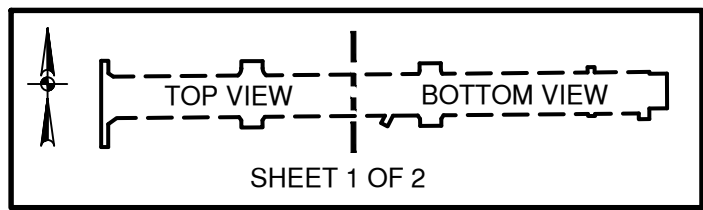
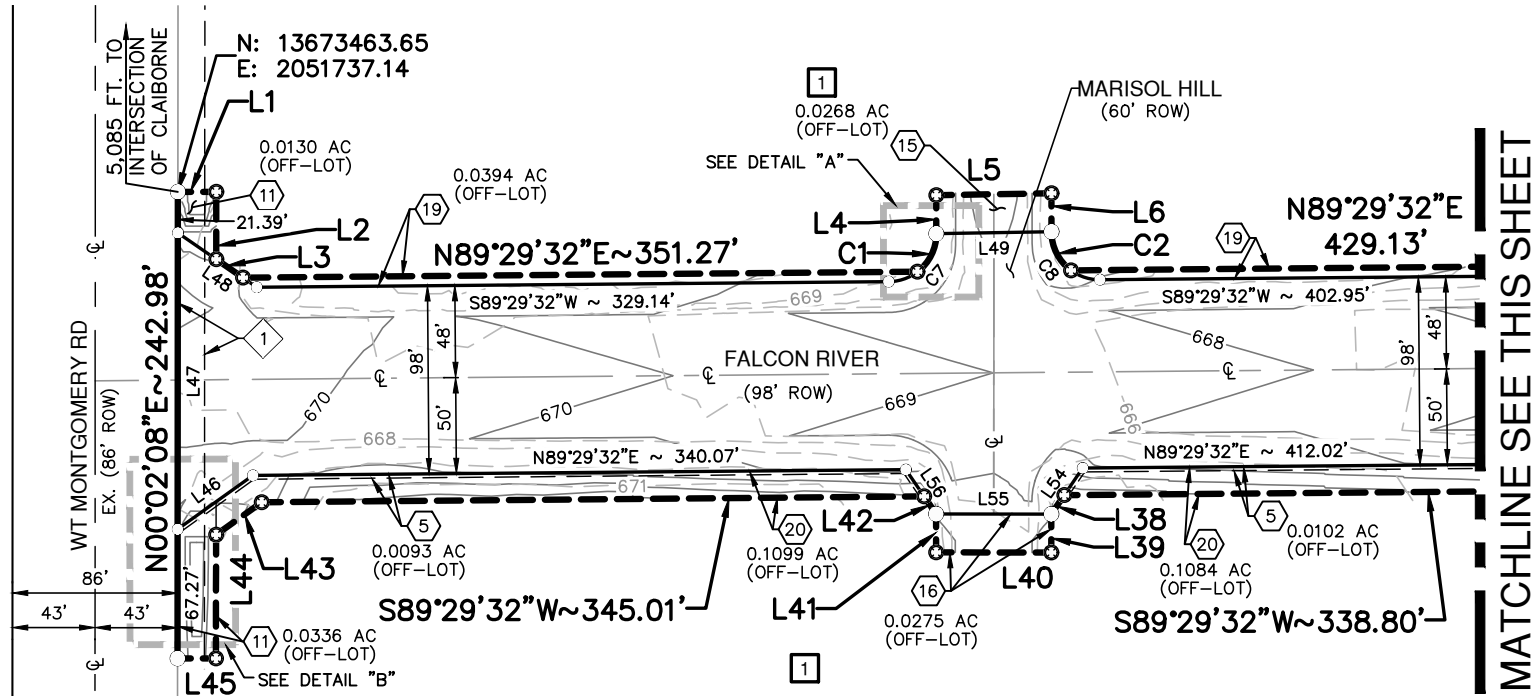


LOCATION MAP  
NOT-TO-SCALE



SHEET 1 OF 2

INDEX MAP  
SCALE: N.T.S.



STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS  
COUNTY OF BEXAR

LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

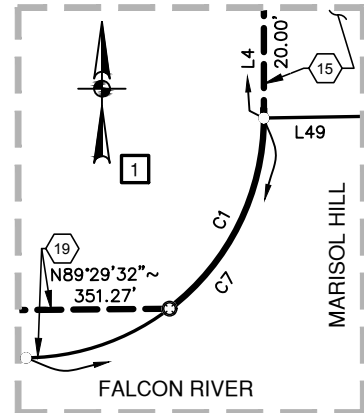
REGISTERED PROFESSIONAL LAND SURVEYOR

#### CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHEAD EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

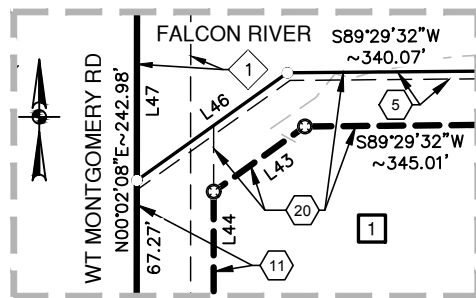
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.



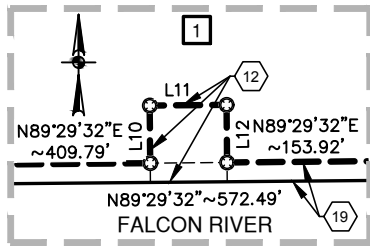
DETAIL "A"  
SCALE: 1"=20'

#### SAWS IMPACT FEE:

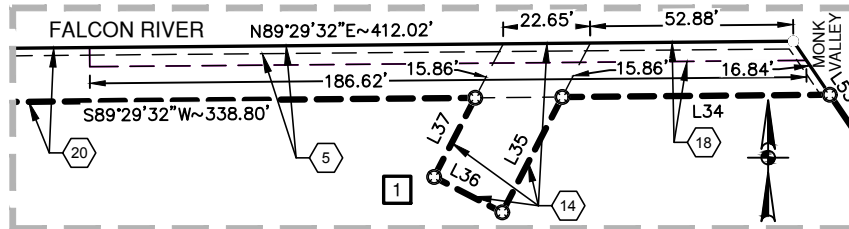
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.



DETAIL "B"  
SCALE: 1"=50'



DETAIL "C"  
SCALE: 1"=50'



DETAIL "D"  
SCALE: 1"=50'

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: CITY OF SAN ANTONIO  
SAN ANTONIO WATER SYSTEM  
2800 US HIGHWAY 281 N.  
SAN ANTONIO, TX 78212  
(210) 704-7297

STATE OF TEXAS  
COUNTY OF BEXAR

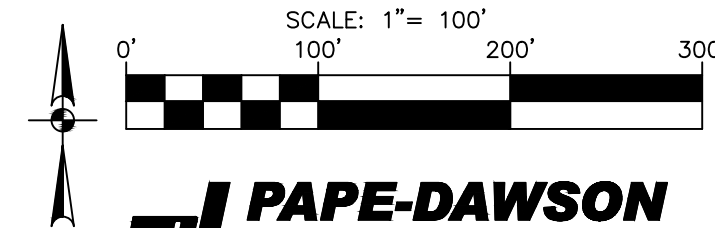
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CITY OF SAN ANTONIO / SAWS WATER SYSTEM KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

## PLAT NO. 24-11800279

### SUBDIVISION PLAT OF LUCERO AT LUCKEY RANCH UNIT 1A

BEING A TOTAL OF 5.027 ACRES OUT OF A 111.274 ACRE TRACT OF LAND SHOWN AS PHASE II TRACT RECORDED IN DOCUMENT NUMBER 2020090153 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE RAFAEL ALDERITE SURVEY NUMBER 12, ABSTRACT 21, COUNTY BLOCK 4320, AND THE GIL RODRIGUEZ SURVEY NUMBER 11, ABSTRACT 615, COUNTY BLOCK 4319 IN BEXAR COUNTY, TEXAS.



**PAPE-DAWSON  
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: January 27, 2025

STATE OF TEXAS  
COUNTY OF MONTGOMERY

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PATRICK VEDRA  
LGI HOMES - TEXAS, LLC,  
1450 LAKE ROBBINS DRIVE, SUITE 430  
THE WOODLANDS, TX 77380  
(281) 362-8998

STATE OF TEXAS  
COUNTY OF MONTGOMERY

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PATRICK VEDRA KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.

NOTARY PUBLIC, MONTGOMERY COUNTY, TEXAS

THIS PLAT OF LUCERO AT LUCKEY RANCH UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.

BY: \_\_\_\_\_  
CHAIRMAN

BY: \_\_\_\_\_  
SECRETARY

#### CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

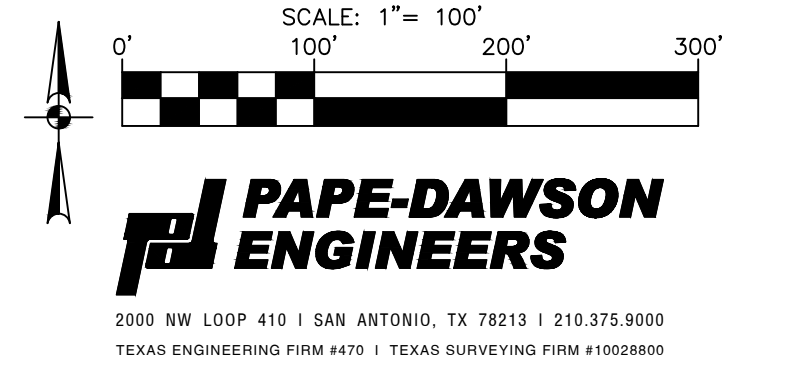
PLAT NO. 24-11800279

SUBDIVISION PLAT OF

LUCERO AT LUCKEY RANCH

UNIT 1A

BEING A TOTAL OF 5.027 ACRES OUT OF A 111.274 ACRE TRACT OF LAND SHOWN AS PHASE II TRACT RECORDED IN DOCUMENT NUMBER 2020090153 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE RAFAEL ALDERITE SURVEY NUMBER 12, ABSTRACT 21, COUNTY BLOCK 4320, AND THE GIL RODRIGUEZ SURVEY NUMBER 11, ABSTRACT 615, COUNTY BLOCK 4319 IN BEXAR COUNTY, TEXAS.



DATE OF PREPARATION: January 27, 2025

STATE OF TEXAS  
COUNTY OF MONTGOMERY

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PATRICK VEDRA  
LGI HOMES - TEXAS, LLC,  
1450 LAKE ROBBINS DRIVE, SUITE 430  
THE WOODLANDS, TX 77380  
(281) 362-8998

STATE OF TEXAS  
COUNTY OF MONTGOMERY

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PATRICK VEDRA KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_\_.

NOTARY PUBLIC, MONTGOMERY COUNTY, TEXAS

THIS PLAT OF LUCERO AT LUCKEY RANCH UNIT 1A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_\_.

BY: \_\_\_\_\_  
CHAIRMAN

BY: \_\_\_\_\_  
SECRETARY

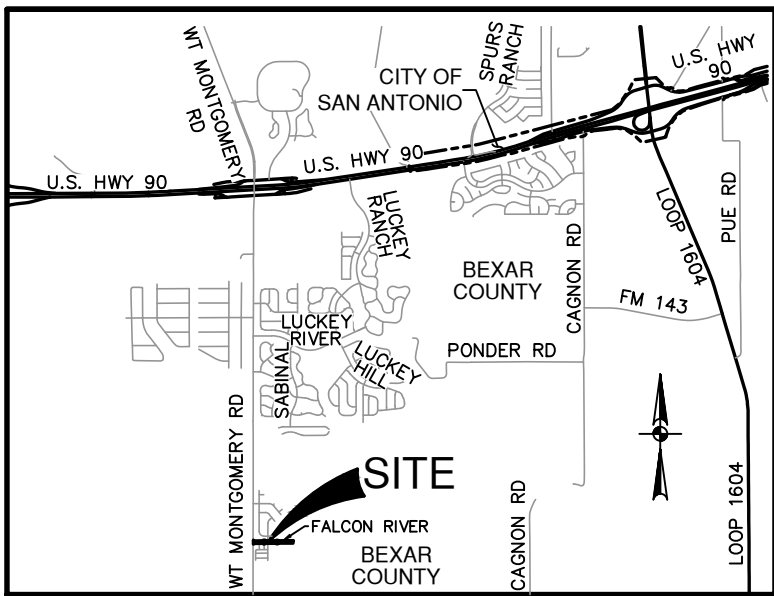
CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_\_.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



LOCATION MAP

NOT-TO-SCALE

LEGEND

|     |  |         |   |
|-----|--|---------|---|
| AC  | ACRE(S)  | VOL     | VOLUME  |
| BLK | BLOCK  | PG      | PAGE(S)   |
| BSL | BUILDING SETBACK LINE  | PR      | PLAT RECORDS OF BEXAR COUNTY, TEXAS   |
| CB  | COUNTY BLOCK   | ROW     | RIGHT-OF-WAY  |
| DPR | DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS   | VAR WID | VARIABLE WIDTH  |
| INT | INTERSECTION   | ●       | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)  |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS  | ○       | SET 1/2" IRON ROD (PD)  |
|     |  | ○       | SET 1/2" IRON ROD (PD)-ROW  |
|     |  | ○       | EASEMENT POINT OF INTERSECTION  |
| --- | 1140 EXISTING CONTOURS   |         |   |
| --- | 1140 PROPOSED CONTOURS   |         |   |
| --- | == ORIGINAL SURVEY/COUNTY LINE   |         |   |
| --- | € CENTERLINE   |         |   |
| ⑤   | 1' VEHICULAR NON-ACCESS EASEMENT (NOT TO SCALE) (OFF-LOT)(0.0195 ACRE)   | ①       | 14' ELECTRICAL EASEMENT (DOC #20140045268 OPR)  |
| ⑪   | 20' DRAINAGE, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (OFF-LOT)(0.0466 ACRE)  | ②       | 30' ACCESS EASEMENT A (DOC NO 20190219561, VOL 16948, PG 595 OPR)   |
| ⑫   | 20' SANITARY SEWER EASEMENT (OFF-LOT)(0.0555 ACRE)   | ③       | 30' DRAINAGE EASEMENT (DOC NO 20240182569)  |
| ⑬   | VARIABLE WIDTH SANITARY SEWER EASEMENT (OFF-LOT)(0.011 ACRE)   | ④       | 50' DRAINAGE EASEMENT (DOC NO 20240182574)  |
| ⑭   | 20' PUBLIC DRAINAGE EASEMENT (OFF-LOT)(0.0131 ACRE)  | ①       | UNPLATTED REMAINING PORTION OF PHASE II TRACT, 111.274 ACRES, LGI HOMES - TEXAS, LLC - (DOC. NO. 202000090153 OPR)            |
| ⑮   | 60' ACCESS, SANITARY SEWER, WATER, DRAIN, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED STREET RIGHT-OF-WAY (OFF-LOT) (0.0818 ACRE)                           | ②       | UNPLATTED TRACT I, 276.657 ACRES, LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC. NO. 20240193519)                    |
| ⑯   | VARIABLE WIDTH IRREVOCABLE INGRESS/EGRESS, DRAIN, SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (OFF-LOT) (0.0275 ACRE)  | ③       | UNPLATTED TRACT I, 28.284 ACRES BOARD OF TRUSTEES OF THE MEDINA VALLEY INDEPENDENT SCHOOL DISTRICT (DOC. NO. 20240133159 OPR) |
| ⑰   | VARIABLE WIDTH ACCESS, SANITARY SEWER, WATER, DRAINAGE, GAS, ELECTRIC, TELEPHONE, CABLE TV AND TURN-AROUND EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED STREET RIGHT-OF-WAY (OFF-LOT) (0.532 ACRE) | ③       | UNPLATTED TRACT I, 28.284 ACRES BOARD OF TRUSTEES OF THE MEDINA VALLEY INDEPENDENT SCHOOL DISTRICT (DOC. NO. 20240133159 OPR) |
| ⑱   | 5' WATER EASEMENT (OFF-LOT) (0.0169 ACRE)  |         |   |
| ⑲   | 5' LANDSCAPE EASEMENT (OFF-LOT) (0.1547 ACRE)  |         |   |
| ⑳   | 14' LANDSCAPE, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (OFF-LOT) (0.4033 ACRE)  |         |   |
| ㉑   | VARIABLE WIDTH SANITARY SEWER EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED STREET RIGHT-OF-WAY (OFF-LOT) (0.0216 ACRE)   |         |   |

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3/4" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE, DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE IN US SURVEY FEET, WITH SURFACE ADJUSTMENT FACTOR: 1.00017 OR COMBINE SCALE FACTOR: 0.9998300
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN EXISTS WITHIN BUILDABLE LOTS ON THIS PLAT AS VERIFIED BY FEMA MAP PANEL NO. 48029C0530F, EFFECTIVE SEPTEMBER 29, 2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

PRESSURE REDUCING VALVE NOTE:

PRESSURE REDUCING VALVE TO BE INSTALLED ON CUSTOMER'S SIDE OF METER BY HOMEOWNER.

NATURAL GAS NOTES:

- ENERTEX NB, LLC IS THE NATURAL GAS PROVIDER FOR THE PLATTED PROPERTY AND MAY BE CONTACTED AT (281) 252-6700 FOR FURTHER ASSISTANCE.
- THE MAINTENANCE OF THE PUBLIC UTILITY EASEMENT IS THE RESPONSIBILITY OF THE OWNER. ANY USE OF THE PUBLIC UTILITY EASEMENT MUST NOT INTERFERE WITH THE INTEGRITY OF THE NATURAL GAS PIPELINE.
- THE GAS COMPANY SHALL HAVE ACCESS TO THE GAS METER LOCATION FROM THE PUBLIC UTILITY EASEMENT. THE GAS METER SHALL NOT BE LOCATED IN A FENCED AREA.

FIBER OPTIC NOTES:

- CENTRIC FIBER, LLC IS THE FIBER OPTIC UTILITY PROVIDER FOR THE PLATTED PROPERTY AND MAY BE CONTACTED AT (281) 252-6700 FOR FURTHER ASSISTANCE.
- THE MAINTENANCE OF THE PUBLIC UTILITY EASEMENT IS THE RESPONSIBILITY OF THE OWNER. ANY USE OF THE PUBLIC UTILITY EASEMENT MUST NOT INTERFERE WITH THE INTEGRITY OF THE FIBER OPTIC UTILITY.
- CENTRIC FIBER, LLC SHALL HAVE ACCESS TO THE FIBER OPTIC EQUIPMENT FROM THE PUBLIC UTILITY EASEMENT.

RESIDENTIAL FINISHED FLOOR ELEVATION:

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS DEDICATION:

THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

DRAINAGE EASEMENT ENCROACHMENTS:

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINABLE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

TREE NOTE:

THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (TRE-AFF-PMT24-39002287) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(H).

COMMON AREA MAINTENANCE:

THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

COUNTY FINISHED FLOOR ELEVATION:

FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS CONTAINING FLOODPLAIN OR ADJACENT TO THE FLOODPLAIN SHALL BE IN COMPLIANCE WITH THE FLOODPLAIN REGULATION IN EFFECT AT TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR MORE INFORMATION.

CLEAR VISION:

CLEAR VISION AREAS MUST BE FREE OF VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (ASHTO) POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, OR LATEST REVISION THEREOF.

| LINE TABLE |             |         | LINE TABLE |             |         | LINE TABLE |             |        | LINE TABLE |             |         |
|------------|-------------|---------|------------|-------------|---------|------------|-------------|--------|------------|-------------|---------|
| LINE #     | BEARING     | LENGTH  | LINE #     | BEARING     | LENGTH  | LINE #     | BEARING     | LENGTH | LINE #     | BEARING     | LENGTH  |
| L1         | S89°57'52"E | 20.00'  | L15        | N55°36'29"W | 15.41'  | L29        | S33°15'03"W | 11.51' | L43        | S54°27'10"W | 29.20'  |
| L2         | S0°02'08"W  | 35.14'  | L16        | N89°29'32"E | 18.70'  | L30        | S0°30'28"E  | 20.00' | L44        | S0°02'08"W  | 64.36'  |
| L3         | S55°28'06"E | 16.91'  | L17        | S0°05'01"E  | 98.00'  | L31        | S89°29'32"W | 60.00' | L45        | N89°57'52"W | 20.00'  |
| L4         | N0°02'08"E  | 20.00'  | L18        | N89°29'32"E | 20.01'  | L32        | N0°30'28"W  | 20.00' | L46        | N54°27'10"E | 48.19'  |
| L5         | N89°02'22"E | 60.01'  | L19        | S28°06'42"W | 35.92'  | L33        | N34°15'59"W | 11.51' | L47        | S0°02'08"W  | 154.32' |
| L6         | S0°02'08"W  | 20.00'  | L20        | S0°05'01"E  | 38.27'  | L34        | S89°29'32"W | 69.68' | L48        | N55°28'06"W | 49.89'  |
| L7         | N0°30'28"W  | 20.00'  | L21        | S89°29'32"W | 29.87'  | L35        | S27°29'12"W | 33.85' | L49        | S89°02'22"W | 60.01'  |
| L8         | N89°29'32"E | 60.00'  | L22        | N0°01°50"W  | 16.00'  | L36        | N62°30'48"W | 20.00' | L50        | S89°29'32"W | 60.00'  |
| L9         | S0°30'28"E  | 20.00'  | L23        | S89°29'32"W | 123.19' | L37        | N27°29'12"E | 23.22' | L51        | N33°15'03"E | 28.35'  |
| L10        | N0°30'28"W  | 15.00'  | L24        | S0°30'28"E  | 129.07' | L38        | S34°20'15"W | 11.95' | L52        | N89°29'32"E | 60.00'  |
| L11        | S89°29'32"W | 20.00'  | L25        | S1°36'11"W  | 10.18'  | L39        | S0°02'08"W  | 20.00' | L53        | S34°15'59"E | 28.35'  |
| L12        | S0°30'28"E  | 15.00'  | L26        | N88°23'49"W | 20.00'  | L40        | N89°57°52"W | 60.00' | L54        | N34°20'15"E | 29.01'  |
| L13        | N89°29'32"E | 153.92' | L27        | N1°36'11"E  | 9.82'   | L41        | N0°02'08"E  | 20.00' | L55        | S89°57'52"E | 60.00'  |
| L14        | N0°05'01"W  | 40.33'  | L28        | N0°30'28"W  | 128.71' | L42        | N34°15'59"W | 11.11' | L56        | S34°15'59"E | 27.95'  |

| CURVE TABLE |        |           |               |              |
|-------------|--------|-----------|---------------|--------------|
| CURVE #     | RADIUS | DELTA     | CHORD BEARING | CHORD LENGTH |
| C1          | 25.00' | 52°35'12" | N26°19'44"E   | 22.15'       |
| C2          | 25.00' | 53°40'24" | S26°48'04"E   | 22.57'       |
| C3          | 15.00' | 41°48'37" | N20°23'50"E   | 10.70'       |
| C4          | 15.00' | 90°00'00" | S45°30'28"E   | 21.21'       |
| C5          | 94.21' | 79°30'38" | N72°52'00"W   | 120.50'      |
| C6          | 97.31' | 73°00'21" | N70°59'30"E   | 115.78'      |
| C7          | 25.00' | 89°27'24" | S44°45'50"W   | 35.19'       |
| C8          | 25.00' | 90°32'36" | N45°14'10"W   | 35.52'       |
| C9          | 15.00' | 90°00'00" | S44°29'32"W   | 21.21'       |
| C10         | 15.00' | 90°00'00" | N45°30'28"W   | 21.21'       |
| C11         | 50.00' | 24°28'16" | N71°11'29"W   | 21.19'       |