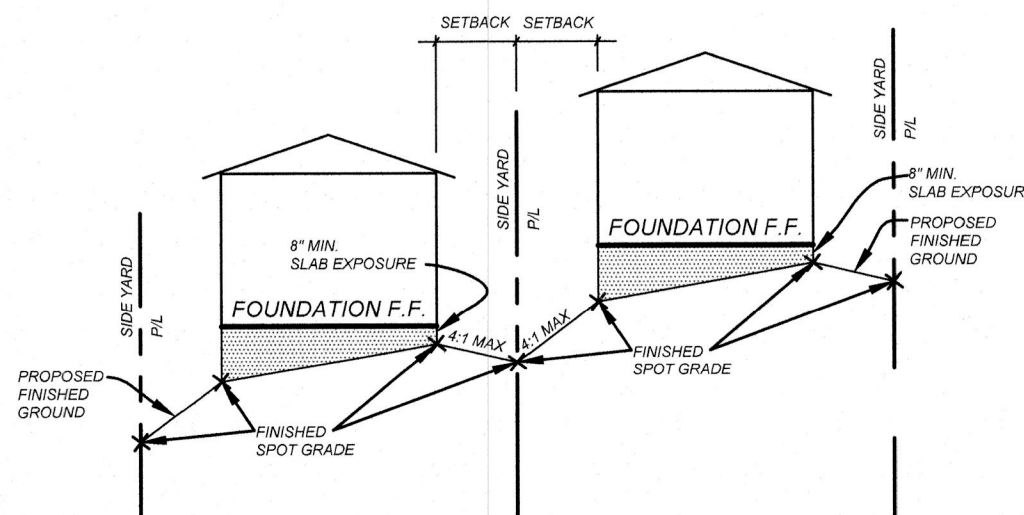


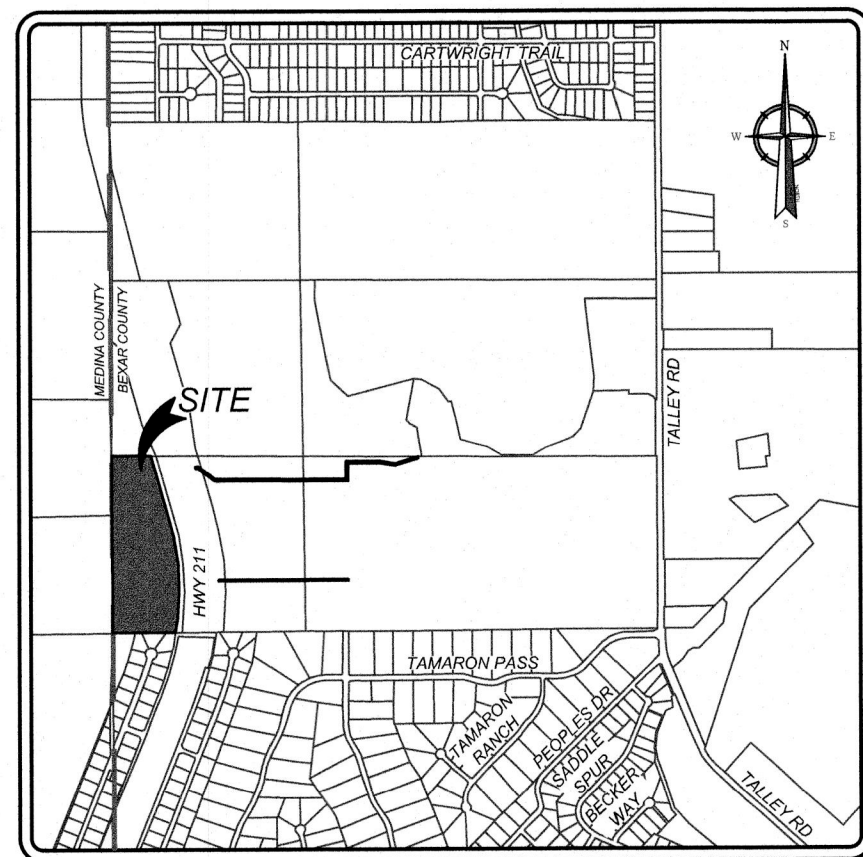
GENERAL NOTES:

- ELEVATION SHOWN ON FOUNDATION IS FOR FINISHED FLOOR.
- CONTRACTOR SHALL PROVIDE OWNER ALL NECESSARY DENSITY TESTS FOR FILL LOTS AS REQUIRED BY HUD SPECIFICATIONS.
- HOME BUILDER SHALL REFER TO THE APPROVED SUBDIVISION PLAT TO CONFIRM ALL BUILDING SETBACKS PRIOR TO ANY FOUNDATION WORK.
- AS SOON AS PRACTICAL HOME BUILDER SHALL ESTABLISH VEGETATION (HYDROMULCH, SEEDING, SODDING, ETC.) TO PREVENT EROSION FROM OCCURRING.
- CONTRACTOR SHALL CONTACT ENGINEER REGARDING ANY QUESTIONS ON THE INTENT OF THIS PLAN.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS AND TOWARDS THE PROPER DRAINAGE EASEMENT OR STREET RIGHT OF WAY ACCORDING TO THE MASTER DRAINAGE PLAN FOR THE PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW PONDING OF WATER.
- ALL ELEVATIONS AND CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVEMENT, CURBS, AND SIDEWALKS MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
- GRADING PLAN IS INTENDED FOR USE IN LOT GRADING ONLY. CONTRACTOR SHOULD REFER TO CONSTRUCTION DRAWINGS FOR ALL OTHER GRADES, INCLUDING, BUT NOT LIMITED TO, CHANNELS, ROADS, AND DETENTION PONDS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ALL SWALES.

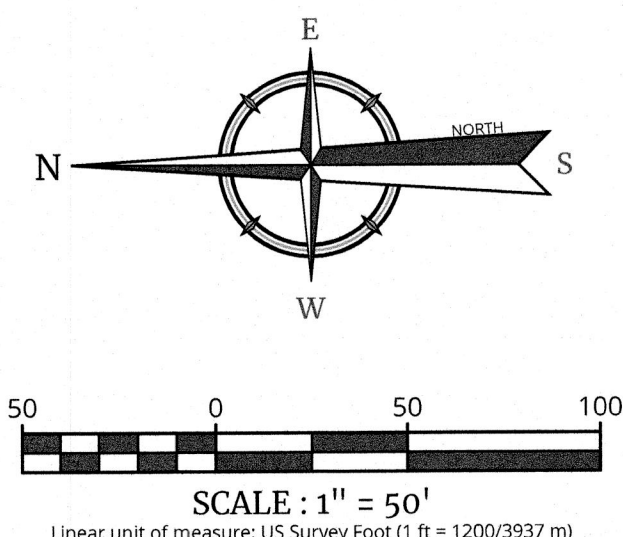
COUNTY FINISHED FLOOR ELEVATION - RELATIVE TO FLOOD PLAIN:
FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS CONTAINING
FLOOD PLAIN OR ADJACENT TO THE FLOOD PLAIN SHALL BE IN
COMPLIANCE WITH THE FLOOD PLAIN REGULATION IN EFFECT AT THE
TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR
MORE INFORMATION. (F-142(a) & (b)(1))



TYPICAL SIDE YARD GRADING
N.T.S.

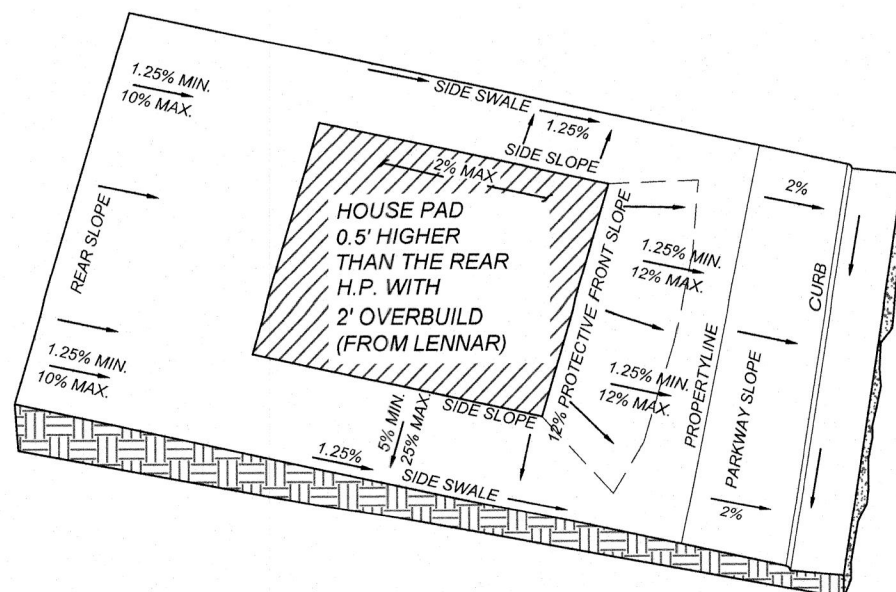


LOCATION MAP
N.T.S.

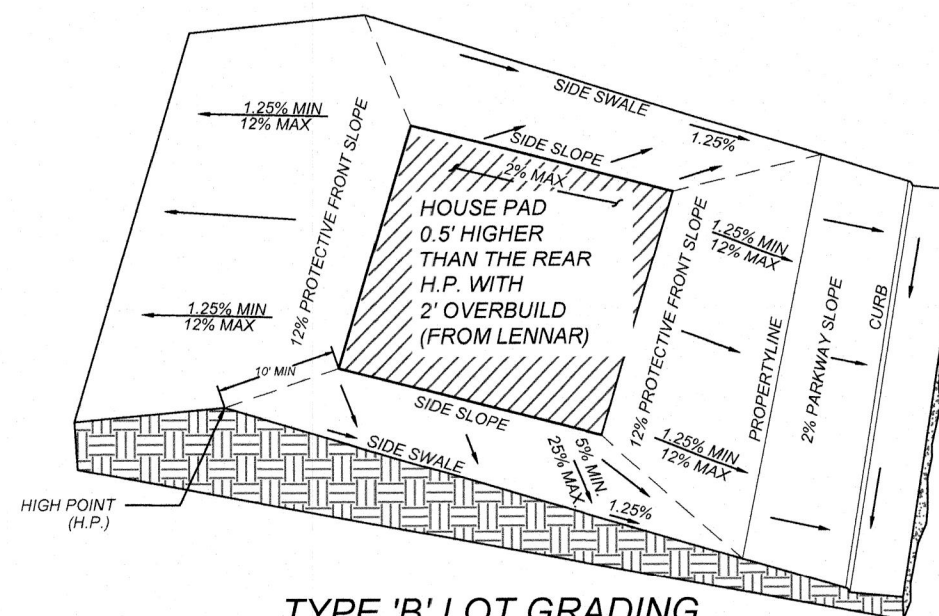


LEGEND

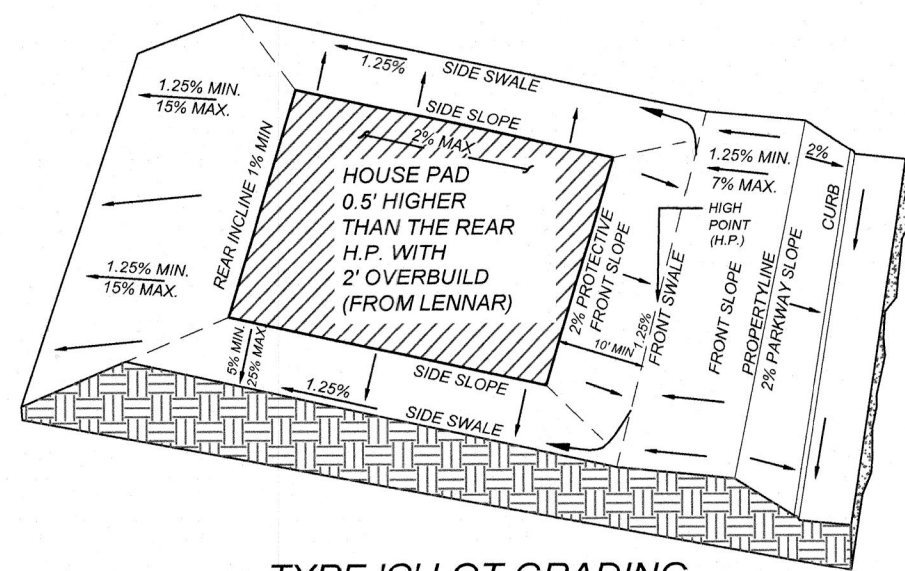
- E.G.T.V.E. = ELECTRIC, GAS, TELEPHONE, CABLE T.V. EASEMENT
- C.B. = COUNTY BLOCK
- V.N.A.E. = VEHICULAR NON-ACCESS EASEMENT
- = FLOW ARROW
- (A) = LOT GRADE TYPE
- H.P. = HIGH POINT
- F.F. MIN = 598.0' = FINISHED FLOOR MINIMUM ELEVATION AS REQUIRED PER FLOODPLAIN (SEE NOTE THIS SHEET)
- 735--- = EXISTING CONTOUR
- - -735- - - = PROPOSED CONTOUR
- + 731.69 = SPOT ELEVATION



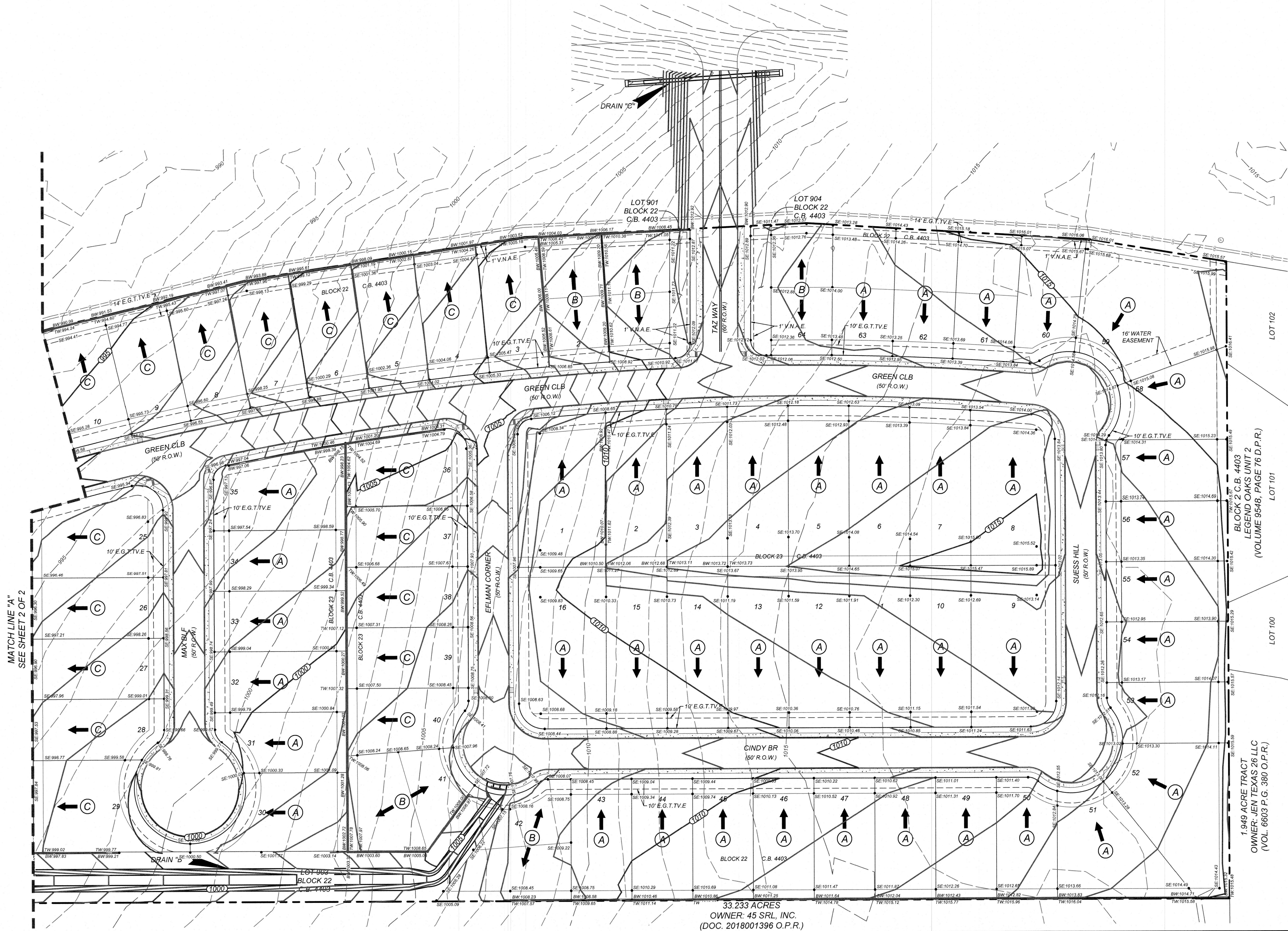
TYPE 'A' LOT GRADING



TYPE 'B' LOT GRADING



TYPE 'C' LOT GRADING



33.233 ACRES
OWNER: 45 SRL, INC.
(DOC. 2018001396 O.P.R.)

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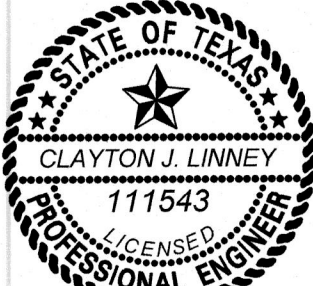
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Formerly Known as

KFW

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Clayton J. Linney
4/9/2024

PRELIMINARY

FOR
MORGAN HEIGHTS
PHASE 7
PLAT# 24-11800021

SAN ANTONIO
BEXAR COUNTY
TEXAS

Colliers

Engineering
& Design

SAN ANTONIO (KFW)
3421 Paesanos
Parkway
San Antonio, TX 78231
Phone: 210.979.8444
COLLIERS ENGINEERING & DESIGN, INC.
TPI's Permit # A-4000
TPI's Permit # 1015450

SCALE: DATE: DRAWN BY: CHECKED BY:
PROJECT NUMBER: MS CG
205-40-07
DRAWING NAME: GROUNDWATER -
DETAILED GRADING

SHEET TITLE:
DETAILED GRADING
PLAN





1 OF 2

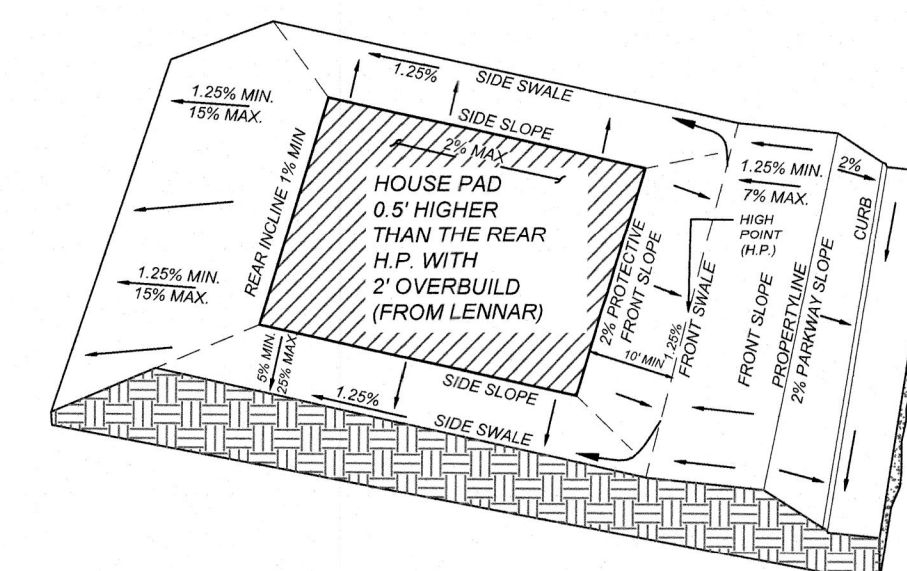
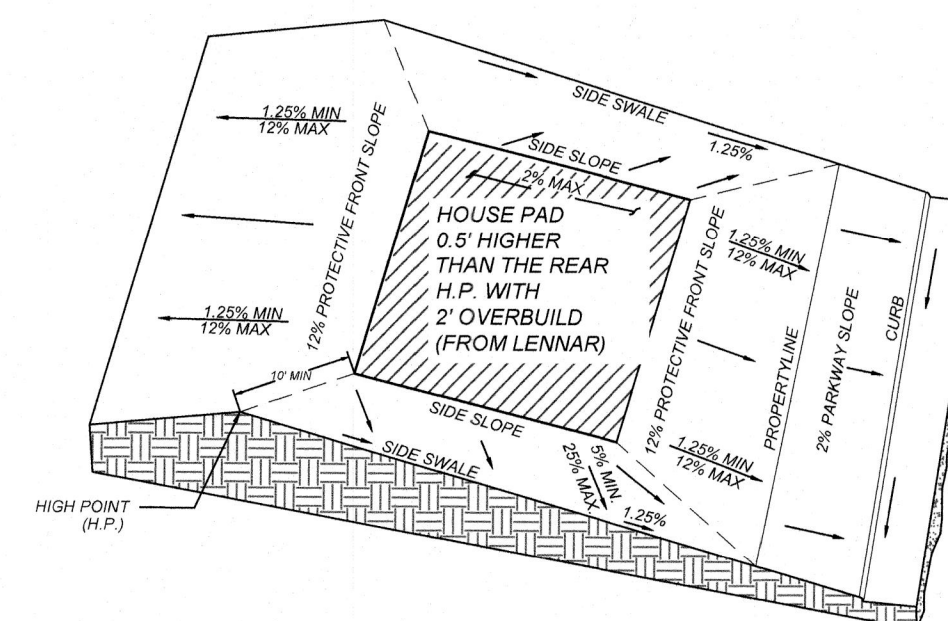
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

1. ELEVATION SHOWN ON FOUNDATION IS FOR FINISHED FLOOR.
2. CONTRACTOR SHALL PROVIDE OWNER ALL NECESSARY DENSITY TESTS FOR FILL LOTS AS REQUIRED BY HUD SPECIFICATIONS.
3. HOME BUILDER SHALL REFER TO THE APPROVED SUBDIVISION PLAN TO CONFIRM ALL BUILDING SETBACKS RELATIVE TO ANY FOUNDATION WORK.
4. AS SOON AS PRACTICABLE HOME BUILDER SHALL ESTABLISH VEGETATION (HYDROMULCH, SEEDING, SODDING, ETC.) TO PREVENT EROSION FROM OCCURRING.
5. CONTRACTOR SHALL CONTACT ENGINEER REGARDING ANY QUESTIONS ON THE INTENT OF THIS PLAN.
6. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS AND TOWARD THE PROPERTY MAIN DRAINAGE BASEMENT OR STREET RIGHT-OF-WAY. ACCORDING TO THE MASTER DRAINAGE PLAN FOR THE PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW PONDING OF WATER.
7. ALL ELEVATIONS AND CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF DRIVEWAY, CEMENT, CURBS, AND SIDEWALKS MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
8. GRADING PLAN IS INTENDED FOR USE IN LOT GRADING ONLY. CONTRACTOR SHOULD REFER TO CONSTRUCTION DRAWINGS FOR ALL OTHER GRADES, INCLUDING, BUT NOT LIMITED TO, CHANNELS, ROADS, AND DETENTION BASINS.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ALL SWALES.

COUNTY FINISHED FLOOR ELEVATION - RELATIVE TO FLOOD PLAIN:
FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS CONTAINING FLOOD PLAIN OR ADJACENT TO THE FLOOD PLAIN SHALL BE IN COMPLIANCE WITH THE FLOOD PLAIN REGULATION IN EFFECT AT THE TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR MORE INFORMATION. (F-142) (a) & (b)(1))



- | | | |
|---|---|---------------------------|
| E.G.T.V.E | = | ELECTRIC, GAS, TELEPHONE, |
| C.B. | = | CABLE T.V. EASEMENT |
| V.N.A.E | = | COUNTY BLOCK |
| | = | VEHICULAR NON-ACCESS |
|  | = | EASEMENT |
| | = | FLOW ARROW |
|  | = | LOT GRADE TYPE |
| H.P. | = | HIGH POINT |
| F.F. MIN= 598.0 | = | FINISHED FLOOR MINIMUM |
| | = | ELEVATION AS REQUIRED |
| | = | PER FLOODPLAIN (SEE |
| | = | NOTE THIS SHEET) |
| --- 735 | = | EXISTING CONTOUR |
|  | = | PROPOSED CONTOUR |
|  | = | EXISTING CONTOUR |
| + 731.69 | = | SPOT ELEVATION |

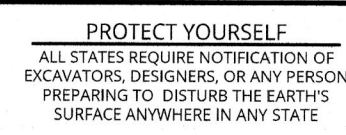


82.213 ACRES
OWNER: 45 SRL, INC.
(VOL. 685 PG. 558 O.P.R.)

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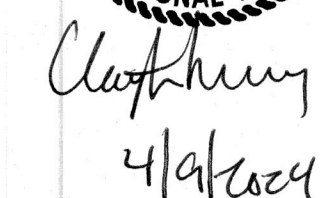
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FOR
MORGAN HEIGHTS
PHASE 7
PLAT# 24-11800021

Engineering
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SAN ANTONIO (KFW)
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Parkway
San Antonio, TX 78231
Phone: 210.979.8444
COLLIERS ENGINEERING & DESIGN, INC.
TBPE Firm#: F-14909
TRPS Firm#: 10194550

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
		MS	CG

PROJECT NUMBER: 205-40-07	DRAWING NAME: GR2054007 - DETAILED GRADING
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SHEET TITLE:
DETAILED GRADING
PLAN

SHEET NUMBER: 2 OF 2

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION