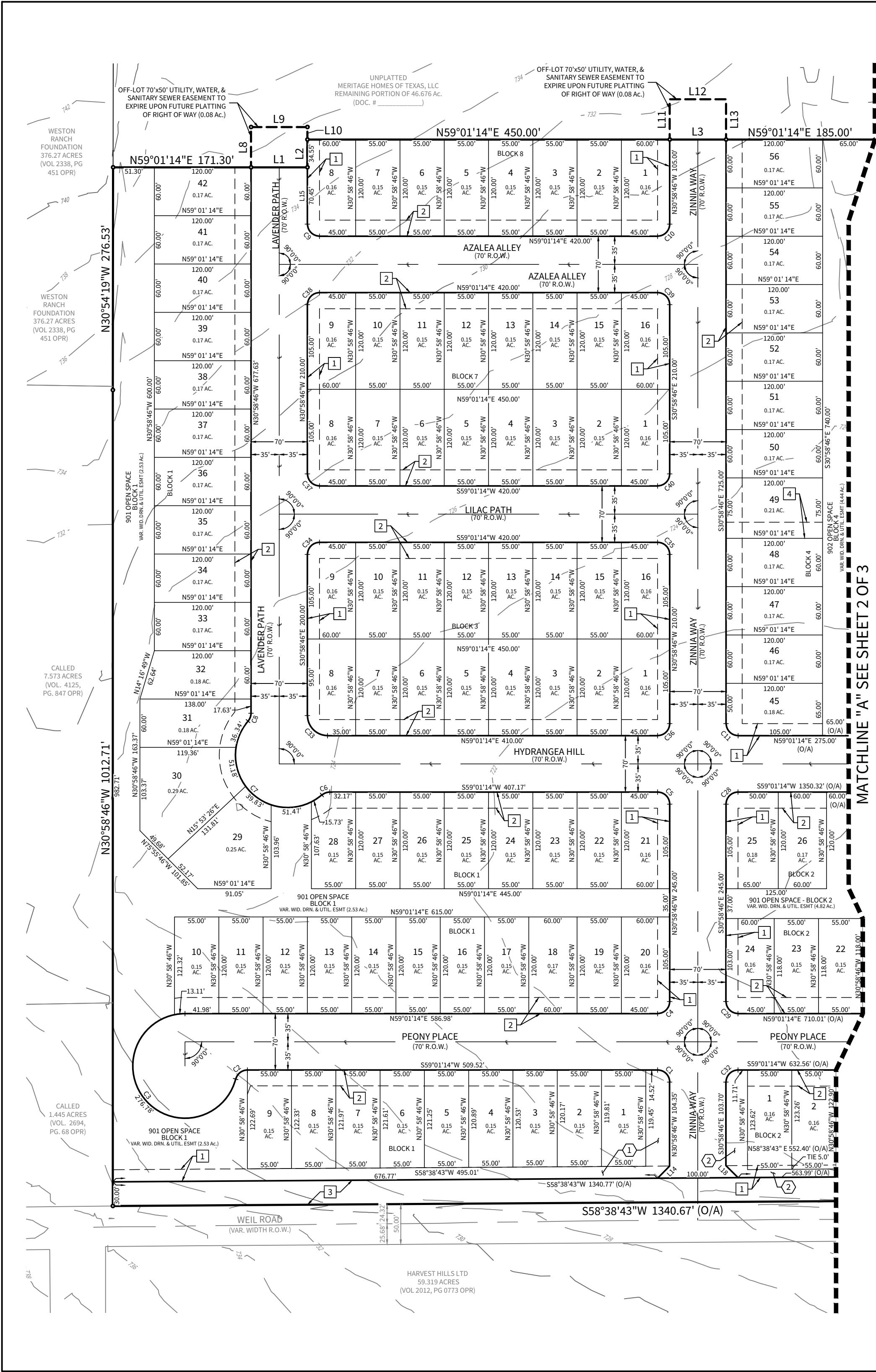
BY: \_\_\_\_\_  
CITY SECRETARY

BEING 67.07 ACRES OF LAND OUT OF THE E. COY SURVEY 93, ABSTRACT 87, SITUATED IN GUADALUPE COUNTY, TEXAS, AND BEING ALL OF A CALLED 36.0 ACRE TRACT OF LAND AND ALL OF THAT CALLED 61.87 ACRE TRACT OF LAND RECORDED IN DOCUMENT 202199013820 OF THE OFFICIAL PUBLIC RECORD OF GUADALUPE COUNTY, TEXAS.



|            |  |         |   |
|------------|--|---------|---|
| AC.        | = ACRES  | ---     | = STREET CENTERLINE   |
| B.S.L.     | = BUILDING SETBACK LINE                                  | ---     | = BUILDING SETBACK LINE   |
| C1         | = CURVE NUMBER   | — ELEV. | = EXISTING GROUND MAJOR CONTOUR                                     |
| C2         | = COUNTY BLOCK   | — ELEV. | = EXISTING GROUND MINOR CONTOUR                                     |
| C.P.S.     | = CITY PUBLIC SERVICE                                    |         | = EXISTING PROPERTY LINE  |
| C.V.E.     | = CLEAR VISION EASEMENT                                  | ( )     | = RECORDED INFORMATION  |
| D.P.R.     | = DEED AND PLAT RECORDS OF GUADALUPE COUNTY, TEXAS       | 1       | = 15' E.G.T. CA. EASEMENT   |
| E.G.T. CA. | = ELECTRIC, GAS, TELEPHONE AND CABLE TELEVISION EASEMENT | 2       | = 20' E.G.T. CA. EASEMENT   |
| ESMT.      | = EASEMENT   | 3       | = 30' R.O. W. DEDICATION (1.50 AC.)                                 |
| LJ         | = LINE NUMBER  | 4       | = 20" DRAINAGE EASEMENT   |
| NAD        | = NORTH AMERICAN DATUM                                   | 1       | = 901 OPEN SPACE, BLOCK 1<br>VAR. WID. DRN. & UTIL. ESMT (2.53 AC.) |
| MIN.       | = MINIMUM  | 2       | = 901 OPEN SPACE, BLOCK 2<br>VAR. WID. DRN. & UTIL. ESMT (4.82 AC.) |
| N.T.S.     | = NOT TO SCALE   |         |   |
| O/A        | = OVERALL  |         |   |
| O.P.R.     | = OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS     |         |   |
| PG.        | = PAGE   |         |   |
| PGS.       | = PAGES  |         |   |
| R.O.W.     | = RIGHT-OF-WAY   |         |   |
| VAR.       | = VARIABLE   |         |   |
| V.N.A.E    | = VEHICULAR NON ACCESS EASEMENT                          |         |   |
| VOL.       | = VOLUME   |         |   |
| WAT.       | = WATER  |         |   |
| WID.       | = WIDTH  |         |   |

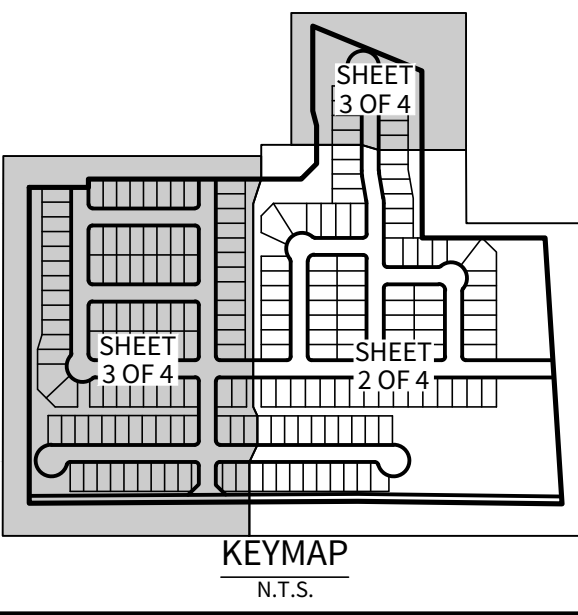




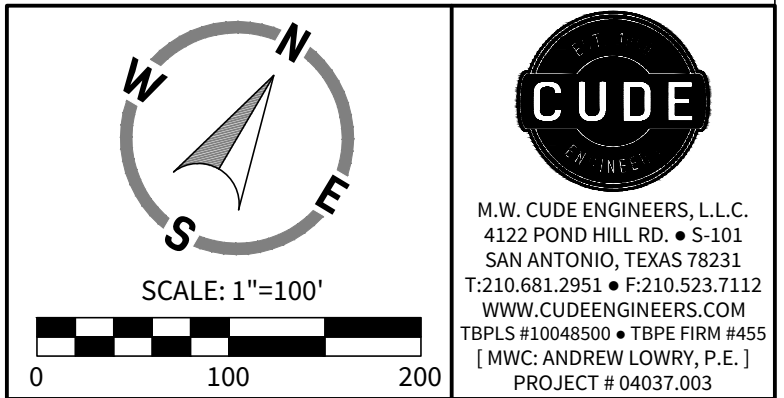
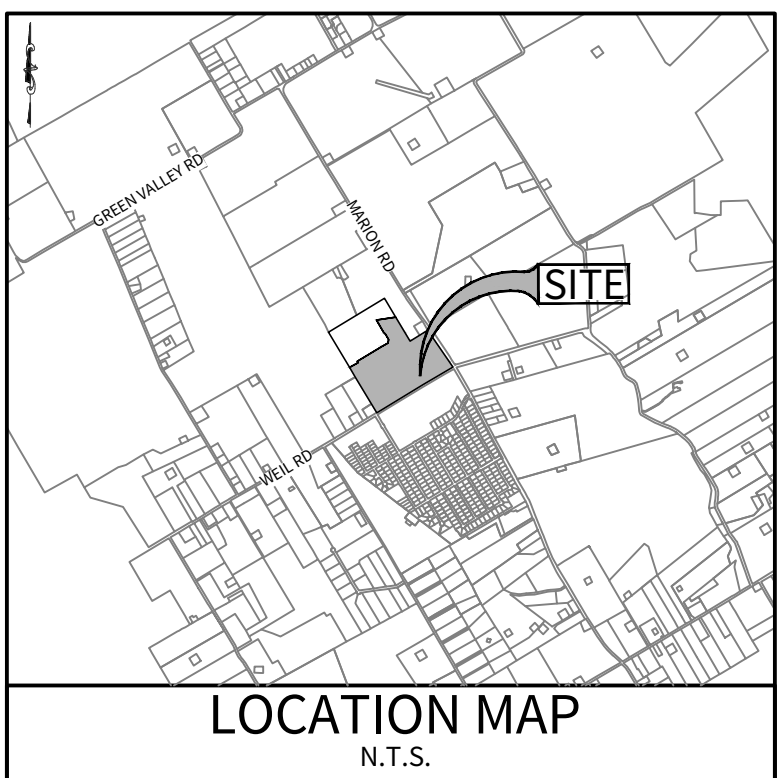
| CURVE TABLE |         |            |         |               |         |
|-------------|---------|------------|---------|---------------|---------|
| CURVE       | RADIUS  | DELTA      | LENGTH  | CHORD BEARING | CHORD   |
| C1          | 15.00'  | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C2          | 15.00'  | 75°31'21"  | 19.77'  | S21°15'34"W   | 18.37'  |
| C3          | 65.00'  | 255°31'21" | 289.88' | N68°44'26"W   | 102.77' |
| C4          | 15.00'  | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C5          | 15.00'  | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C6          | 15.00'  | 40°44'54"  | 10.67'  | S38°38'47"W   | 10.44'  |
| C7          | 65.00'  | 171°29'49" | 194.56' | N75°58'46"W   | 129.64' |
| C8          | 15.00'  | 40°44'54"  | 10.67'  | N10°36'19"W   | 10.44'  |
| C9          | 15.00'  | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C10         | 15.00'  | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C11         | 15.00'  | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C12         | 15.00'  | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C13         | 15.00'  | 40°44'54"  | 10.67'  | N51°21'13"W   | 10.44'  |
| C14         | 65.00'  | 171°29'49" | 194.56' | N14°01'14"E   | 129.64' |
| C15         | 15.00'  | 40°44'54"  | 10.67'  | N79°23'41"E   | 10.44'  |
| C16         | 15.00'  | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C17         | 65.00'  | 9°42'33"   | 11.01'  | N35°50'02"W   | 11.00'  |
| C18         | 135.00' | 9°42'33"   | 22.88'  | N35°50'02"W   | 22.85'  |
| C19         | 15.00'  | 75°31'21"  | 19.77'  | N68°44'26"W   | 18.37'  |
| C20         | 65.00'  | 255°31'24" | 289.88' | N21°15'35"E   | 102.77' |
| C21         | 65.00'  | 9°42'33"   | 11.01'  | S35°50'02"E   | 11.00'  |
| C22         | 135.00' | 9°42'33"   | 22.88'  | S35°50'02"E   | 22.85'  |
| C23         | 15.00'  | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C24         | 15.00'  | 40°44'54"  | 10.67'  | N38°38'47"E   | 10.44'  |
| C25         | 65.00'  | 171°29'49" | 194.56' | S75°58'46"E   | 129.64' |

| CURVE TABLE |        |            |         |               |         |
|-------------|--------|------------|---------|---------------|---------|
| CURVE       | RADIUS | DELTA      | LENGTH  | CHORD BEARING | CHORD   |
| C26         | 15.00' | 40°44'54"  | 10.67'  | S10°36'19"E   | 10.44'  |
| C27         | 15.00' | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C28         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |
| C29         | 15.00' | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C30         | 65.00' | 255°31'28" | 289.88' | S06°46'49"W   | 102.77' |
| C31         | 15.00' | 75°31'21"  | 19.77'  | N83°13'08"W   | 18.37'  |
| C32         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |
| C33         | 25.00' | 90°00'00"  | 39.27'  | S75°58'46"E   | 35.36'  |
| C34         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |
| C35         | 15.00' | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C36         | 15.00' | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C37         | 15.00' | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C38         | 15.00' | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C39         | 15.00' | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C40         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |
| C41         | 15.00' | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C42         | 25.00' | 90°00'00"  | 39.27'  | N14°01'14"E   | 35.36'  |
| C43         | 15.00' | 90°00'00"  | 23.56'  | S75°58'46"E   | 21.21'  |
| C44         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |
| C45         | 15.00' | 90°00'00"  | 23.56'  | N75°58'46"W   | 21.21'  |
| C46         | 15.00' | 90°00'00"  | 23.56'  | N14°01'14"E   | 21.21'  |
| C47         | 25.00' | 90°00'00"  | 39.27'  | S75°58'46"E   | 35.36'  |
| C48         | 15.00' | 90°00'00"  | 23.56'  | S14°01'14"W   | 21.21'  |

| LINE TABLE |             |         |
|------------|-------------|---------|
| LINE       | BEARING     | LENGTH  |
| L1         | N59°01'14"E | 70.00'  |
| L2         | N30°58'46"W | 34.55'  |
| L3         | N59°01'14"E | 70.00'  |
| L4         | N59°01'14"E | 163.64' |
| L5         | N14°04'14"E | 88.12'  |
| L6         | N30°58'46"W | 156.07' |
| L7         | N45°54'39"W | 62.10'  |
| L8         | N30°58'46"W | 50.00'  |
| L9         | N59°01'14"E | 70.00'  |
| L10        | S30°58'46"E | 15.45'  |
| L11        | N30°58'46"W | 50.00'  |
| L12        | N59°01'14"E | 70.00'  |
| L13        | S30°58'46"E | 50.00'  |
| L14        | N13°49'59"E | 21.14'  |
| L15        | S30°58'46"E | 70.45'  |
| L16        | N12°11'47"E | 21.88'  |
| L17        | N77°48'13"W | 20.53'  |
| L18        | S76°10'01"E | 21.28'  |
| L19        | N59°46'58"E | 52.60'  |



**SUBDIVISION PLAT**  
**ESTABLISHING**  
**LANTANA, UNIT 1**  
BEING 67.07 ACRES OF LAND OUT OF THE E. COY SURVEY 93, ABSTRACT 87, SITUATED IN GUADALUPE COUNTY, TEXAS, AND BEING ALL OF A CALLED 36.0 ACRE TRACT OF LAND AND ALL OF THAT CALLED 61.87 ACRE TRACT OF LAND RECORDED IN DOCUMENT 202199013820 OF THE OFFICIAL PUBLIC RECORD OF GUADALUPE COUNTY, TEXAS.



| LEGEND       |  |
|--------------|--|
| AC.          | = ACRES  |
| B.S.L.       | = BUILDING SETBACK LINE  |
| C1           | = CURVE NUMBER   |
| C.B.         | = COUNTY BLOCK   |
| C.P.S.       | = CITY PUBLIC SERVICE  |
| C.V.E.       | = CLEAR VISION EASEMENT  |
| D.P.R.       | = DEED AND PLAT RECORDS OF GUADALUPE COUNTY, TEXAS               |
| E.G.T.C.A.   | = ELECTRIC, GAS, TELEPHONE AND CABLE TELEVISION                  |
| ESMT.        | = EASEMENT   |
| L1           | = LINE NUMBER  |
| NAD MIN.     | = NORTH AMERICAN DATUM   |
| NOT TO SCALE | = MINIMUM  |
| OVERALL      | = OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS             |
| PG.          | = PAGE   |
| PGS.         | = PAGES  |
| R.O.W.       | = RIGHT-OF-WAY   |
| VAR.         | = VARIABLE   |
| V.N.A.E.     | = VEHICULAR NON ACCESS EASEMENT                                  |
| VOL.         | = VOLUME   |
| WID.         | = WIDTH  |
| ---          | = STREET CENTERLINE  |
| - - -        | = BUILDING SETBACK LINE  |
| - . - .      | = EXISTING GROUND MAJOR CONTOUR                                  |
| - - -        | = EXISTING GROUND MINOR CONTOUR                                  |
| - . - .      | = EXISTING PROPERTY LINE   |
| ( )          | = RECORDED INFORMATION   |
| 1            | = 15' E.G.T.C.A. EASEMENT  |
| 2            | = 20' E.G.T.C.A. EASEMENT  |
| 3            | = 30' R.O.W. DEDICATION (1.50 AC.)                               |
| 4            | = 20' DRAINAGE EASEMENT  |
| 1            | = 901 OPEN SPACE, BLOCK 1 VAR. WID. DRN. & UTIL. ESMT (2.53 AC.) |
| 2            | = 901 OPEN SPACE, BLOCK 2 VAR. WID. DRN. & UTIL. ESMT (4.82 AC.) |

