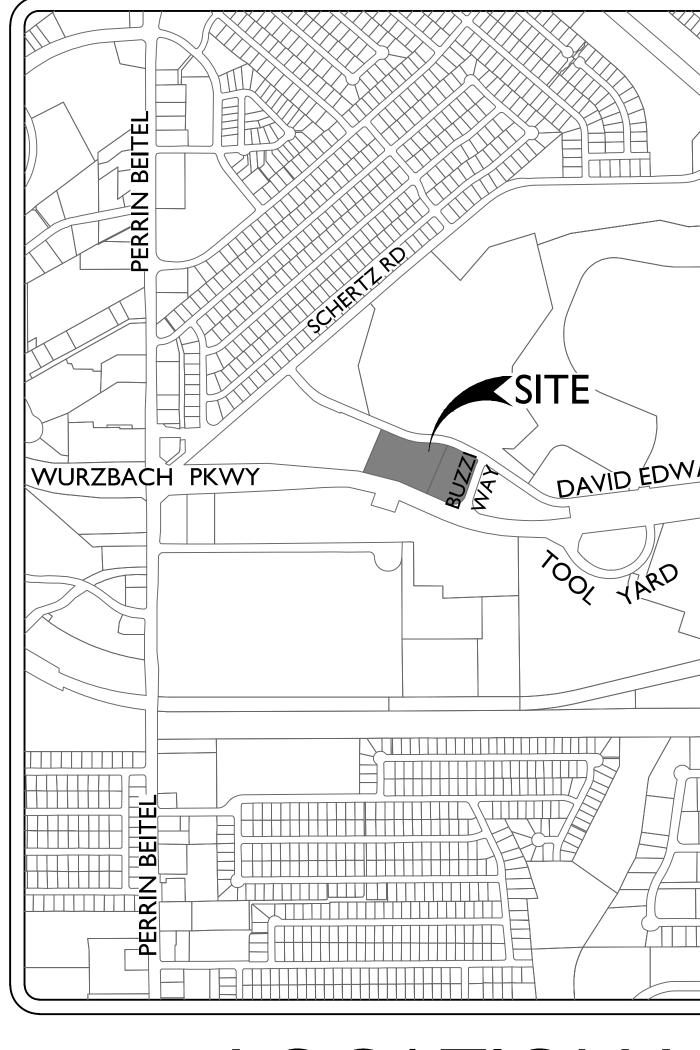
MORGAN'S HOTEL AND RESTAURANT 4502 & 4514 DAVID EDWARDS DR, SAN ANTONIO, TX 78233



LOCATION MAP NOT TO SCALE

DAVID EDWARDS DR WURZBACH QPO4 \approx PACIFIC (35)

DESCRIPTION COVER SHEET EXISTING CONDITIONS AND SITE PLAN FIRE PROTECTION PLAN DIMENSIONAL CONTROL PLA OVERALL UTILITY PLAN UTILITY DETAILS SHEET I UTILITY DETAILS SHEET II **GRADING PLAN** PAVING PLAN STORM DRAIN PLAN DRAIN DETAIL SHEET I DRAIN DETAIL SHEET II DRAIN DETAIL SHEET III CIVIL DETAIL SHEET I CIVIL DETAIL SHEET II EROSION CONTROL PLAN **EROSION CONTROL DETAIL**

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, DENIS A. AVENDANO PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS. HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THESE PLANS AND ALL ENGINEERING ASPECTS ARE IN COMPLIANCE WITH CITY AND STATE ENGINEERING REGULATIONS AND LAWS.

REGISTERED PROFESSIONAL ENGINEER P.E. REGISTRATION NO. 137588

SHEET INDEX

	SHEET NO.
	C1.0
DEMOLITION PLAN	C2.0
	C3.0
	C4.0
AN	C5.0
	C6.0
	C6.1
	C6.2
	C7.0
	C8.0
	C9.0
	C9.1
	C9.2
	C9.3
	C10.0
	C10.1
	C11.0
SHEET	C11.1

OWNER/DEVELOPER INFORMATION GORDON HARTMAN FAMILY FOUNDATION - CAPITAL 5210 THOUSAND OAKS, SUITE 1318 SAN ANTONIO, TX 78233

SUBDIVISION PLAT RECORDED IN VOLUME 20002, PAGES 1179-1180 OF DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

BENCHMARK: BM #322: SET BENCHMARK; SET MAG NAIL IN CURB

ELEV. 754.46' BM #323: SET BENCHMARK: SET MAG NAIL IN CURB

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Curve Table						
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST	
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COORDINATION NOTE

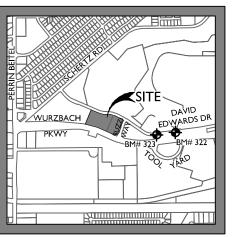
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6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.



BENCHMARK LOCATIONS N.T.S.

RENCH EXCAVATION SAFETY PROTECTION NOTE CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROIECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

JTION!!: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR RIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT I-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

> REFERENCE TREE PRESERVATION PLAN BY LANDSCAPE ARCHITECT FOR REMOVAL AND TREE PROTECTION DETAILS.

DEMOLITION NOTES

- SALVAGE.

- CONSTRUCTION.

10.

- DEMOLISHED OR UNWANTED MATERIAL.

1~~~ CONTRACTOR TO SAWCUT AND REMOVE ±87 L.F. OF EXISTING CURB AND SIDEWALK N66° 54' 36"W 145.77'-→8"SS —8"SS ~8"SS —_E12"₩___E12"₩___Ę12"₩___E12"₩___E12"₩___E12 REMOVE RIP-RAP AND STORM - -- PIPE TO CONNECT PROPOSED STORM SEWER 14' ELEC, GAS, TELE, CATV EASEMENT (VOL. 20002, PGS. 1179-1180 D.P.R.) VARIABI F WIDTH PRIVATE DRAINAGE EASEMENT 🦟 (VOL. 20002, PGS. 1179-1180 D.P.R.) 🗡 LOT 2, BLOCK 16 N.C.B. 14945 3.704 AC LONGHORN QUARRY - UNIT 3 (VOL. 20002, PG. 1179-1180, P.R.) SHE JUNIPER 16 g16 CONTRACTOR TO REMOVE EXISTING BARBED WIRE FENCE VARIABLE WIDTH DRAINAGE EASEMENT (VOL. 6942, PG. 1739 O.P.R.) REMOVE HEADWALL, WINGWALL, RIP-RAP AND STORM PIPE TO NNECT PROPOSED STORM SEWE ' VEHICULAR NON ACCESS EASMENT (VOL. 20002, PGS. 1179-1180 D.P.R.)

LOCATION OF EXISTING UTILITIES AND DRAINAGE SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.

CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR

CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.

DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CPS ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY CPS ENERGY AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH CPS ENERGY AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES.

CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND OWNER FOR ANY TREE REMOVAL AND/ OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO

CONTRACTOR SHALL COORDINATE WITH CPS ENERGY TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.

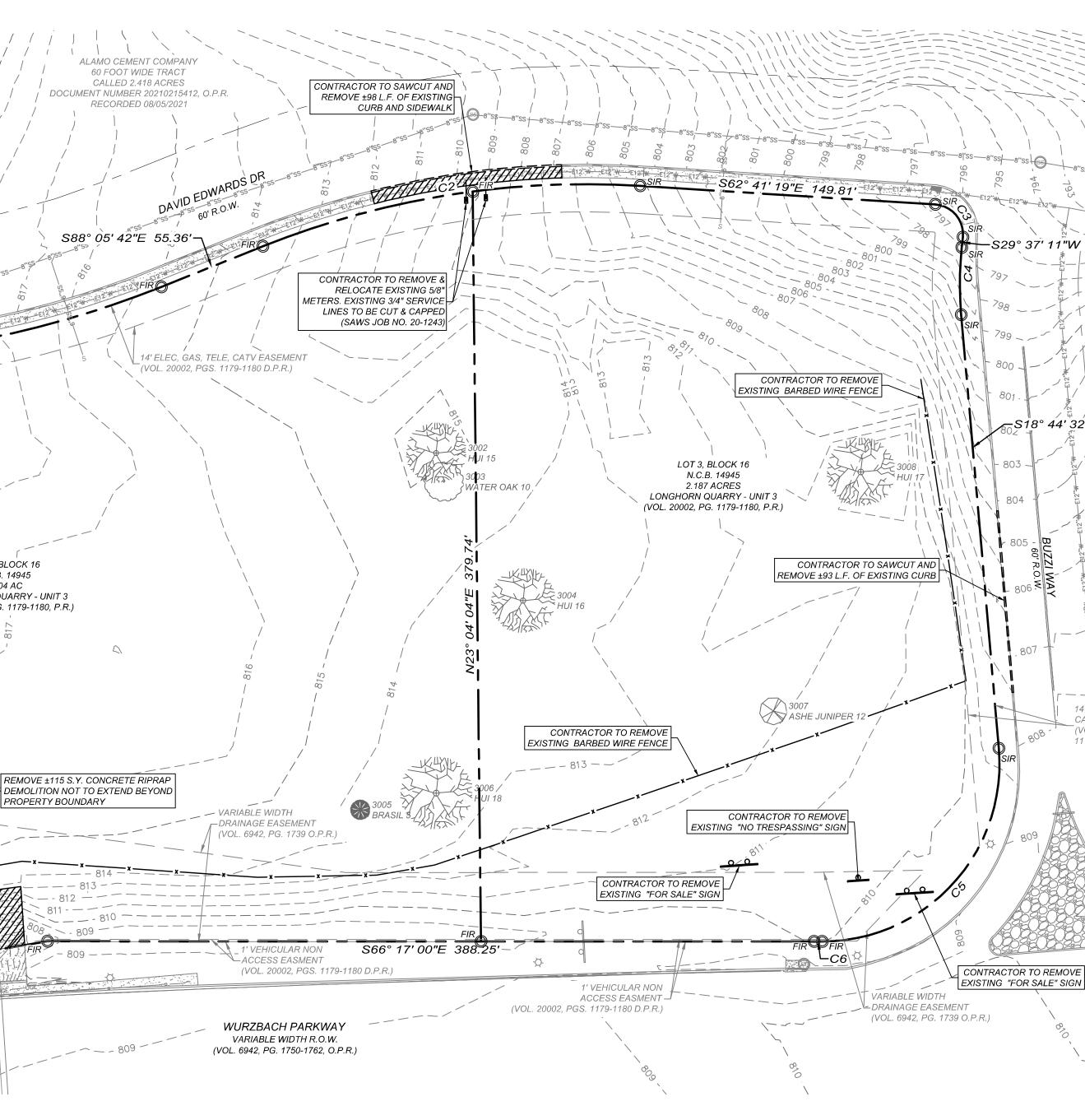
CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL A STORM WATER POLLUTION PREVENTION PLAN IS INSTALLED AND COMPLETED.

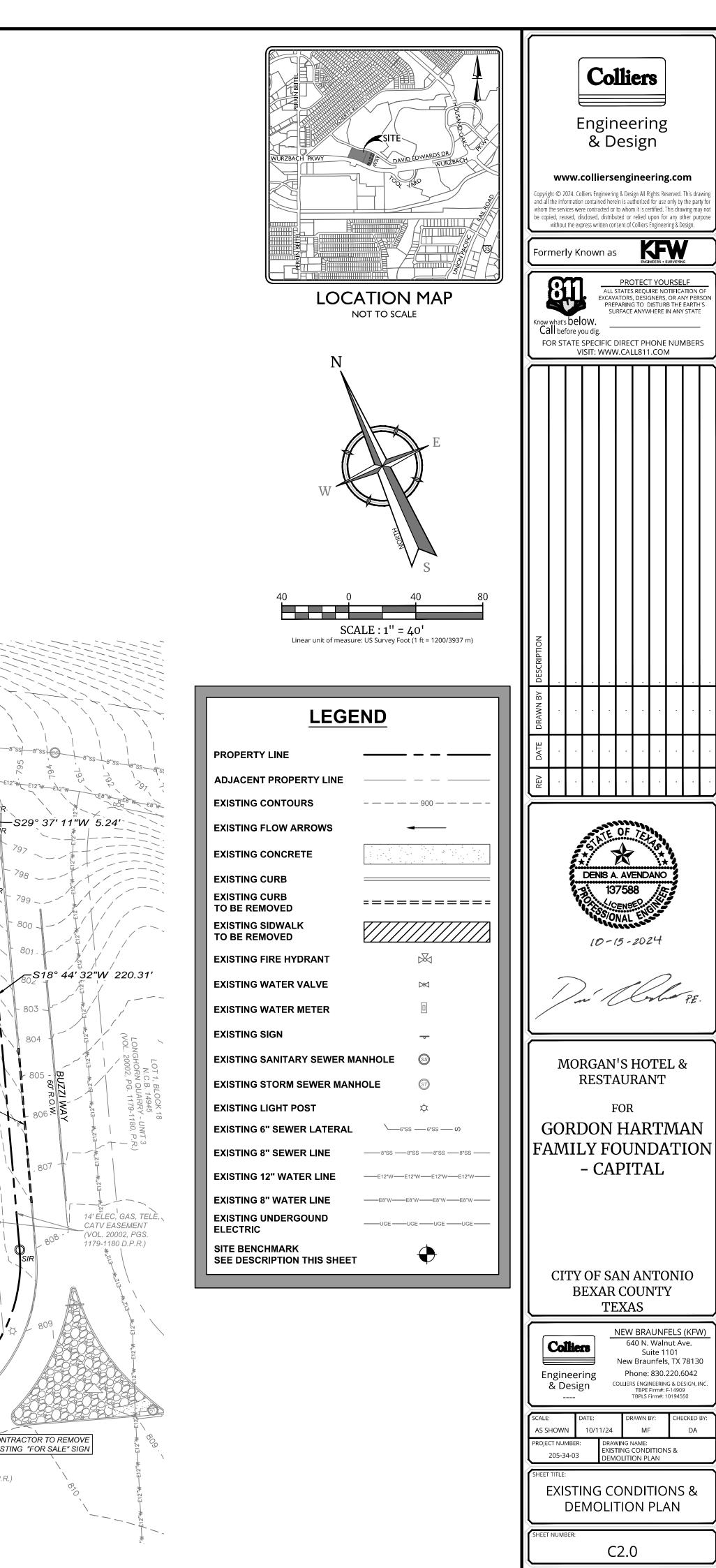
THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL

- 12. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY 13 CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL NOT DEMOLISH ANY SAWS WATER OR SANITARY SEWER LINE WITHOUT 4. SAWS APPROVAL.
- CONTRACTOR SHALL INSTALL A MINIMUM 6-FOOT HIGH, CHAIN LINK, PROTECTIVE FENCE 15. ALONG THE PERIMETER OF THE CONSTRUCTION/DEMOLITION LIMITS. PROTECTIVE FENCE SHALL BE IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE AND IN GOOD REPAIR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL TAKE SPECIAL CARE TO INSTALL VEHICULAR BARRIERS AND FENCING TO PROHIBIT VEHICULAR AND PEDESTRIAN ACCESS-TO THAT AREA CONTRACTOR SHALL COORDINATE WITH THE OWNER TO ENSURE THAT FENCING AND BARRIERS INSTALLED ARE ADEQUATE.

EXISTING UTILITY NOTES:

- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION, ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION. (SEE COORDINATION NOTES ON THIS SHEET)
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. 4. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.





60' R.O.W.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

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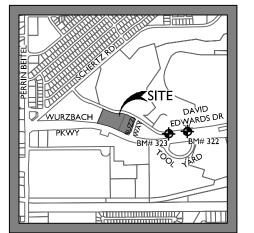
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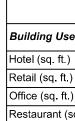
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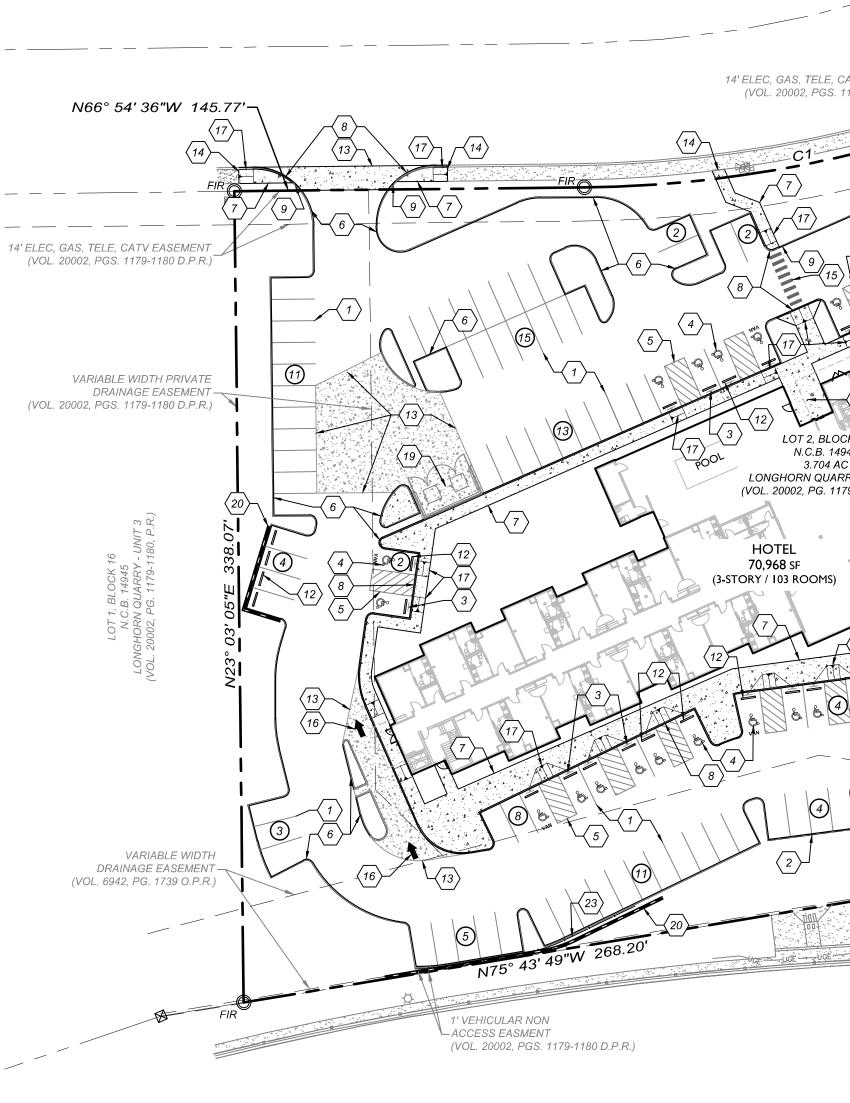
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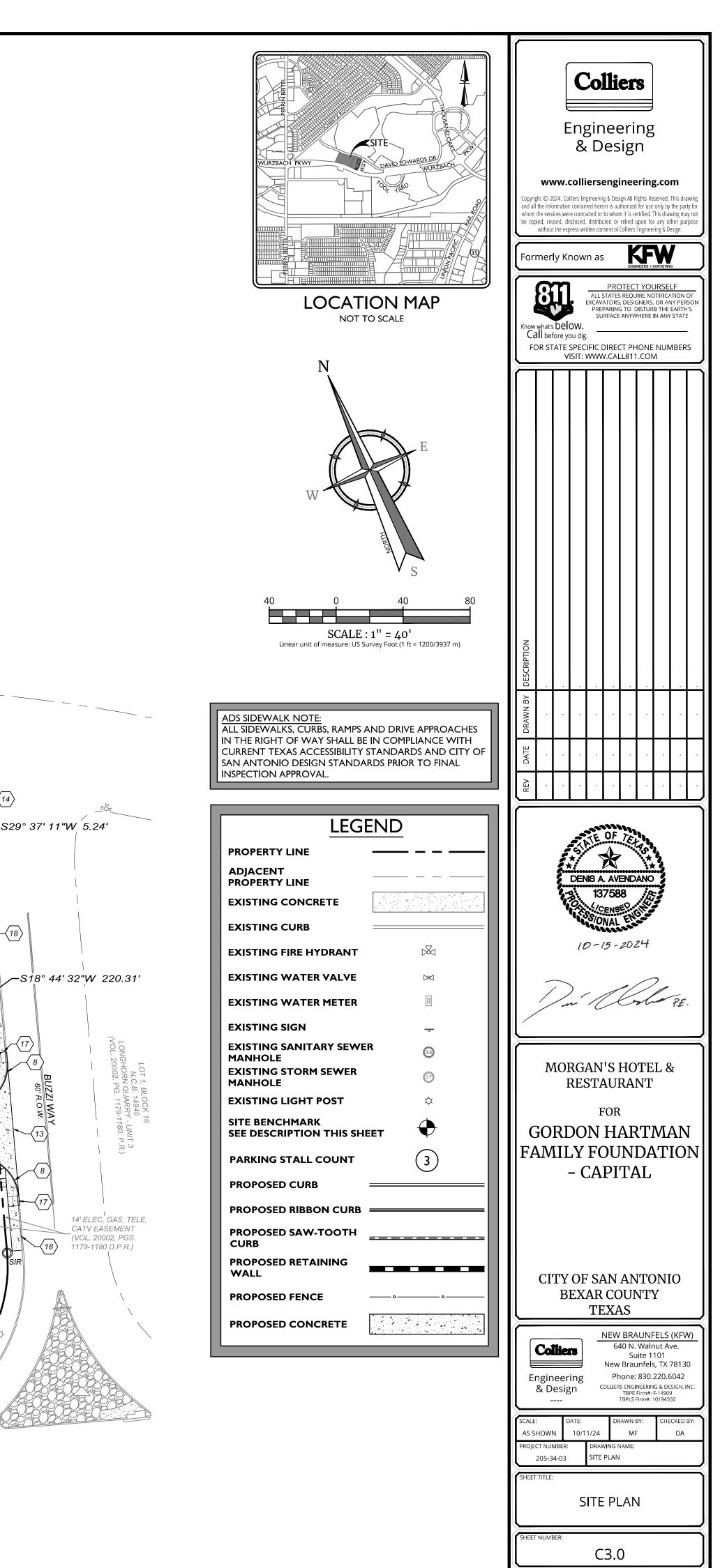


BENCHMARK LOCATIONS N.T.S.





TRAFFIC / SW SUMMAF MORGAN'S HOTEL, RETAIL, OFFIC	CE & RESTAURANTS				
Building Use	HOTEL, RETAIL, OFFICE & RESTAURANT				
Hotel (sq. ft.) Retail (sq. ft.)	70,968 SQ FT (3 Stories) 9,000 SQ FT (1st Story)				
Office (sq. ft.)	9,000 SQ FT (2nd Story)				
Restaurant (sq. ft.) Gross Floor Area (sq. ft.)	6,120 SQ FT (1 Story) 95,088 SQ FT				
PARKING STORAGE STANDARDS Parking Ratio (Hotel - 103 Rooms)	0.8 per Room & 1 to 800		KEYI	VOTES	
Parking Ratio (Retail) Parking Ratio (Office)	to 300		$\left< \frac{1}{1} \right>$ TYPICAL PARKING SPACES	$\overline{12}$	WHEELSTOP (QUANTITY: 43)
Parking Ratio (Restaurant)	to 00		(SEE DETAIL / CI0.0)	$\langle 12 \rangle$	(SEE DETAIL 12 / C10.0)
REGULAR			2 SAWTOOTH CURB (SEE DETAIL 2 / C10.0)	(13)	CONCRETE / ASPHALT PAVEMENT JUNCTURE (SEE DETAIL I3 / C10.0)
Minimum Required Parking (Hotel) Minimum Required Parking (Retail)	89 30		$\begin{pmatrix} 3 \end{pmatrix}$ HANDICAP SIGN (SEE DETAIL 3 / CLOD)	$\langle 14 \rangle$	SIDEWALK / SIDEWALK JUNCTURE
Minimum Required Parking (Office)	30				(SEE DETAIL 14 / C10.0)
Minimum Required Parking (Restaurant) Minimum Required Parking (Total)	63 211		4HANDICAP PARKING SYMBOI(SEE DETAIL 4 / CI0.0)	L (15)	CROSSWALK (SEE DETAIL 15 / C10.0)
Maximum Compact Spaces (30%) Total Spaces Provided	64 273		$\left< \frac{5}{5} \right> CROSS HATCH STRIPING$	$\langle 16 \rangle$	
					(SEE DETAIL 16 / C10.0)
HANDICAPPED (ADA) Required Handicap Parking (Including van)	7		6 6 STANDARD CURB (SEE DETAIL 6 / C10.0)	$\langle 17 \rangle$	PROPOSED CURB RAMP (SEE DETAIL 17 / CI0.0)
Required Van Accessible Parking	2		$\left< \frac{7}{7} \right>$ TYPICAL SIDEWALK	$\langle 18 \rangle$	
Proposed Handicap Parking (Including van) Proposed Van Accessible Parking	35 9				(SEE SHEET CI0.1 FOR DETAILS)
BICYCLE RACK			8 HEADER CURB (SEE DETAIL 8 / C10.0)	$\langle 19 \rangle$	DUMPSTER ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
Required Bike Racks (10% Of Min.)	22 (Max per Sec. 35-526(b)(8)		$\left< \frac{9}{9} \right> 2'$ CURB TRANSITION (SEE DETAIL 9 / C10.0)	$\langle 20 \rangle$	
Proposed Bike Racks	24		, , , , , , , , , , , , , , , , , , ,	<u></u>	(SEE STRUCTURAL PLANS FOR DETAILS)
APPROACH(ES)			(10) COMPACT PARKING STALL (SEE DETAIL IO / C10.0)	21	SIDEWALK BOX DRAIN (SEE SHEET CI0.I FOR DETAILS)
Approach Width- (ft.)	26' & 30' (DAVID EDWARDS)			$\langle 22 \rangle$	FIRE HYDRANT GUARD POST
	30' (BUZZI WAY)		(SEE DETAIL 11 / C10.0)		(SEE SHEET C6.2 FOR DETAILS)
Flare/Radius (ft.)	25' RADIUS 473 S.F. & 562 S.F.			23	BARRIER FENCE (OWNER SPECIFY TYPE)
Approach Area-(s.f)	(DAVID EDWARDS) 523 S.F.				EXTENDED CURB
	(BUZZI WAY)			$\langle 24 \rangle$	(SEE SHEET CI0.I FOR DETAILS)
SIDEWALK(S)	6' ALONG DAVID EDWARDS AND				
Public Sidewalk Width - (ft.) Public Sidewalk Length (linear ft.)	6' ALONG BUZZI WAY 45' ALONG DAVID EDWARDS AND				
Public Sidewalk Area (sq. ft.)	218' ALONG BUZZI WAY 1,578 ±				
ALAMO CEMENT CO 60 FOOT WIDE TR					
CALLED 2.418 AC DOCUMENT NUMBER 20210	RES				
RECORDED 08/05	/2021				
		<u> </u>	×		
			(17) (14)		
	WARDS DR	(14) (17) C2 (F)			19"E 149.81'
D	AVID EDWARDS DR 60' R.O.W.			23	
		7 9 6			SIR SIR
S88° 05' 42"E 55	5.36'				
C, GAS, TELE, CATV EASEMENT L. 20002, PGS. 1179-1180 D.P.R.)			PROPOSED 16'		
FIRE			WATER EASEMENT		
	$\overline{(5)}$				
	17		RETAIL / OFFI	CE	
$\left(\begin{array}{c} & & \\ & & \\ & & \\ \end{array} \right) = \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & & \\ & & \\ & & \\ \end{array} \right) \left(\begin{array}{c} & & \\ & \\ & & \\ & & \\ & \\ & & \\ & \\ & \\ & & \\ $	8	$\left \begin{array}{c} 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 $	→ 18,000 SF (2-STORY)		
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	The second second		N.C	C.B. 14945 87 ACRES	
	12			N QUARRY - UNIT 3 PG. 1179-1180, P.F	
	(17) 8				
LOT 2, BLOCK 16 N.C.B. 14945					
3.704 AC NGHORN QUARRY - UNIT 3 . 20002, PG. 1179-1180, P.R.)	(4) JAN		(6) (4) (5)		
OTEL					
968 SF					
/ 103 ROOMS)				(17)	
		$\begin{pmatrix} 1 \end{pmatrix} \begin{pmatrix} 6 \end{pmatrix} \begin{pmatrix} 13 \end{pmatrix} \begin{pmatrix} $		6,120 SF	
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	5			8	C ⁵
20>	1' VEHICULAR NON	566° 17' 00"E 388.2	25'	20	FIR
	ACCESS EASMENT (VOL. 20002, PGS. 11		× 4		
UCE	<u>، (یمنی:)</u>		1' VEHICULAR NON		VARIABLE WIDTH
			(VOL. 20002, PGS. 1179-1180 D.P.R.)		V DRAINAGE EASEMENT (VOL. 6942, PG. 1739 O.P.R.)
	WURZBACH PARKW VARIABLE WIDTH R.O.V	<i>N</i> .			
	(VOL. 6942, PG. 1750-1762, (U.F.R.)			



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PRIOR TO THE START OF CONSTRUCTION.

SEQUENCE OF CONSTRUCTION:

INSTALLATION OF BMP'S SITE CLEARING ACTIVITIES

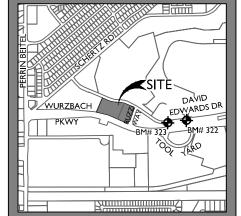
ROUGH SUBGRADE PREPARATION WET AND DRY UTILITY CONSTRUCTION

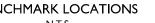
FINAL SUBGRADE PREPARATION INSTALLATION OF BASE MATERIALS

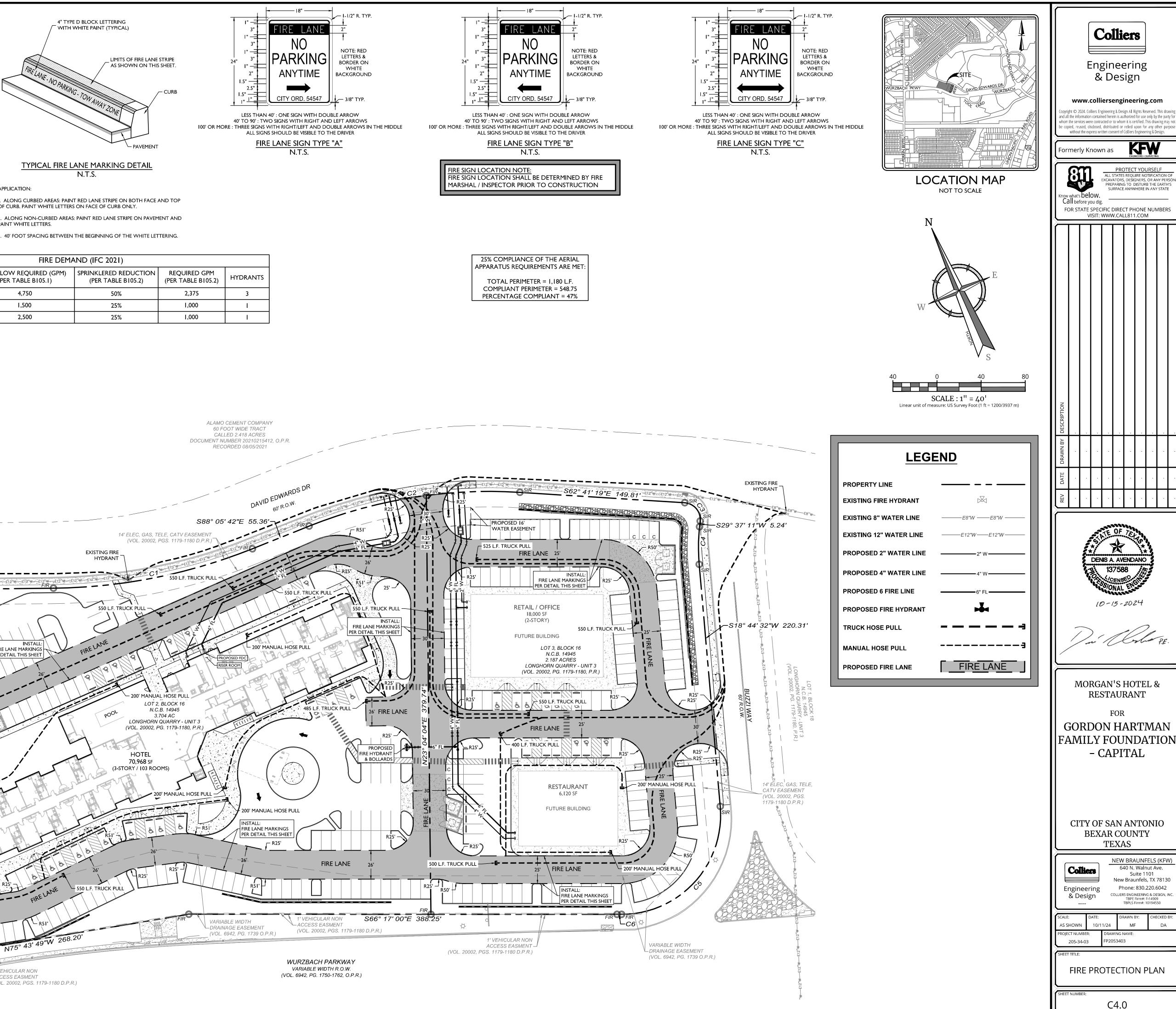
CONCRETE (FOUNDATION, CURBS, FLATWORK) **BUILDING CONSTRUCTION**

PAVING ACTIVITIES TOPSOIL, IRRIGATION AND LANDSCAPING

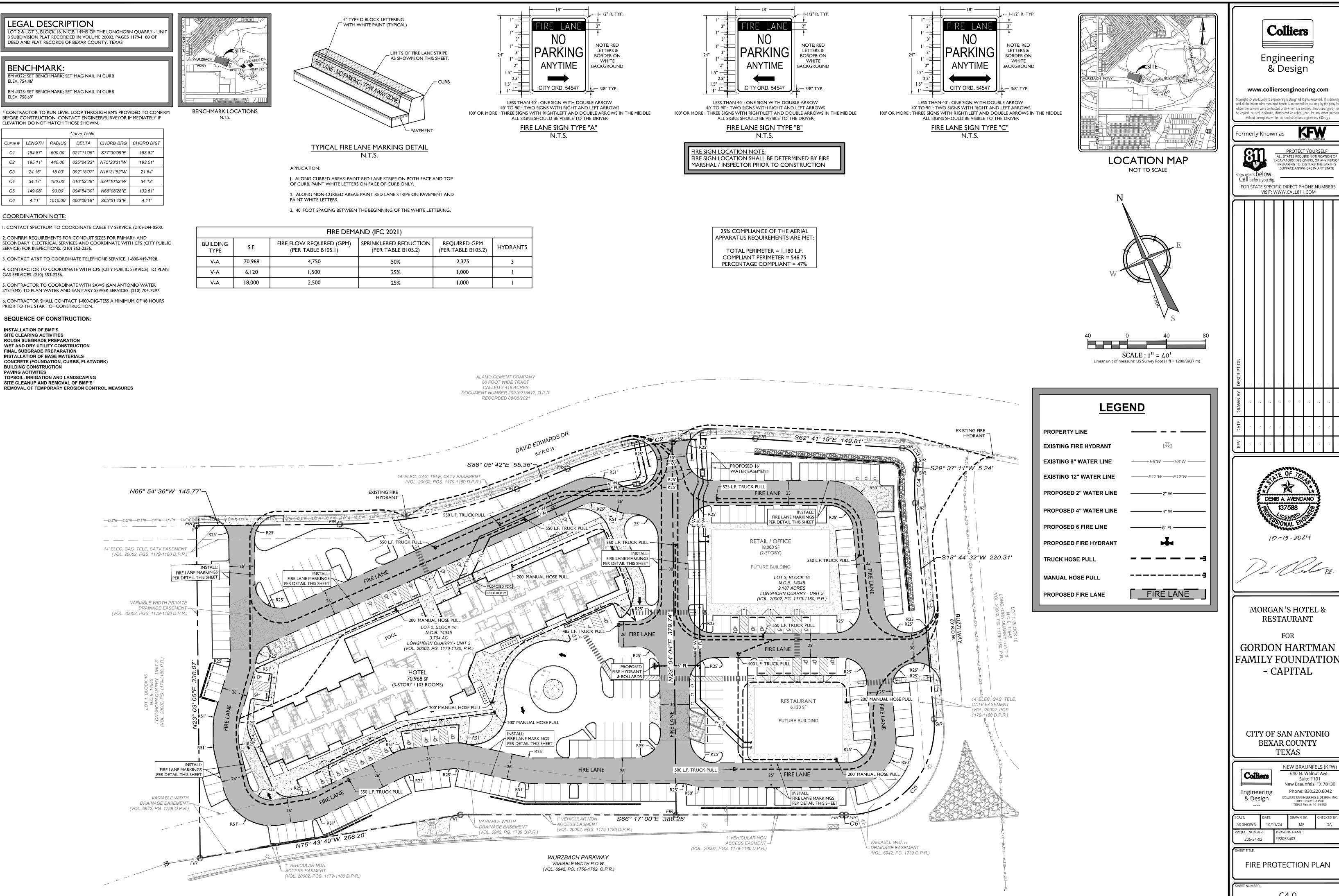
SITE CLEANUP AND REMOVAL OF BMP'S REMOVAL OF TEMPORARY EROSION CONTROL MEASURES







	FIRE DEMAND (IFC 2021)							
BUILDING TYPE	S.F.	FIRE FLOW REQUIRED (GPM) (PER TABLE B105.1)	SPRINKLERED REDUCTION (PER TABLE B105.2)	(P				
V-A	70,968	4,750	50%					
V-A	6,120	I,500	25%					
V-A	18,000	2,500	25%					



3 SUBDIVISION PLAT RECORDED IN VOLUME 20002, PAGES 1179-1180 OF DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

BENCHMARK: BM #322: SET BENCHMARK; SET MAG NAIL IN CURB

ELEV. 754.46' BM #323: SET BENCHMARK; SET MAG NAIL IN CURB ELEV. 758.69'

* CONTRACTOR TO RUN LEVEL LOOP THROUGH BM'S PROVIDED TO CONFIRM BEFORE CONSTRUCTION. CONTACT ENGINEER/SURVEYOR IMMEDIATELY IF ELEVATION DO NOT MATCH THOSE SHOWN.

	Curve Table						
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST		
C1	184.87'	500.00'	021°11'05"	S77°30'09"E	183.82'		
C2	195.11'	440.00'	025°24'23"	N75°23'31"W	193.51'		
СЗ	24.16'	15.00'	092°18′07"	N16°31′52″W	21.64'		
C4	34.17'	180.00'	010°52'39"	S24°10'52"W	34.12'		
C5	149.08'	90.00'	094°54'30"	N66°08′28″E	132.61'		
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COORDINATION NOTE:

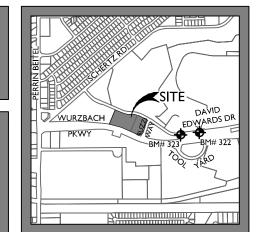
I. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-244-0500. 2. CONFIRM REQUIREMENTS FOR CONDUIT SIZES FOR PRIMARY AND

SECONDARY ELECTRICAL SERVICES AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS. (210) 353-2256.

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. I-800-449-7928. 4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN

GAS SERVICES. (210) 353-2256. 5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEMS) TO PLAN WATER AND SANITARY SEWER SERVICES. (210) 704-7297.

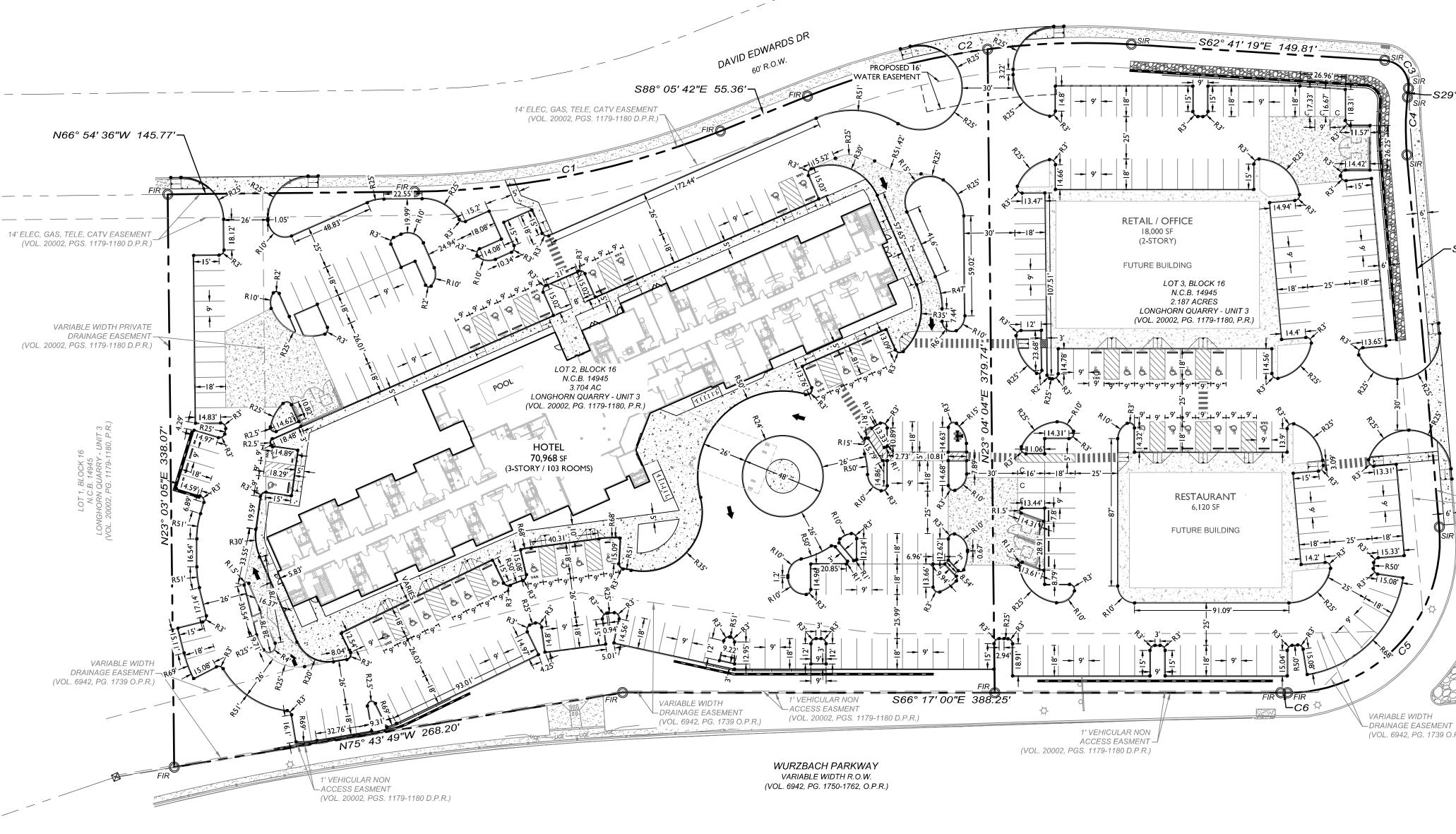
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.



BENCHMARK LOCATIONS N.T.S.

<u>NOTES</u>:

- I. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
- 2. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES, MARKS, ETC. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- ALL CURBS ARE 6" HIGH UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, OR SIDEWALKS (NO SEPARATE PAY ITEM).
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY SERVICES DURING CONSTRUCTION.
- 7. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- 8. ALL COORDINATE POINTS FOR THE ROADWAY SYSTEM ARE TO FACE OF CURB.
- 9. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW PAVEMENT, CURBS, AND SIDEWALK JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
- 10. THE COORDINATES ON THIS SHEET ARE IN SURFACE COORDINATES, AND A SCALE FACTOR OF 0.99983002889508783506803843346631 \\ 1.00017 WILL BE REQUIRED TO CONVERT TO GRID COORDINATES.



ALAMO CEMENT COMPANY

60 FOOT WIDE TRACT CALLED 2.418 ACRES DOCUMENT NUMBER 20210215412, O.P.R. RECORDED 08/05/2021

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	N V <th>DESCRIPTION ·</th>	DESCRIPTION ·
$\begin{array}{c} 62^{\circ} 41^{\circ} 19^{\circ}E & 149.81^{\circ} \\ \hline \\ $	LEGEND PROPERTY LINE ADJACENT PROPERTY LINE CASTING CONCRETE CASTING CURB SITE BENCHMARK BED SCRIPTION THIS SHEET PROPOSED CURB PROPOSED RIBBON CURB PROPOSED RIBBON CURB PROPOSED RETAINING WALL PROPOSED CONCRETE	AB NAMA BALLER AND
78-1180, P.R.) I A 4 T T 5 T R 1 13.65 H 9 + 9 + 9 + 9 + 9 + 9 + 9 + 9 + 9 + 9	REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING DIMENSIONS & RETAINING WALL	MORGAN'S HOTEL & RESTAURANT FOR GORDON HARTMAN FOUNDATION - CAPITAL CITY OF SAN ANTONIO BEXAR COUNTY TEXAS Image: Colliers NEW BRAUNFELS (KFW) G40 N. Walnut Ave. Suite 1101 New Braunfels, TX 78130 Phone: 830.220.6042
FIR FIR C6 VARIABLE WIDTH DRAINAGE EASEMENT (VOL. 6942, PG. 1739 O.P.R.)		Engineering & Design Colliers Engineering & Design, INC. TBPE Firm#: F-14909 TBPLS Firm#: 10194550 SCALE: DATE: DRAWN BY: CHECKED BY: AS SHOWN 10/11/24 MF DA PROJECT NUMBER: DRAWING NAME: 205-34-03 DC2053403 SHEET TITLE: DIMENSIONAL CONTROL PLAN SHEET NUMBER: C5.0

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

LEGAL DESCRIPTION LOT 2 & LOT 3, BLOCK 16, N.C.B. 14945 OF THE LONGHORN QUARRY - UNI 3 SUBDIVISION PLAT RECORDED IN VOLUME 20002, PAGES 1179-1180 OF DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

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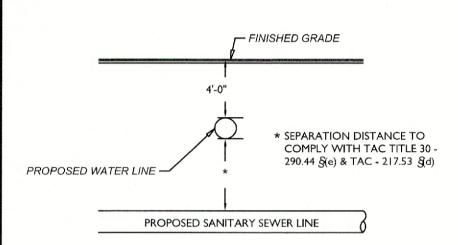
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TYPICAL SANITARY SEWER / WATER CROSSING DETAIL N.T.S.

The second s

N66° 54' 36"W 145.77'-

14' ELEC, GAS, TELE, CATV EASEMENT

(VOL. 20002, PGS. 1179-1180 D.P.R.)

VARIABLE WIDTH PRIVATE

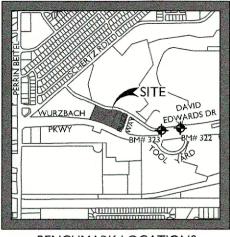
(VOL. 20002, PGS. 1179-1180 D.P.R.)

DRAINAGE EASEMENT

VARIABLE WIDTH

DRAINAGE EASEMENT

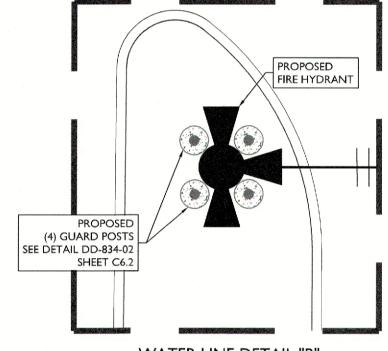
(VOL. 6942, PG. 1739 O.P.R.)



BENCHMARK LOCATIONS N.T.S.

RENCH EXCAVATION SAFETY PROTECTION NOTE NTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR TRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS. PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY ROTECTION THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH XCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTL ETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY ROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

UTION !!: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR RIVATE UTILITIES INCLUDING BUT NOT LIMITED TO WATER SEWER TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT I-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.



WATER LINE DETAIL "B" SCALE: 1'' = 5'

VEHICULAR NON

ACCESS EASMENT

(VOL. 20002, PGS. 1179-1180 D.P.R.)

UTILITY GENERAL NOTES

PROJECT.

CONSTRUCTION OPERATIONS.

COMPLETE THE WORK.

ALLOWED OR ACCEPTED

WATER JETTING IS ALLOWED.

CONTRACT INFORMATION.

CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS SHALL GOVERN

14. PROPOSED FIRE HYDRANTS SHALL BE PAINTED PER SAWS SPECIFICATIONS.

NOTE:

EXISTING SSWR MANHOLE TOP = 818.87 12" PVC INV W = 810.67 12" PVC INV E = 810.62 SAWS JOB NO. 20-1 EXISTING SSWR LATERAL 6" INV = 804.74 8''SS----8''SS----8''SS----8''SS----8''SS----8''SS----8''SS----8''SS----8''SS------8''SS------8''SS------8''SS------8''SS-SAWS JOB NO. 20-1243 14' ELEC, GAS, TELE, CATV EASEMENT 19.66 L.F.~ 6" SDR 26 PVC @ 10.50% (VOL. 20002, PGS. 1179-1180 D.P.R.) 12" PVC -E12"W E12"W C1-E12"W E12"W STA: 1+19.66 LINE "SSWR A CLEANOUT "A2" V. IN(6") = 806.90V. OUT(6") = 806.80 4"~ 1/8 BEND, M.I.-50 L.F. ~4" C-900 PVC-39.66 L.F.~ 6" SDR 26 PVC @ 10.50%-STA: 1+59.32 LINE "SSWR A" CLEANOUT "A3" NV. IN(6") = 811.16 INV. OUT(6") = 811.06 4" ~ 1/8 BEND, M.I. L.F. ~4" C-900 PVC 1 ~ 4" CAP, M.J. .51 L.F.~ 6" SDR 26 PVC @ 11.20%-STA: 1+66.84 LINE "SSWR A"

CLEANOUT "A4" NV. OUT (6") = 812.00 UT Z. BLOCK TO N.C.B. 14945 3.704 AC LONGHORN QUARRY - UNIT 3 (VOL. 20002, PG. 1179-1180, P.R.)

HOTEL

70,968 sf

(3-STORY / 103 ROOMS)

COMPANIES. 2. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION, ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION. 3. THE CONTRACTOR NEEDS TO ALLOW FOR THE

. THIS UTILITY PLAN HAS BEEN PREPARED TO THE BEST OF

UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED

FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND

OUR ABILITY USING THE DATA AVAILABLE. EXISTING

PUBLIC RECORD MAPS OBTAINED FROM UTILITY

EXISTING UTILITY NOTES

POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.

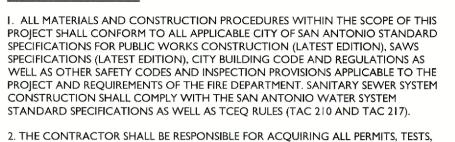
4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

5. CONTRACTOR SHALL NOTIFY THE TELEPHONE COMPANY 48 HOURS PRIOR TO EXCAVATION IN THE IMMEDIATE AREA OF BURIED TELEPHONE CABLE AT 431-1067 OR 650-8228.

6. CONTRACTOR SHALL NOTIFY CPS, CABLE, AND LINE LOCATIONS 48 HOURS PRIOR TO EXCAVATION IN THE IMMEDIATE AREA OF ELECTRIC AND GAS LINES AT 227-3606.

7. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192,181, CPS MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTORS MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACOUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT



APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS 3. THE FIRE AND DOMESTIC WATER LINES SHALL BE INSTALLED AND TESTED IN

ACCORDANCE WITH SAWS REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE SAWS FOR PERMITTING, INSPECTION, AND

4. ALL UTILITY CONNECTIONS TO BUILDING SHALL BE COORDINATED WITH MECHANICAL AND ELECTRIC PLANS. FOR INFORMATION ON GAS, ELECTRIC, AND TELEPHONE UTILITIES, SEE THE MECHANICAL AND ELECTRIC PLANS. 5. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING CONTROL DEVICES USED OR REQUIRED TO

6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGES DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY

7. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT. 8. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE

9. ALL EXCAVATIONS AND BACK FILLING OF UTILITY TRENCHES SHALL MEET GEOTECHNICAL REPORT RECOMMENDATIONS OR TYPICAL SAWS UTILITY TRENCH SPECIFICATIONS. ALL BACK FILL MUST BE IN COMPACTED 12-INCH LIFTS, AND NO

10. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICATIONS AND

11. SEWER PIPE IS SDR 26. WATER PIPE IS CLASS 200 PVC, UNLESS NOTED OTHERWISE. 2. THE CONSTRUCTION OF UNDERGROUND PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEMS SHALL BE GOVERNED BY THE ENGINEERING CONSTRUCTION PLANS PREPARED BY CITY PUBLIC SERVICE (CPS). THIS DRAWING SHALL SERVE ONLY AS REFERENCE DOCUMENT TO COORDINATE LOCATION OF THE PROPOSED PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEM. CPS

13. CONTRACTOR SHALL COORDINATE WITH CPS PRIOR TO CONSTRUCTION TO RELOCATE EXISTING POWER POLES LOCATED IN PROPOSED DRIVEWAY AREAS.

ALAMO CEMENT COMPANY

60 FOOT WIDE TRACT

CALLED 2.418 ACRES

RECORDED 08/05/202

S88° 05' 42"E 55.36'

VS IOB NO. 20-1709

CLEANOUT "A1"

INV. IN(6") = 804.74

STA: 1+00.00 LINE "SSWR A

-6" ~ 1/8 BEND, M.

~ 1/8 BEND, M.I

- 6" CAP, M.J.

VARIABLE WIDTH

DRAINAGE EASEMENT

(VOL. 6942, PG. 1739 O.P.R.)

SEE MEP PLANS FOR

42 L.F. ~6" C-900 PVC

6 L.F. ~6" C-900 PVC

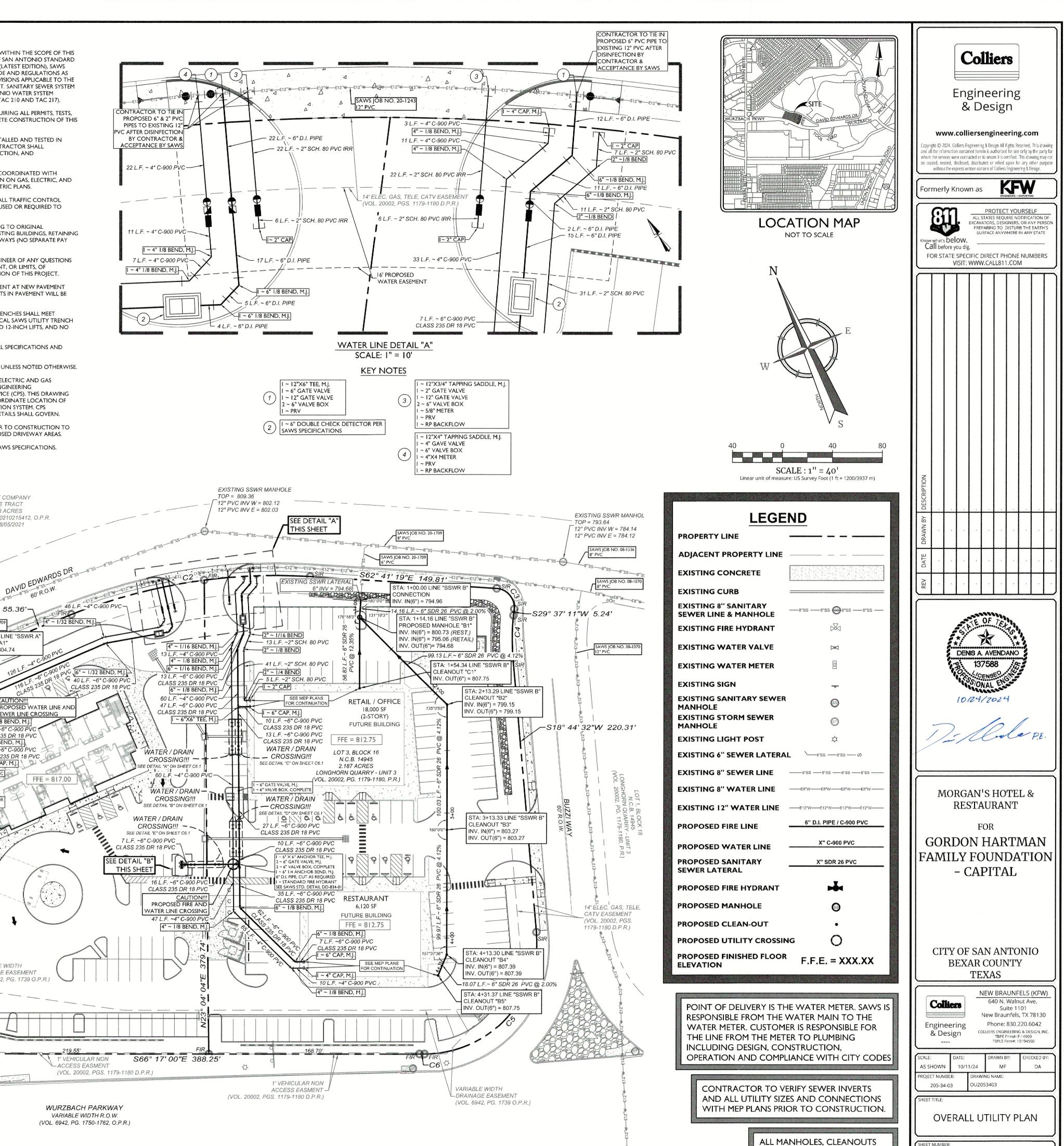
CLASS 235 DR 18 PVC

LASS 235 DR 18 PVC

SEWER LINE CROSSING

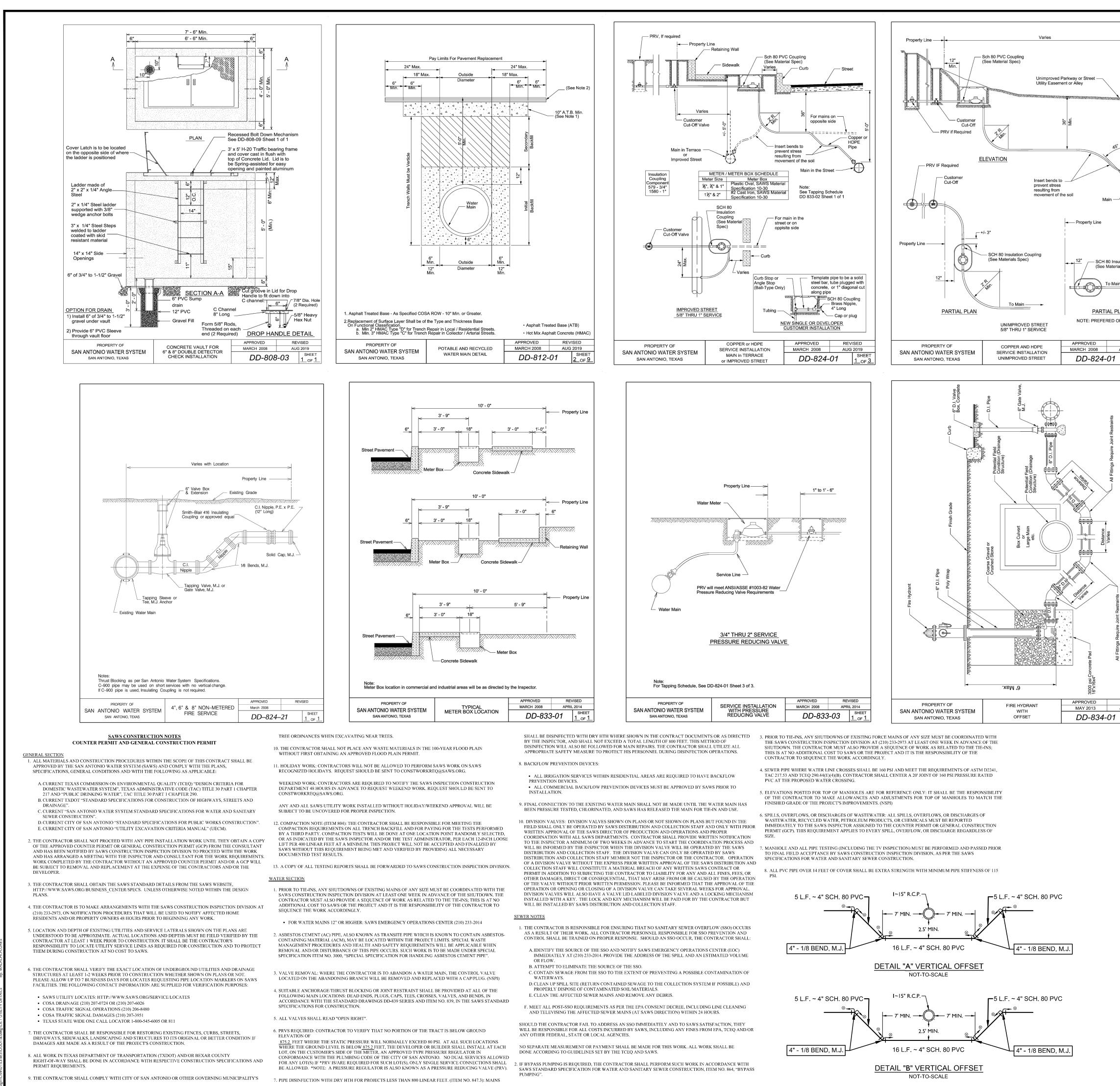
DOCUMENT NUMBER 20210215412, O.P.R.

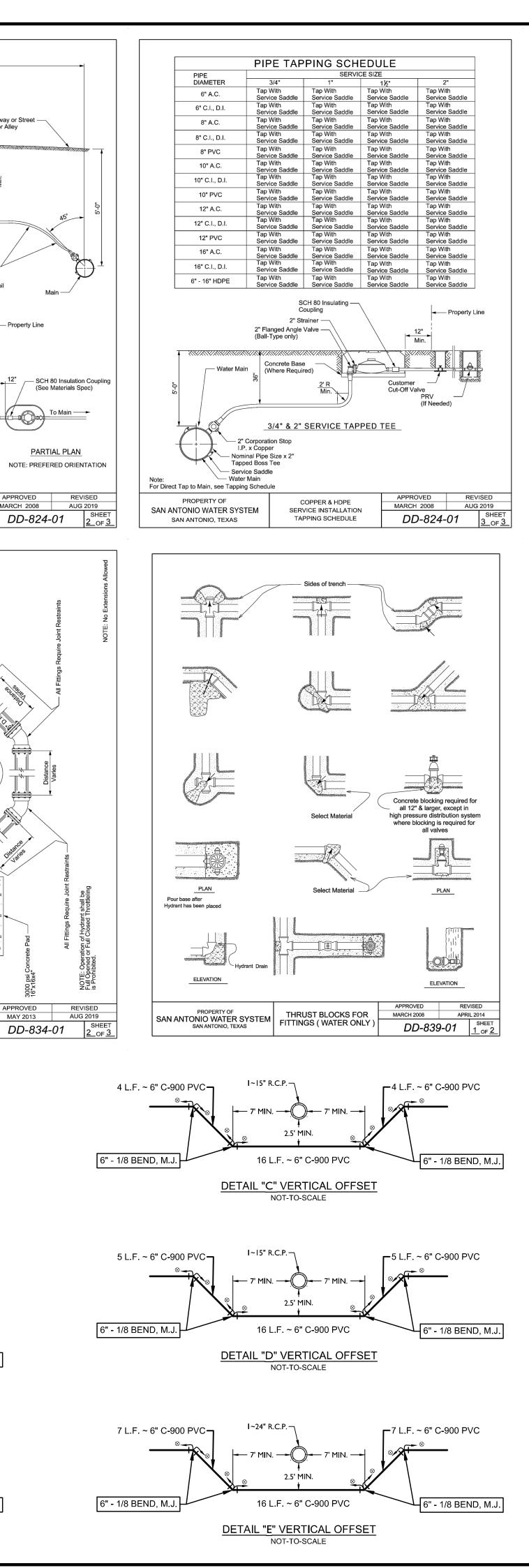
ALL UTILITIES TO BE CONSTRUCTED PRIOR TO PAVING



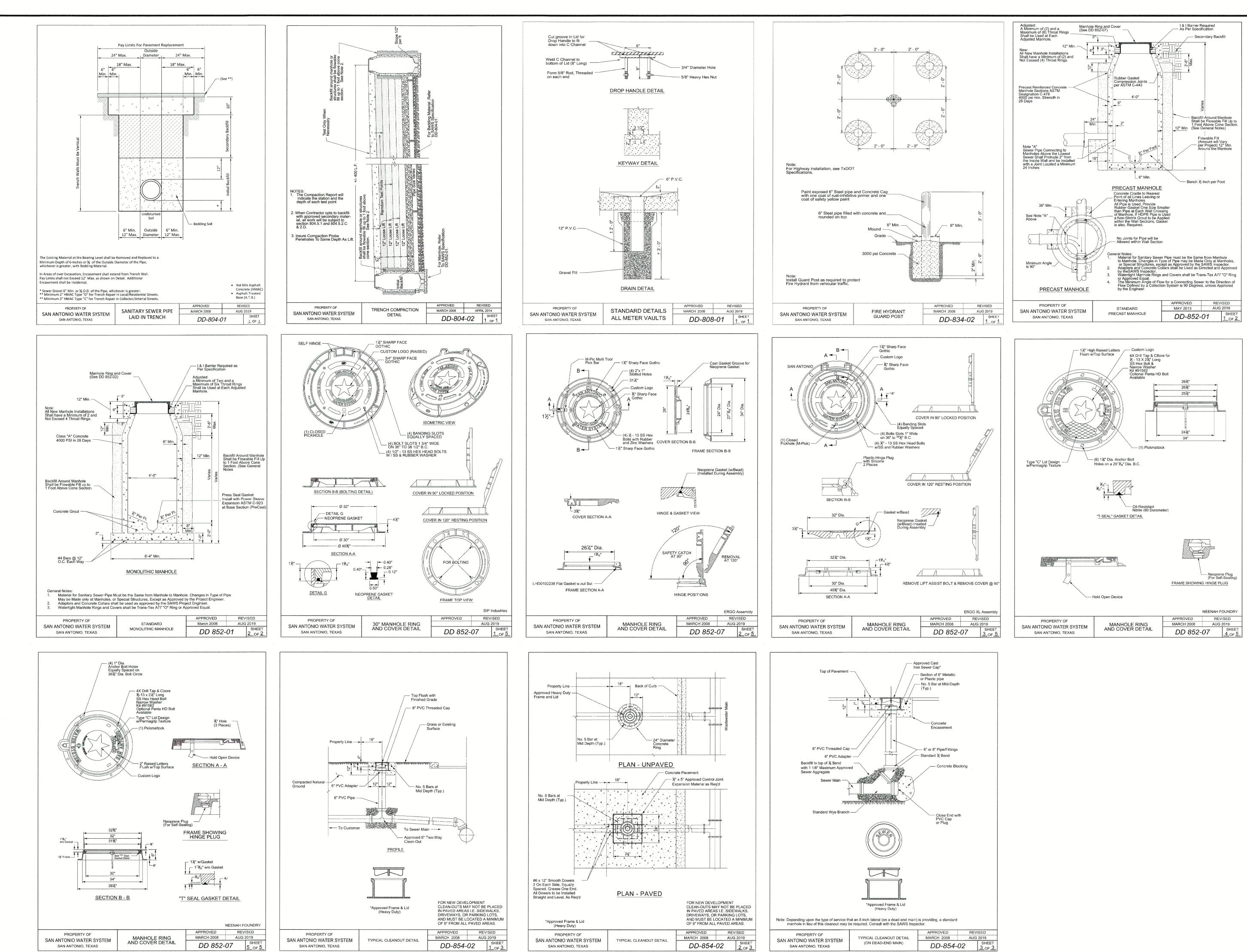
WURZBACH PARKWAY VARIABLE WIDTH R.O.W. (VOL. 6942, PG. 1750-1762, O.P.R.)

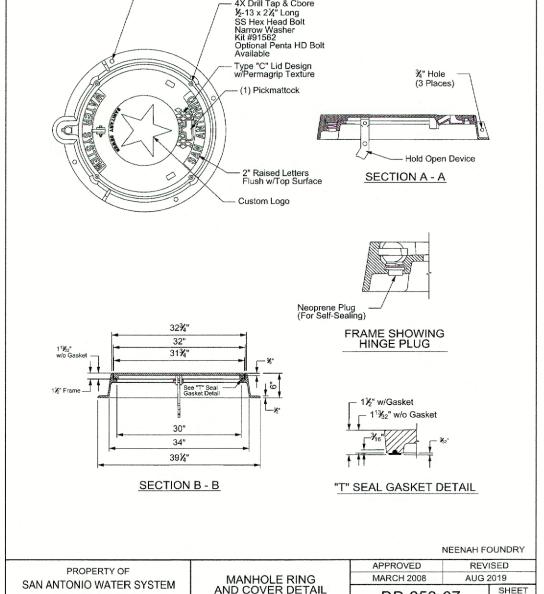
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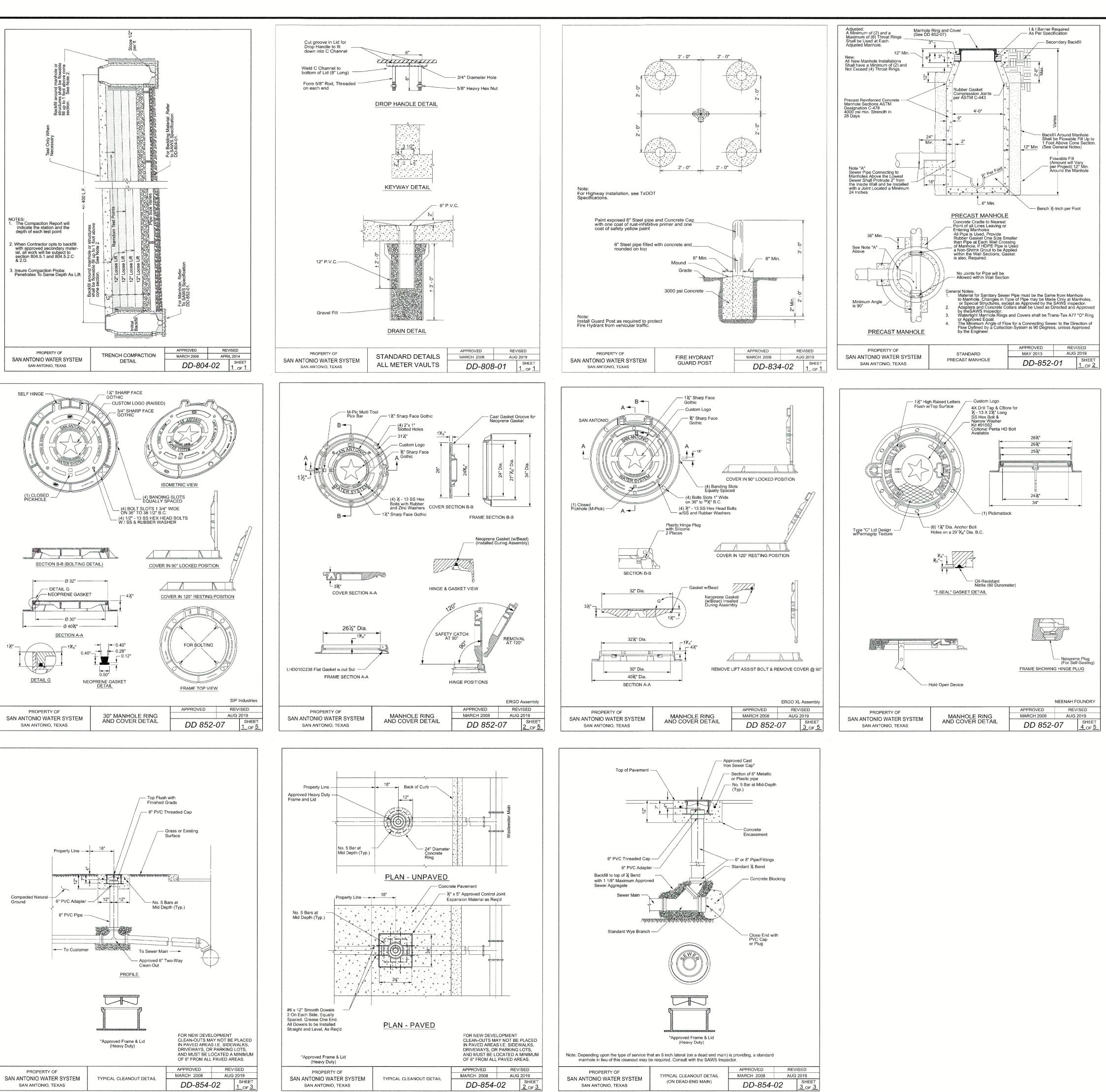




Colliers Engineering & Design							
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Formerly Known as							
PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM							
REV DATE DRAWN BY DESCRIPTION · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · · ·							
DENIS A. AVENDANO 137588 CENSED ONAL ELOU 10-15-2024 Market P.E.							
MORGAN'S HOTEL & RESTAURANT FOR GORDON HARTMAN FAMILY FOUNDATION – CAPITAL							
CITY OF SAN ANTONIO BEXAR COUNTY TEXAS							
ColliersEngineering & Design& DesignNew Braunfels, TX 78130Phone: 830.220.6042Colliers ENGINEERING & DESIGN, INC. TBPE Firm#: 10194550							
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SHEET NUMBER:							







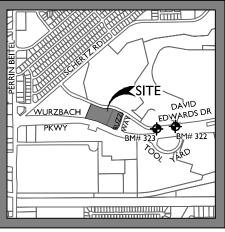


LEGAL DESCRIPTION

DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

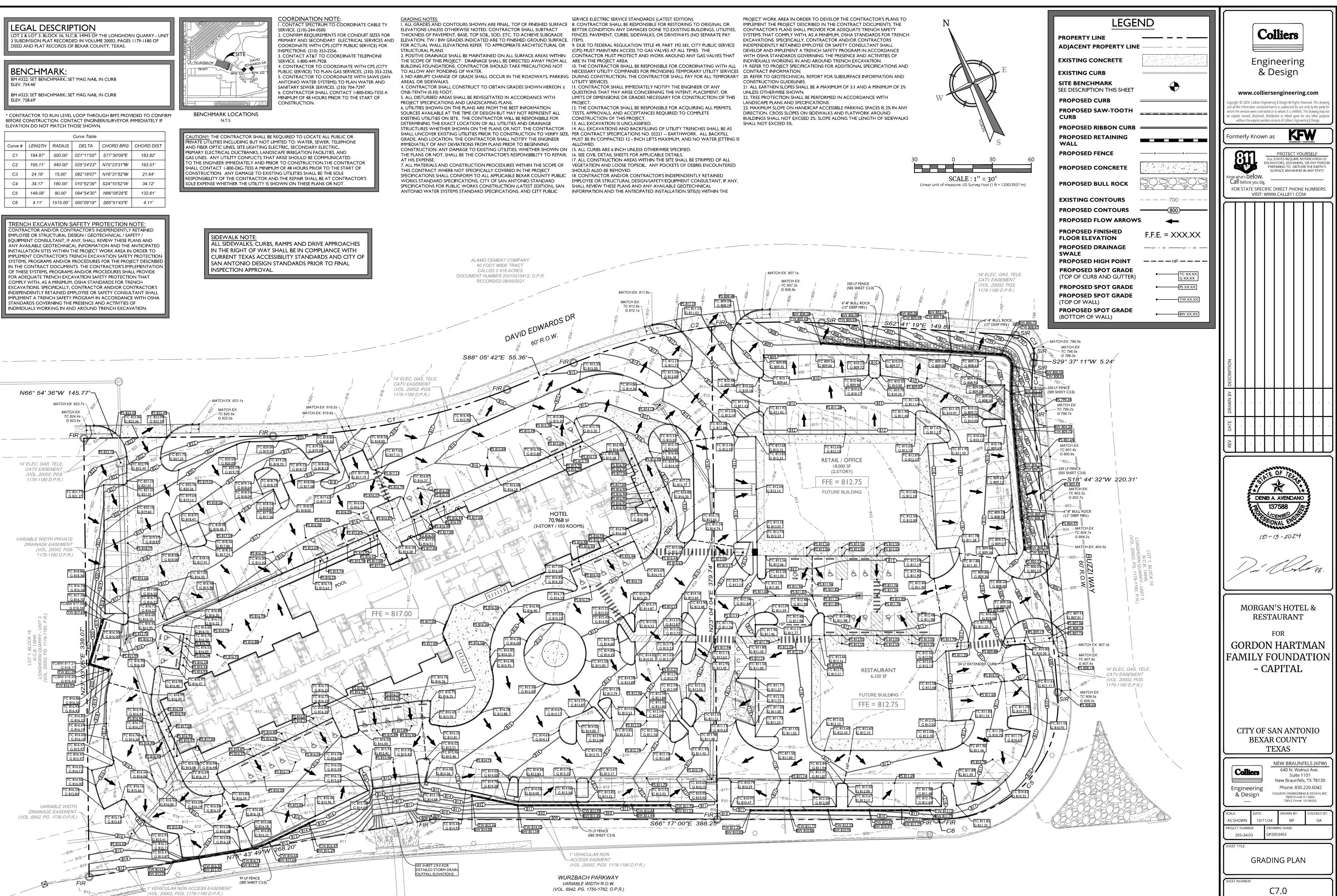
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> ALL SIDEWALKS, CURBS, RAMPS AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.



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Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST	
C1	184.87'	500.00'	021°11'05"	S77°30'09"E	183.82'	
C2	195.11'	440.00'	025°24'23"	N75°23'31"W	193.51'	
СЗ	24.16'	15.00'	092°18′07″	N16°31′52″W	21.64'	
C4	34.17'	180.00'	010°52'39"	S24°10'52"W	34.12'	
C5	149.08'	90.00'	094°54'30"	N66°08'28"E	132.61'	
C6	4.11'	1515.00'	000°09'19"	S65°51'43"E	4.11'	

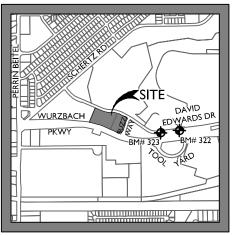
COORDINATION NOTE:

I. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-244-0500. 2. CONFIRM REQUIREMENTS FOR CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES AND COORDINATE WITH CPS (CITY PUBLIC

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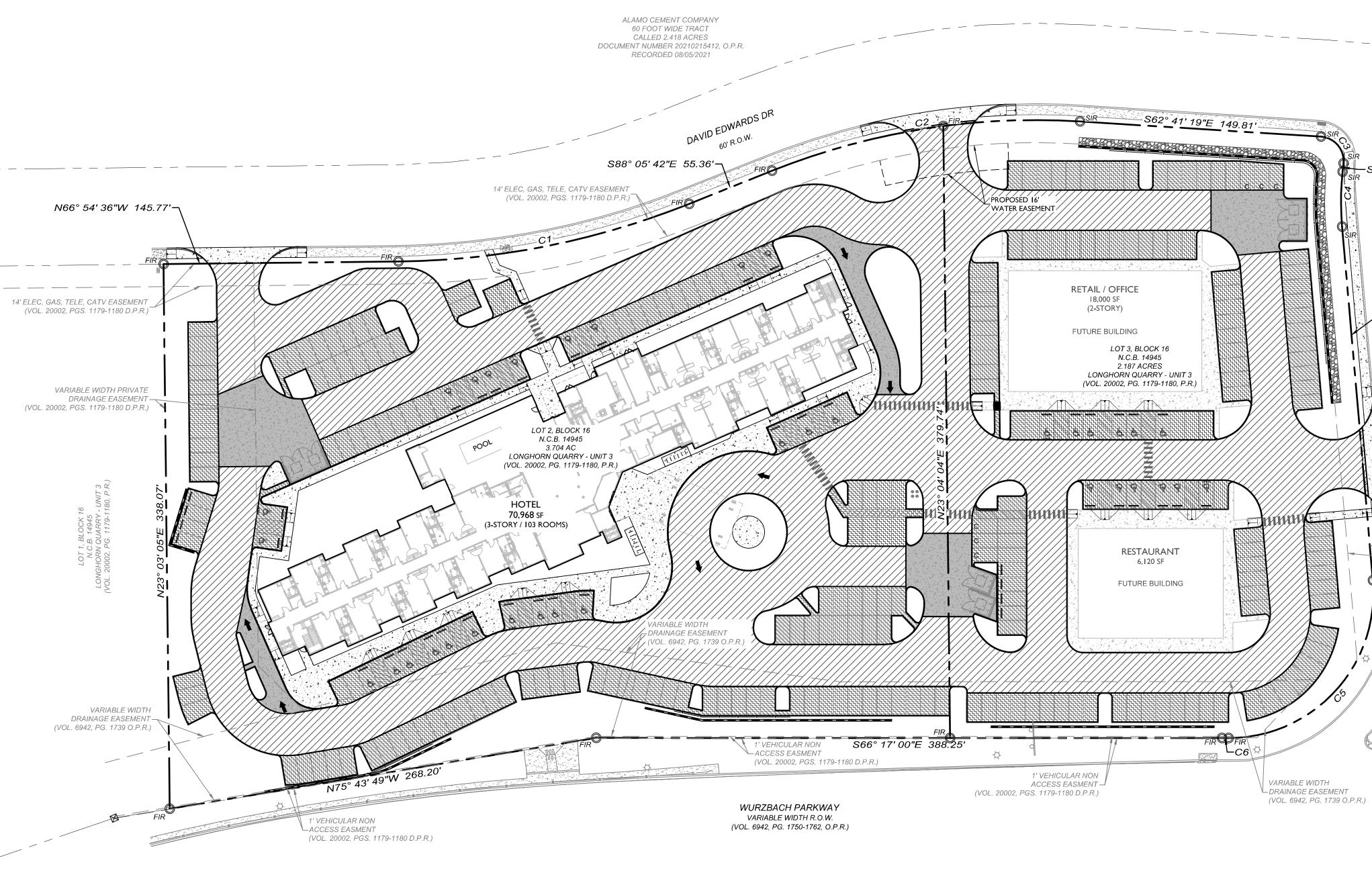
SYSTEMS) TO PLAN WATER AND SANITARY SEWER SERVICES. (210) 704-7297. 6. CONTRACTOR SHALL CONTACT I-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

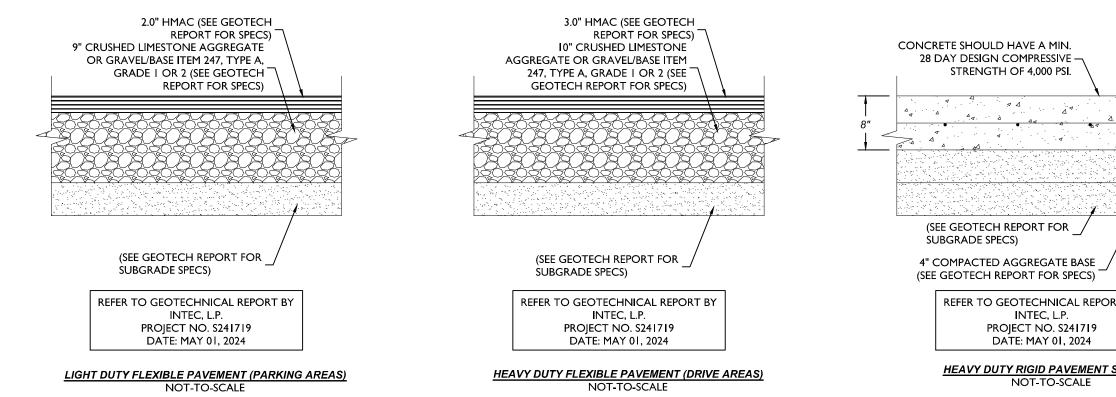


BENCHMARK LOCATIONS N.T.S.

TRENCH EXCAVATION SAFETY PROTECTION NOTE CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

AUTION!!: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT I-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.





*NOTES:

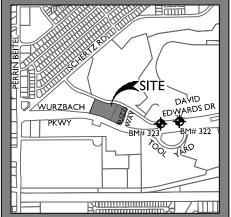
- THE HEAVY-DUTY CONCRETE AT THE LOCATION OF THE TRASH DUMPSTERS SHOULD BE LARGE ENOUGH TO ACCOMMODATE BOTH THE FRONT AND REAR WH THE VEHICLES USED TO PICK UP THE TRASH DUMPSTERS. MAINTENANCE OR OPERATIONS MANAGERS NEED TO STRESS THE IMPORTANCE OF PLACING THE TRAS DUMPSTERS IN THEIR PROPER LOCATIONS TO REDUCE THE DISTRESS TRASH PICKUP OPERATIONS PLACE ON THE PAVEMENT.
- RIGID CONCRETE THE CONCRETE PAVEMENT SHOULD BE PROPERLY REINFORCED AND JOINTED, AS PER ACI. EXPANSION JOINTS SHOULD BE SPACED NO GREAT 60-FEET, SHOULD BE SEALED WITH AN APPROPRIATE SEALANT SO THAT MOISTURE INFILTRATION INTO THE SUBGRADE SOILS AND RESULTANT CONCRETE DETERIORATION AT THE JOINTS IS MINIMIZED. CONTROL JOINT SPACING SHOULD NOT EXCEED 15-FEET AND PREFERABLY LESS TO ADEQUATELY CONTROL CRA THE JOINTS SHOULD BE THOROUGHLY CLEANED, AND SEALANT SHOULD BE INSTALLED WITHOUT OVERFILLING BEFORE THE PAVEMENT IS OPENED TO TRAFFIC
- THE SPLICE LENGTH FOR THE #4 BARS SHOULD NOT BE LESS THAN 20-INCHES.

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It' ELEC, GAS, TELE, CATV EASEMENT (VOL 20002, PGS. 179-1180 D.P.R.)	NOTE: 1. REFERENCE GEOTECH REPORT FOR INFORMATION REGARDING COMPACTED SUBGRADE. 2. THIS DRAWING REFLECTS THE GENERAL PLACEMENT OF CONCRETE. SEE SHEET CS.0 FOR DIMENSIONS AND CURVE DATA DETAIL. 3. REFERENCE GEOTECH REPORT FOR DOWEL AND PAVEMENT JOINT SPECIFICATIONS. 4. REFERENCE GEOTECH REPORT FOR PAVEMENT RECOMMENDATION FOR DUMPSTER PAD.	CUTY OF SAN ANTONIO BEXAR COUNTY TEXAS Image: Collies: State of the second State of the second

LEGAL DESCRIPTION

DEED AND PLAT RECORDS OF BEXAR COUNTY. TEXAS.

ELEV. 758.69'



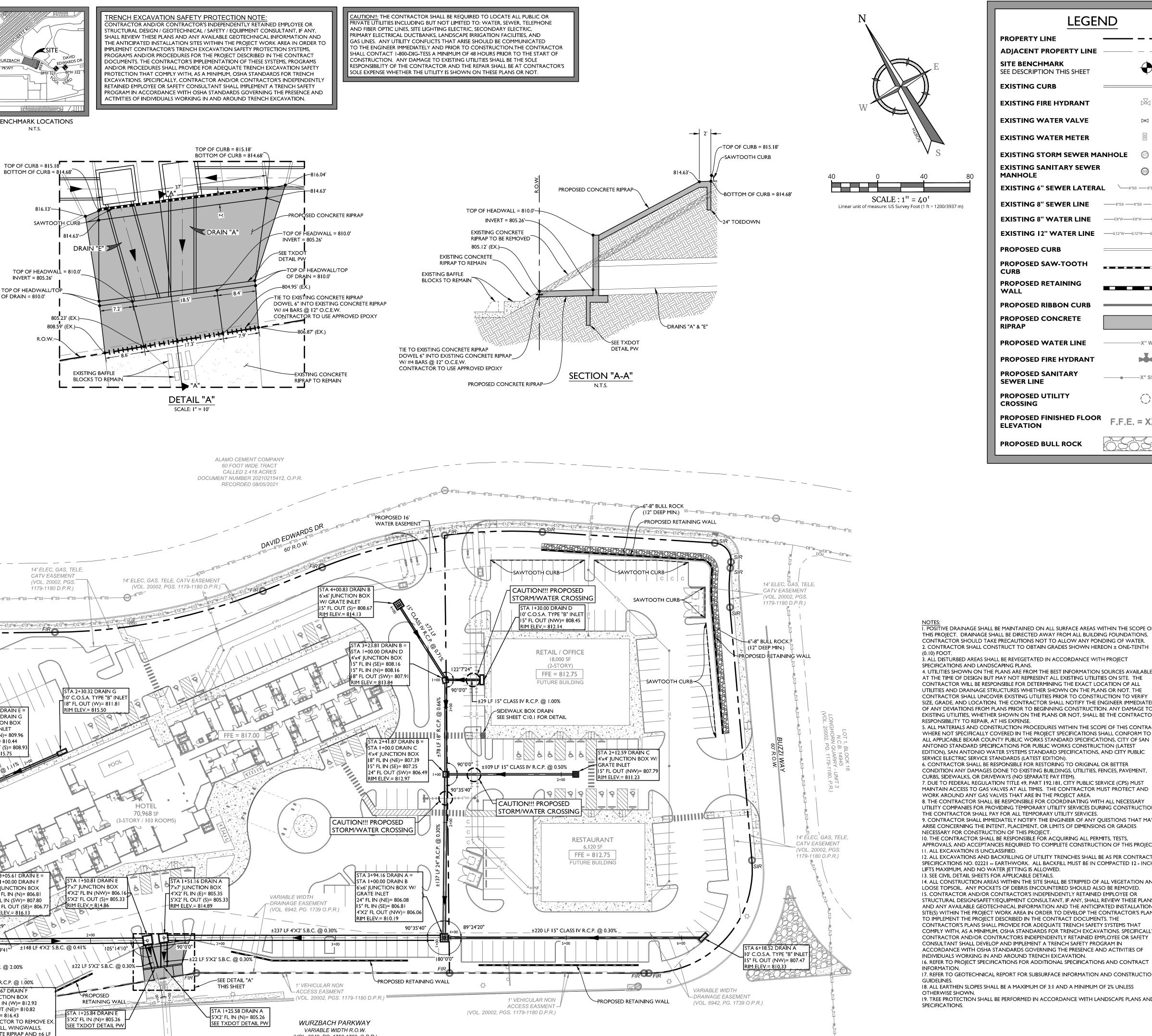
ENCH EXCAVATION SAFETY PROTECTION NOTI

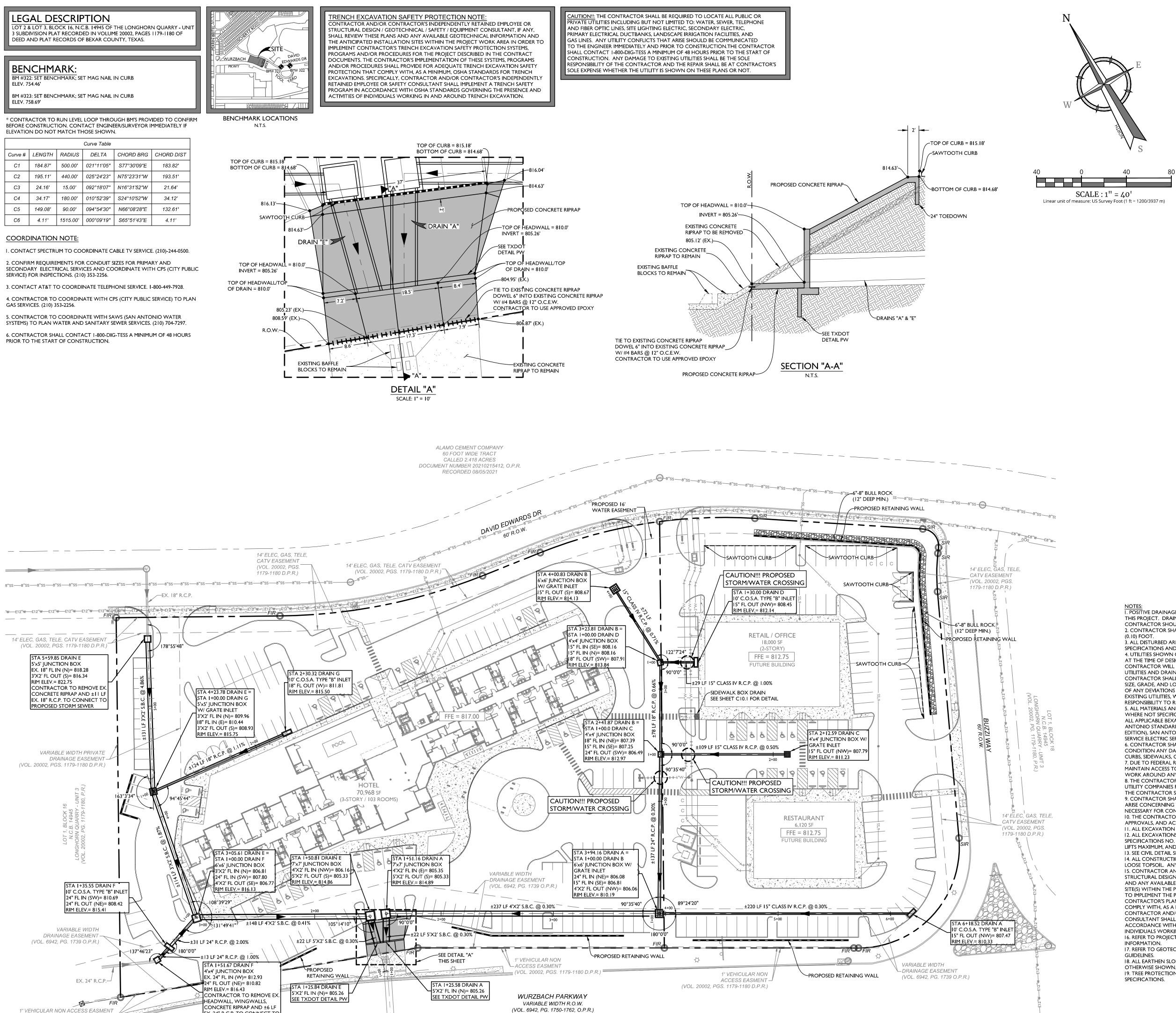




EX. 24" R.C.P. TO CONNECT TO

PROPOSED STORM SEWER





(VOL. 20002, PGS. 1179-1180 D.P.R.

(VOL. 6942, PG. 1750-1762, O.P.R.)

LEGE	ND
PROPERTY LINE	
ADJACENT PROPERTY LINE	
SITE BENCHMARK SEE DESCRIPTION THIS SHEET	\bullet
EXISTING CURB	
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	Dec
EXISTING WATER METER	
EXISTING STORM SEWER M	ANHOLE 🗊
EXISTING SANITARY SEWER MANHOLE	63
EXISTING 6" SEWER LATER	AL6"SS6"SSΟ
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EXISTING 8" WATER LINE	E8"WE8"WE8"WE8"W
EXISTING 12" WATER LINE	E12"WE12"WE12"W
PROPOSED CURB	
PROPOSED SAW-TOOTH CURB	
PROPOSED RETAINING WALL	
PROPOSED RIBBON CURB	
PROPOSED CONCRETE RIPRAP	
PROPOSED WATER LINE	X'' W
PROPOSED FIRE HYDRANT	M
PROPOSED SANITARY SEWER LINE	
PROPOSED UTILITY CROSSING	\bigcirc
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PROPOSED BULL ROCK	6363363

POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER. 2. CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON \pm ONE-TENTH 3. ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT

4. UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR. AT HIS EXPENSE. 5. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT

WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS, CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), SAN ANTONIO WATER SYSTEMS STANDARD SPECIFICATIONS, AND CITY PUBLIC SERVICE ELECTRIC SERVICE STANDARDS (LATEST EDITION). 6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER

CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM). 7. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, CITY PUBLIC SERVICE (CPS) MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.

THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES. 9. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS,

APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT. 11. ALL EXCAVATION IS UNCLASSIFIED. 12. ALL EXCAVATIONS AND BACKFILLING OF UTILITY TRENCHES SHALL BE AS PER CONTRACT SPECIFICATIONS NO. 02221 -- EARTHWORK. ALL BACKFILL MUST BE IN COMPACTED 12 - INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.

13. SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS. 14. ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS ENCOUNTERED SHOULD ALSO BE REMOVED. 15. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO DEVELOP THE CONTRACTOR'S PLANS TO IMPLEMENT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S PLANS SHALL PROVIDE FOR ADEQUATE TRENCH SAFETY SYSTEMS THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL DEVELOP AND IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

17. REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION

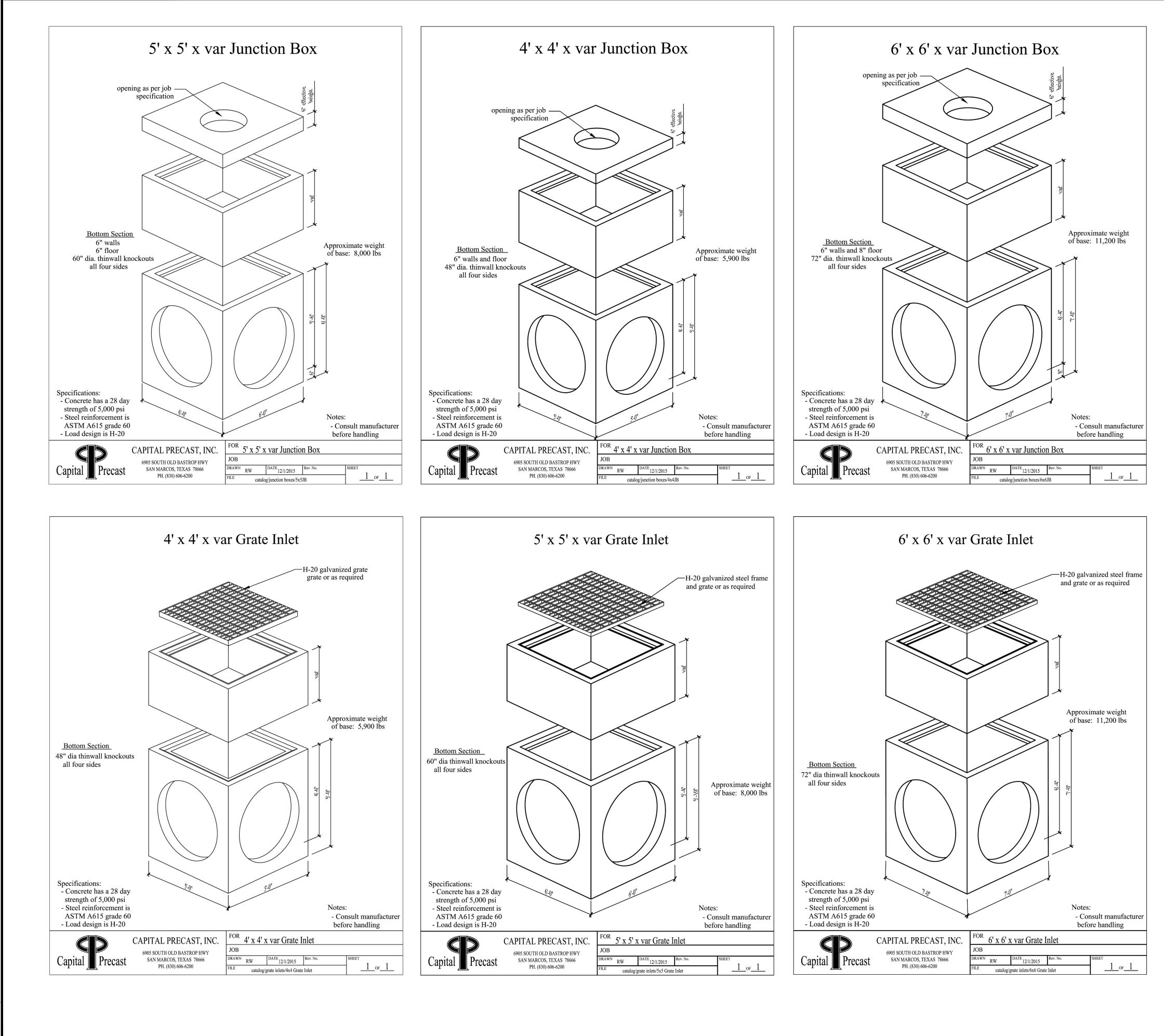
18. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS 19. TREE PROTECTION SHALL BE PERFORMED IN ACCORDANCE WITH LANDSCAPE PLANS AND

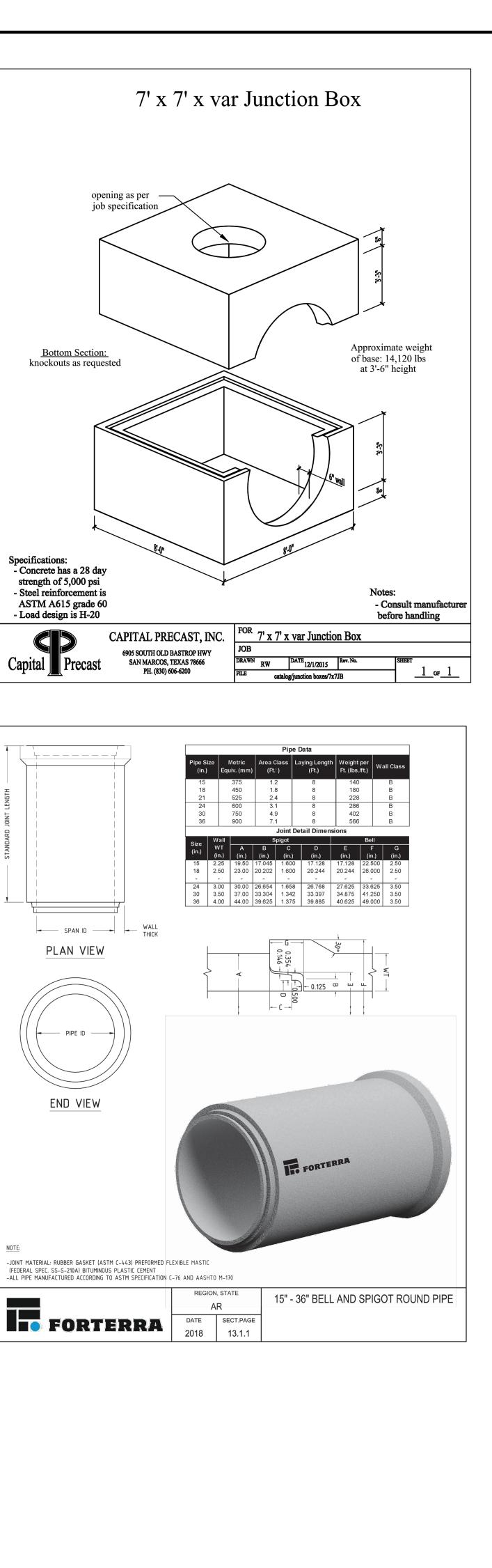
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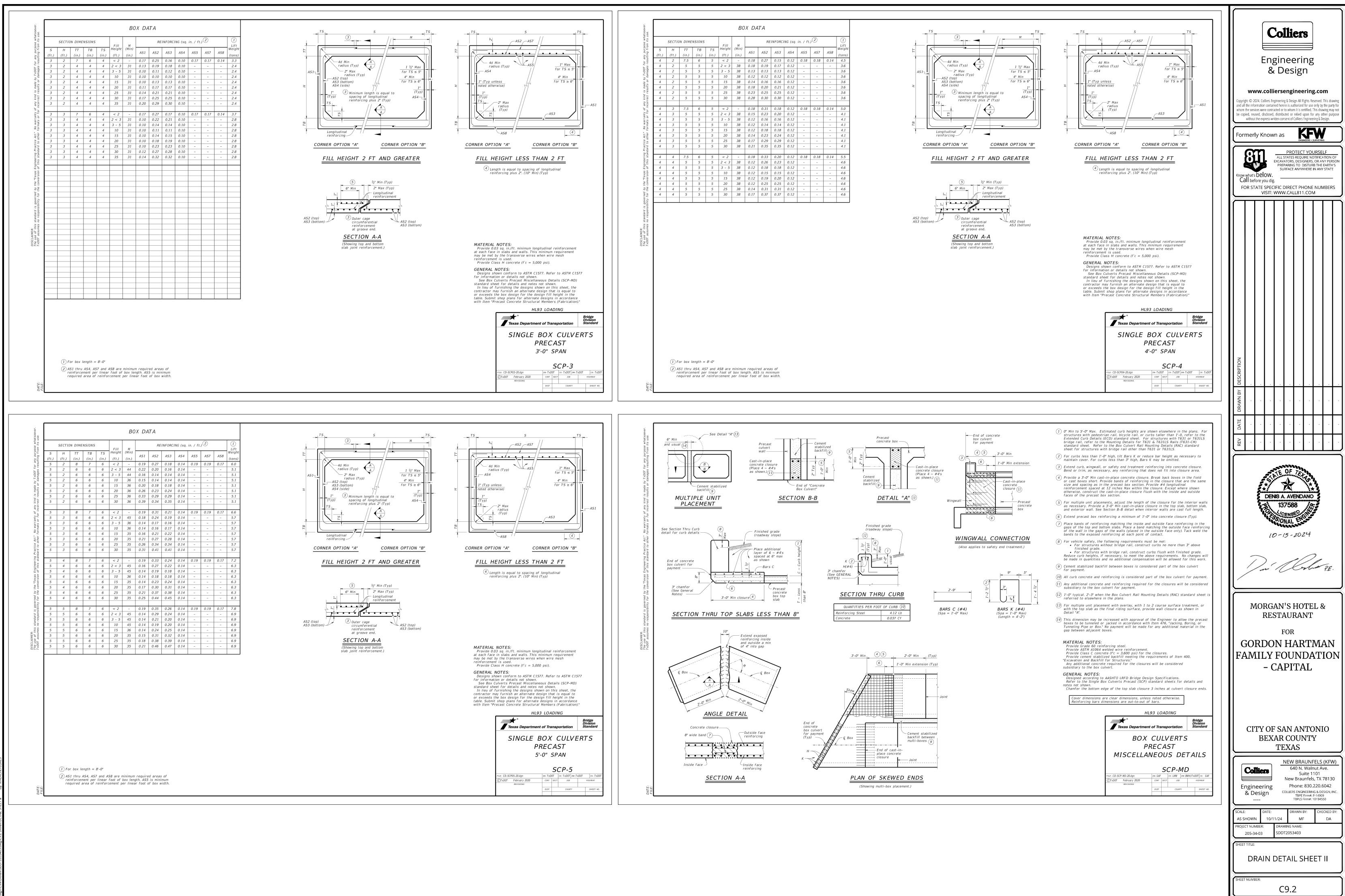
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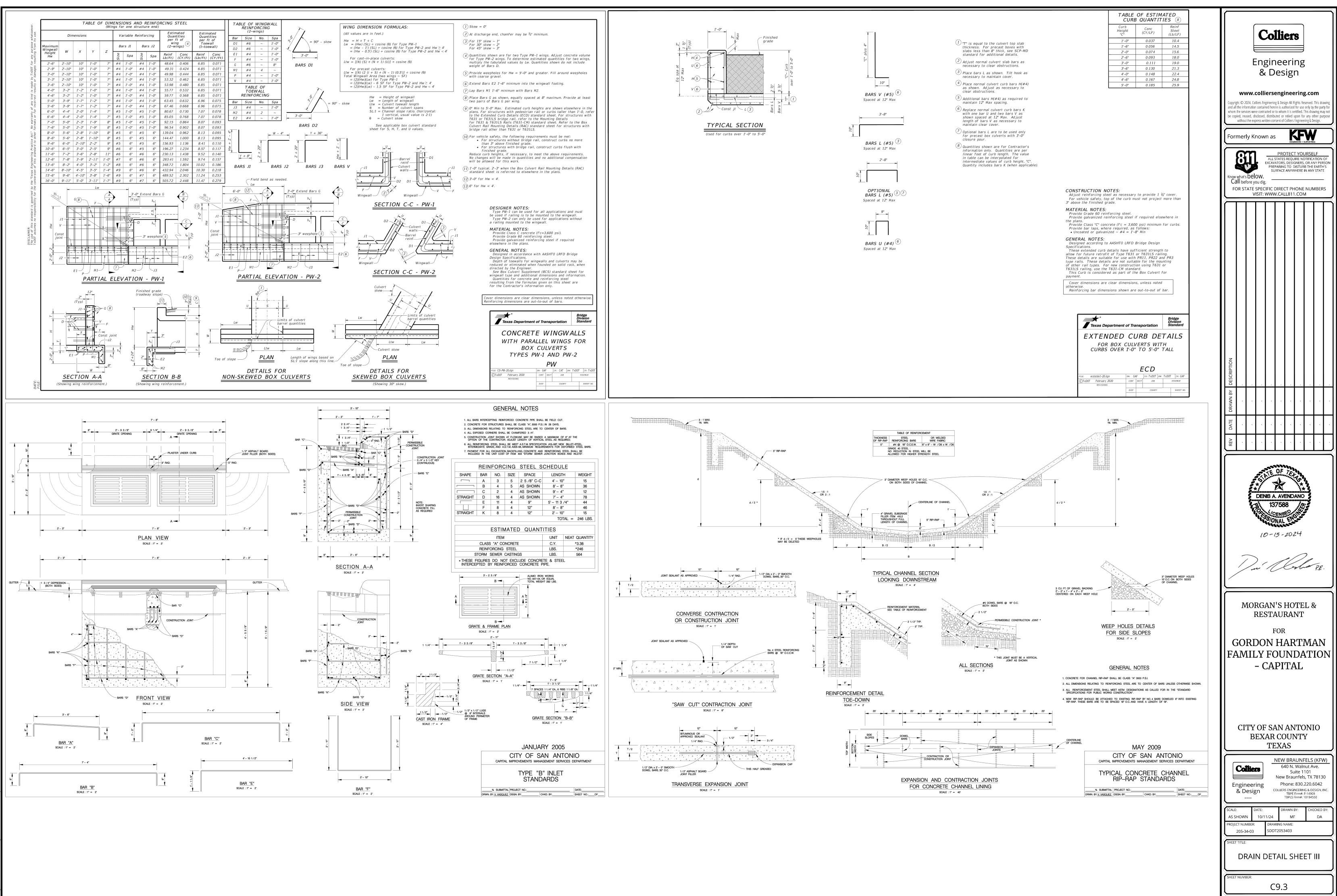
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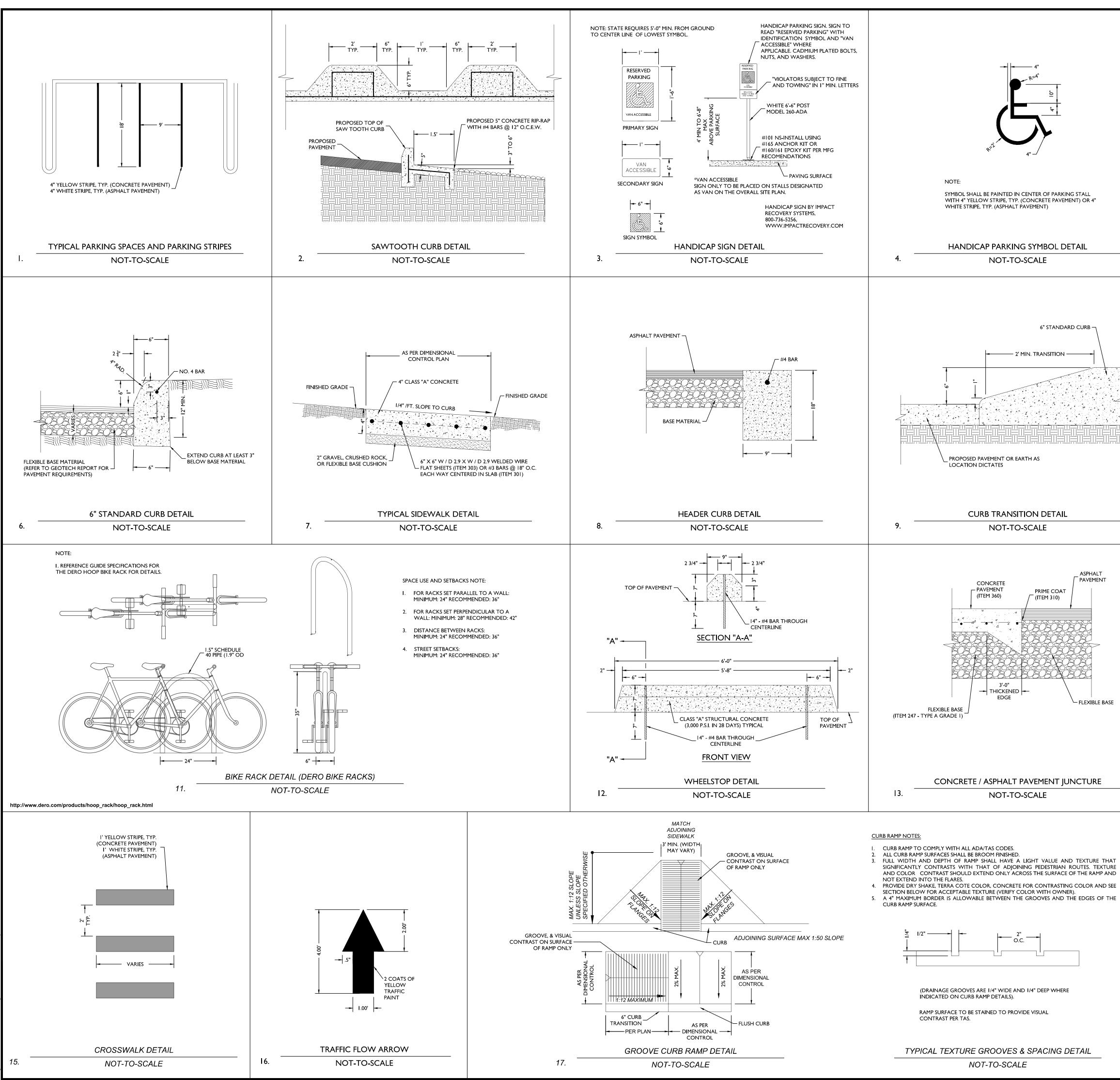


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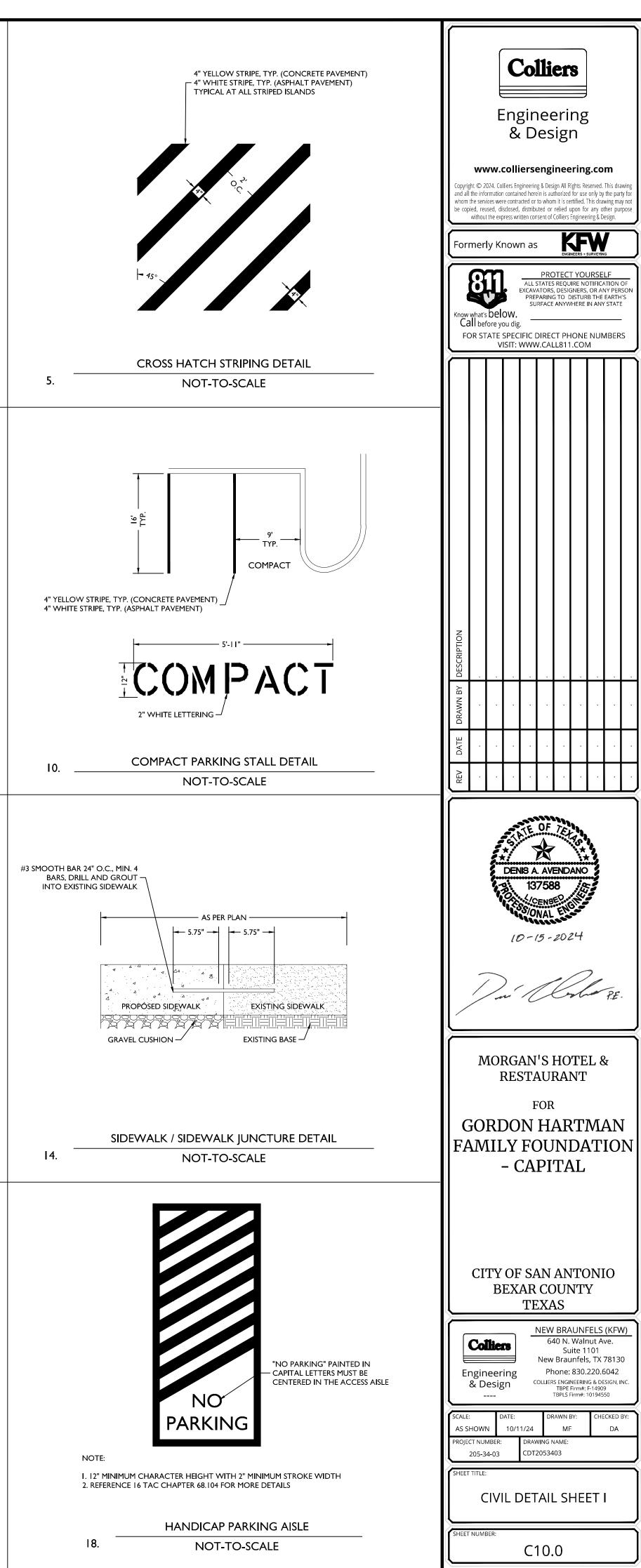


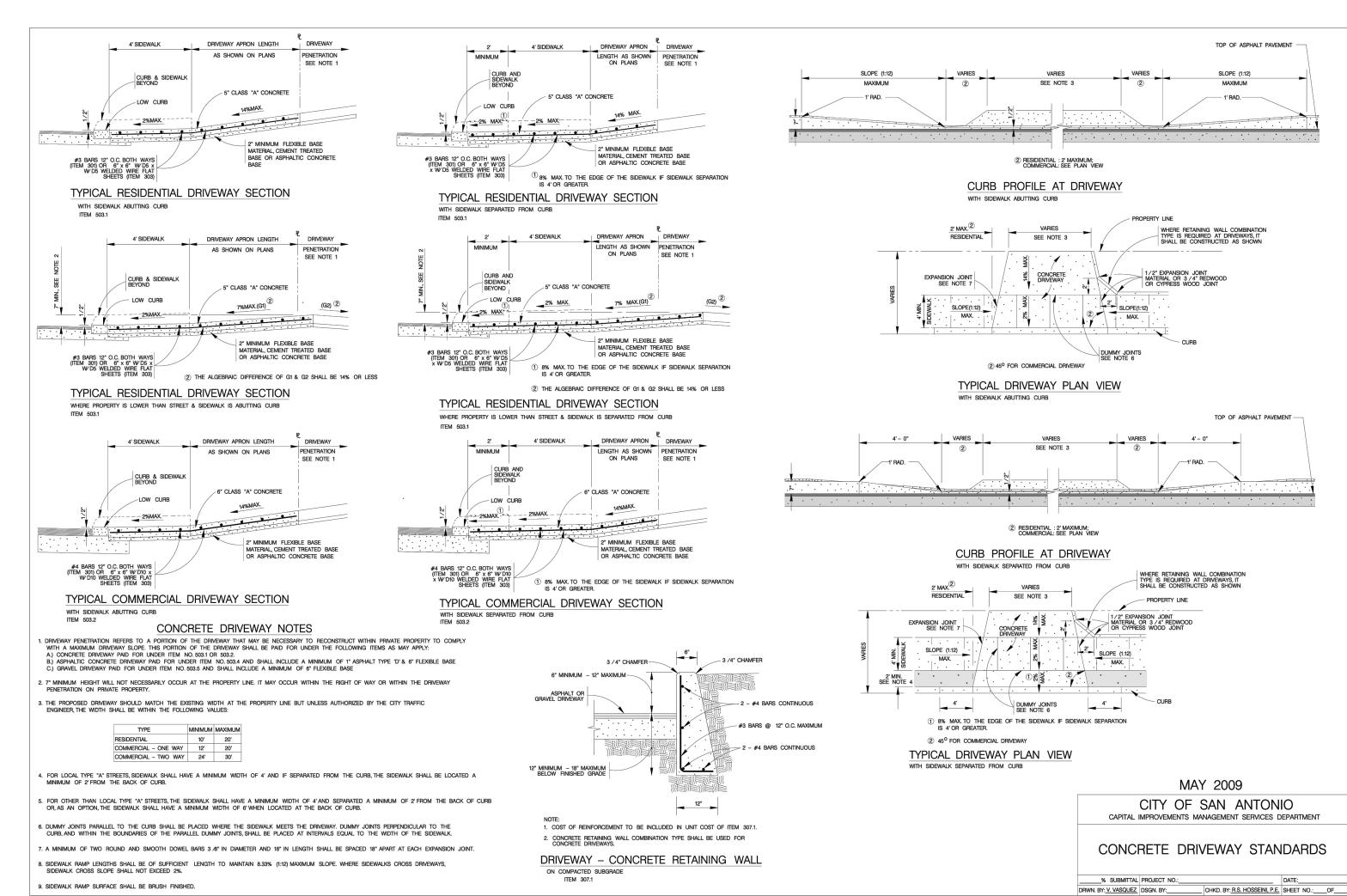


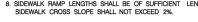
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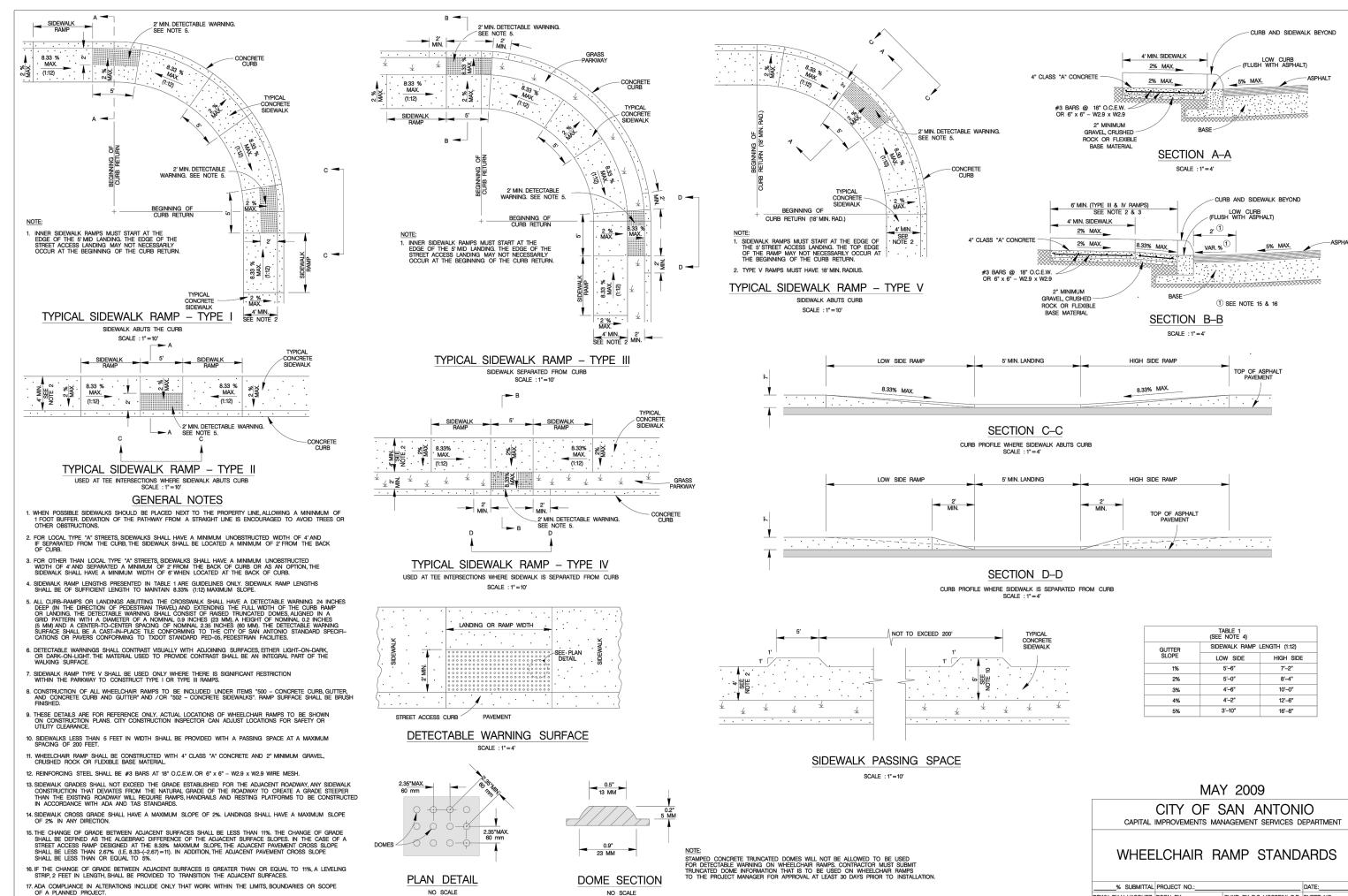


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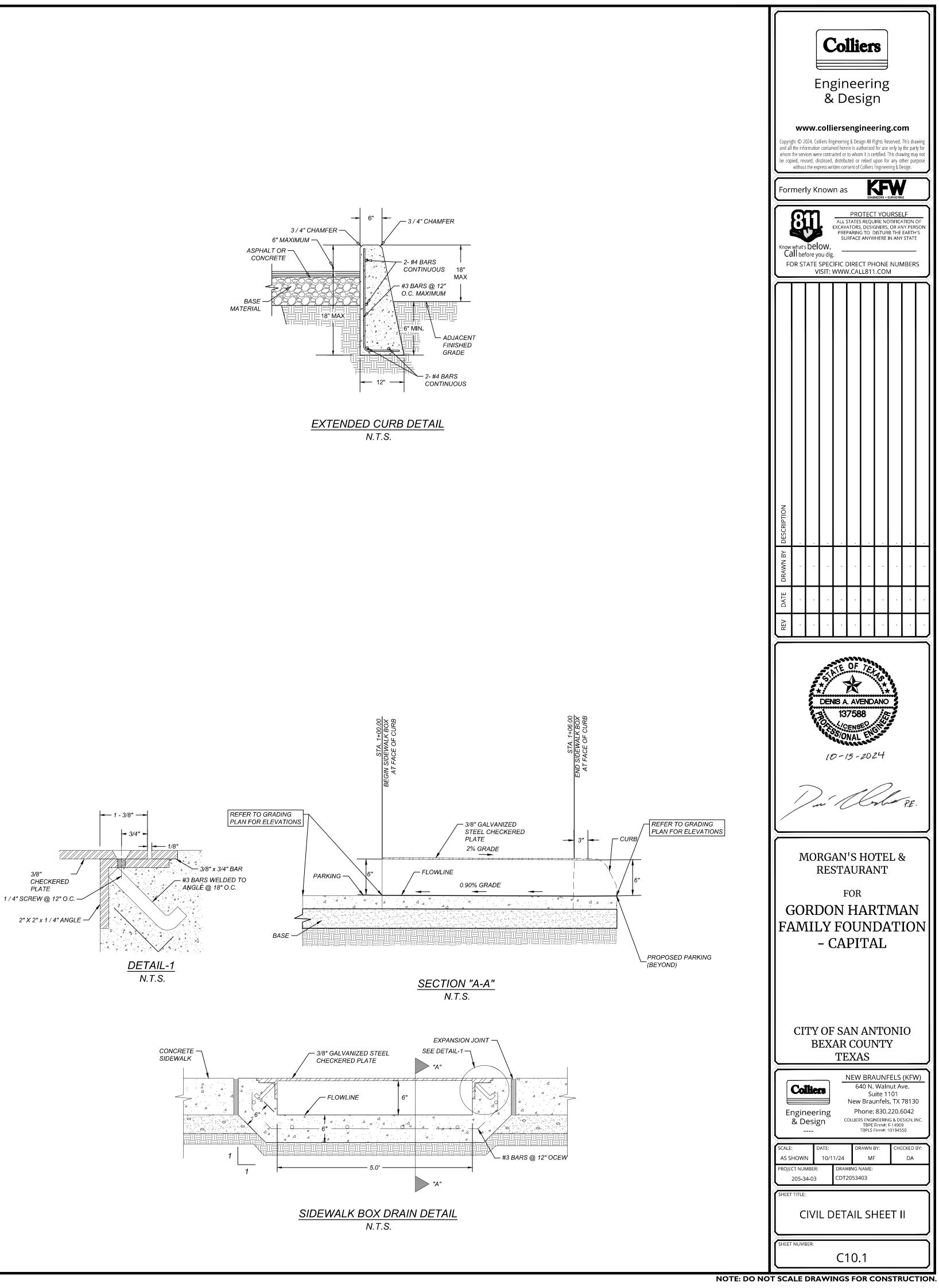


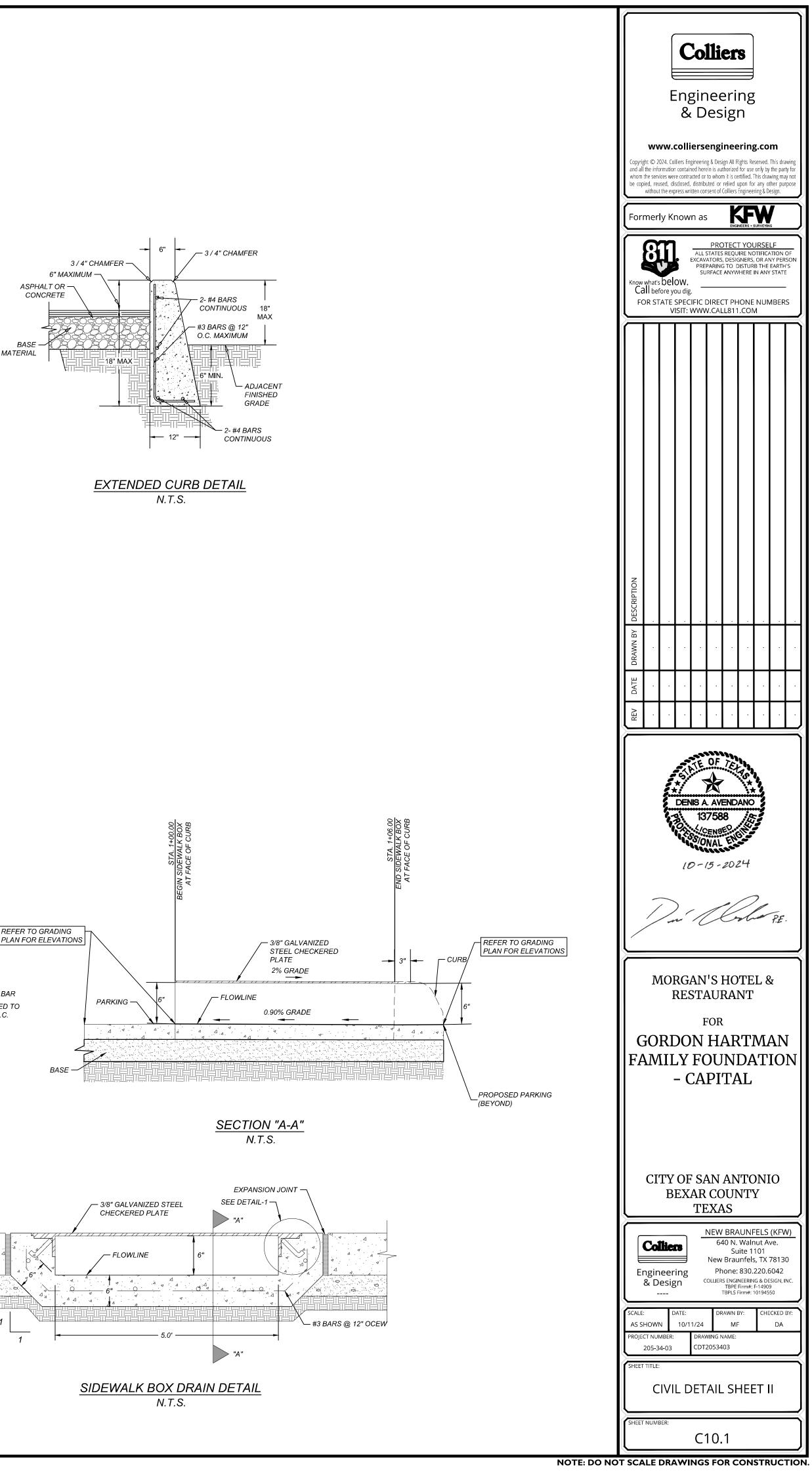
NO SCALE

17. ADA COMPLIANCE IN ALTERATIONS INCLUDE ONLY THAT WORK WITHIN THE LIMITS, BOUNDARIES OR SCOPE OF A PLANNED PROJECT.

NO SCALE

DRWN. BY: V. VASQUEZ DSGN. BY: CHKD. BY: R.S. HOSSEINI, P.E. SHEET NO.: OF





SUBDIVISION PLAT RECORDED IN VOLUME 20002, PAGES 1179-1180 OF DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

BENCHMARK:

ELEV. 754.46' BM #323: SET BENCHMARK; SET MAG NAIL IN CURB

ELEV. 758.69'

* CONTRACTOR TO RUN LEVEL LOOP THROUGH BM'S PROVIDED TO CONFIRM BEFORE CONSTRUCTION. CONTACT ENGINEER/SURVEYOR IMMEDIATELY IF ELEVATION DO NOT MATCH THOSE SHOWN.

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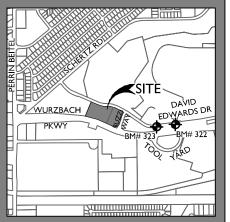
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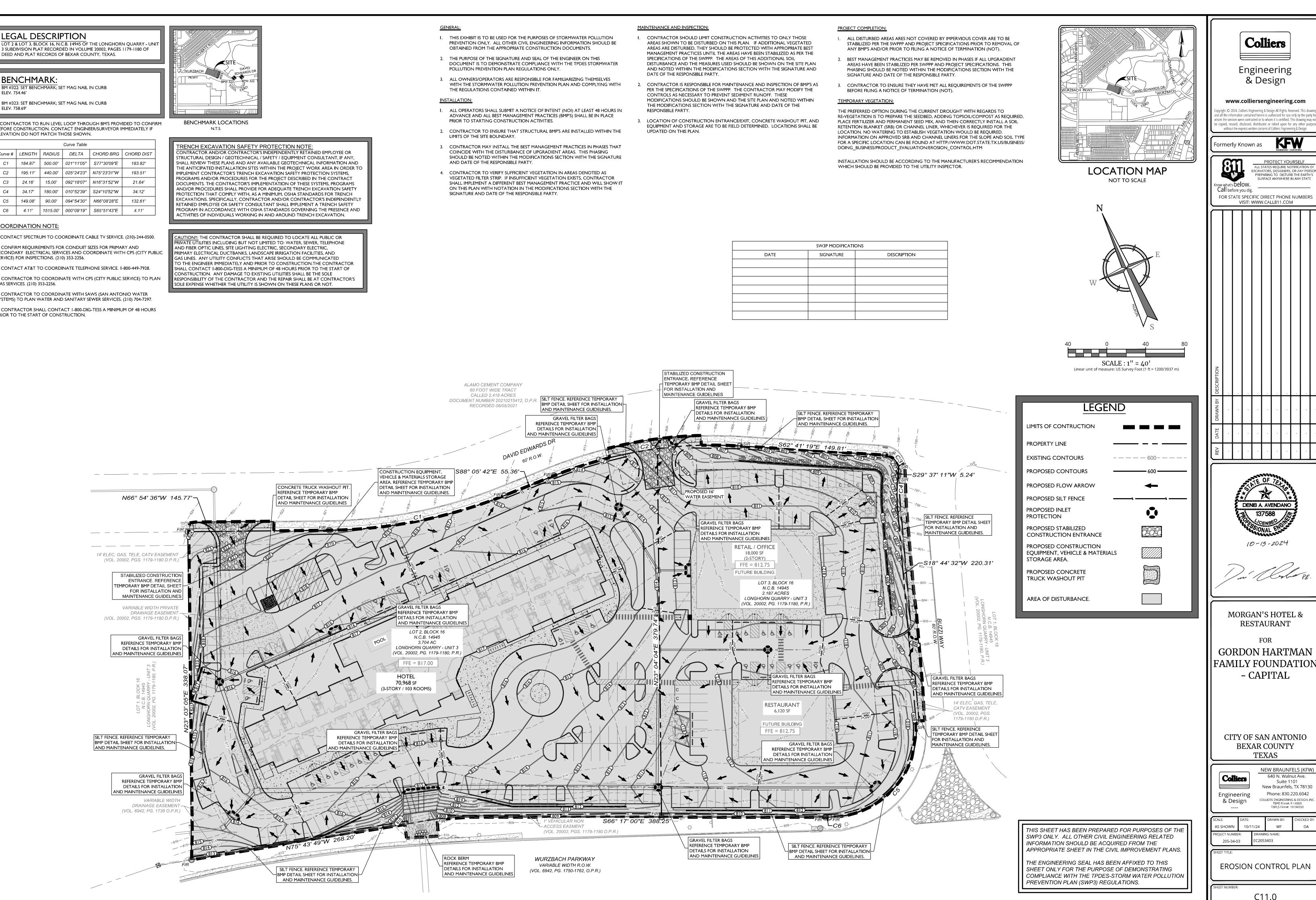
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CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR



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