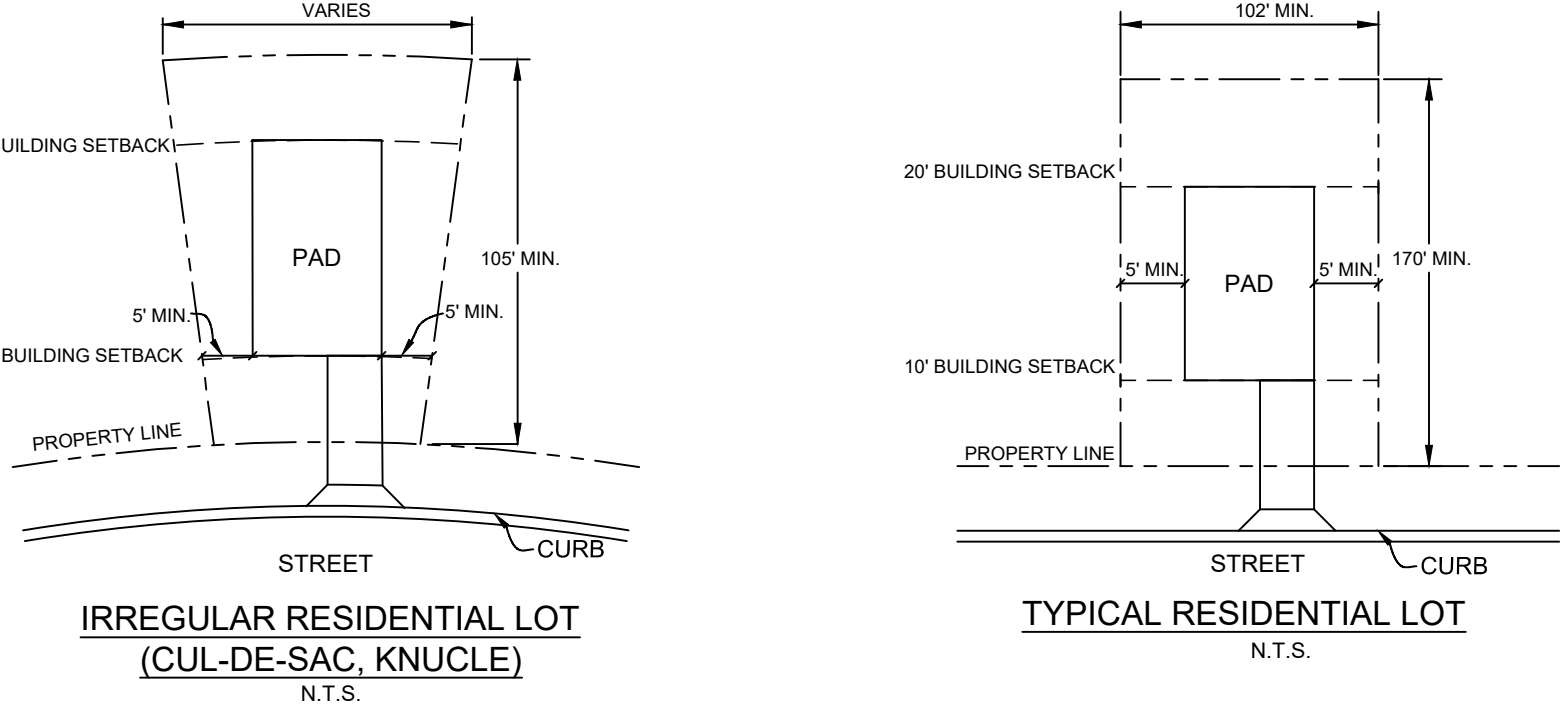


GENERAL NOTES

- THIS SUBDIVISION IS LOCATED WITHIN THE MEDINA VALLEY INDEPENDENT SCHOOL DISTRICT.
- ALL STREETS WITHIN THIS SUBDIVISION ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED.
- BUILDING SETBACK RESTRICTIONS AND OTHER RESTRICTIONS MAY BE ESTABLISHED BY THE SUBDIVISION COVENANTS AND RESTRICTIONS TO BE FILED BY SEPARATE INSTRUMENT.
- PROPERTY OWNERS ARE HEREBY ADVISED THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF DEDICATED EASEMENTS ON THEIR PROPERTY AND MAY NOT UTILIZE THEIR EASEMENTS FOR ANY PURPOSE DETRIMENTAL TO THEIR INTENDED USE. THE GRANTEES OF SAID DEDICATED EASEMENTS RESERVE THE RIGHT OF ACCESS TO SUCH EASEMENTS.
- 1/2-INCH DIAMETER IRON RODS (WITH PLASTIC CAPS) WILL BE SET AT ALL PROPERTY CORNERS.
- ALL BEARINGS AND DISTANCES REFERENCED HEREON ARE TEXAS STATE PLANE SOUTH CENTRAL ZONE AS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS).
- NORTH AND EAST COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE SOUTH CENTRAL ZONE AS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS).
- THE AERIAL CONTOURS SHOWN HEREON ARE FROM USGS MAPS.
- THE TYPICAL STREET SECTION WILL BE 50' RIGHT-OF-WAY CONSISTING OF 30' PAVEMENT OR 70' RIGHT-OF-WAY CONSISTING OF 44' PAVEMENT.
- STREET ALIGNMENT MAY BE ADJUSTED DURING CONSTRUCTION PHASE IN ORDER TO MINIMIZE REMOVAL OF HERITAGE TREES.
- NO PORTION OF THE SUBDIVISION LIES WITHIN THE EDWARDS AQUIFER RECHARGE ZONE OR THE EDWARDS AQUIFER CONTRIBUTION ZONE.
- THE GRAPHIC LOCATION OF THE SUBJECT TRACT ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48325C0400C, EFFECTIVE DATE APRIL 3, 2012 INDICATES NO PORTION OF THIS TRACT IS LOCATED WITHIN ZONE "A", WHICH IS DEFINED BY FEMA AS AREAS OF 100-YEAR FLOOD BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
- THE SUBDIVISION POTRANCO WEST STEINLE WILL BE DEVELOPED IN 3 UNITS.
- ALL DRAINAGE ESM'T. DETENTION PONDS TO BE OWNED AND MAINTAINED BY H.O.A.
- WATER TO BE SUPPLIED BY YANCEY WATER SUPPLY CORPORATION.
- THIS SUBDIVISION TO BE SERVICED BY TIME WARNER CABLE, AT&T, MEDINA ELECTRIC COMPANY AND CITY PUBLIC SERVICE.
- SANITARY SEWER SERVICE PROVIDED BY FOREST GLEN UTILITY COMPANY.



NOTE: IRREGULAR LOTS SHALL COMPLY WITH BUILDING SETBACK & MINIMUM STREET FRONTAGE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE.

LOCAL "B" STREET CROSS-SECTION (40' PAVEMENT)

LOCAL "A" TYPICAL STREET CROSS-SECTION (30' PAVEMENT)

POTRANCO RANCH WEST - STEINLE

TXDOT R.O.W. DEDICATION:	0.559 AC
PRIVATE STREETS:	7.745 AC
GREENBELTS/ PARKS (OPEN SPACE):	0.762 AC
DRAIN & SEWER ESM'TS. (OPEN SPACE):	2.579 AC

OVERALL LAND USE TABLE						
UNITS	GROSS AREA (AC.)	LAND USE	DWELLING UNITS (D.U.)	PARK/OPEN SPACE/DRAINAGE/ GREENBELT	OVERALL DENSITY (D.U./AC.)	ESTIMATED DEVELOPMENT DATE
1	17.006	SF-RESIDENTIAL	44	1.25	2.59	TBD
2	14.877	SF-RESIDENTIAL	46	0.61	3.09	TBD
3	9.315	SF-RESIDENTIAL	25	2	2.68	TBD
TOTAL	41.198		115	4.06	2.79	

POTRANCO OAKS WEST ~ STEINLE

CONNECTIVITY RATIO CALCULATIONS:

CONNECTIVITY RATIO = 1.33
NUMBER OF STREET LINKS = 18
NUMBER OF INTERNAL SUBDIVISION NODES = 12

PARK AND OPEN SPACE CALCULATIONS:

SINGLE FAMILY DWELLING UNITS = 144
REQUIRED PARKLAND (UDC TABLE 35-503.1): 1 ACRE / 70 D.U.
TOTAL REQUIRED PARK/OPEN SPACE: 2.06 ACRE

HK REAL ESTATE DEVELOPMENT
HARRY HAUSMAN

MOY TARIN RAMIREZ ENGINEERS LLC
PAUL LANDA, JR., P.E.

DRAINAGE NOTE

1. THE FLOODPLAIN LIMITS ON THIS MASTER DEVELOPMENT PLAN AND/OR PLANNED UNIT DEVELOPMENT ARE ESTIMATED AND SUBJECT TO CHANGE. APPROVAL OF SUBDIVISION PLATS ASSOCIATED WITH THIS MASTER DEVELOPMENT PLAN AND/OR PLANNED UNIT DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF A STORM WATER MANAGEMENT PLAN IN ACCORDANCE WITH APPENDIX B, SECTION 35-8119 OF THE CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE.

HK REAL ESTATE DEVELOPMENT
HARRY HAUSMAN

MOY TARIN RAMIREZ ENGINEERS LLC
PAUL LANDA, JR., P.E.

SUBMITTED BY:

MOY TARIN RAMIREZ ENGINEERS, LLC.
12770 CIMARRON PATH, SUITE 100
SAN ANTONIO, TEXAS 78249
TEL: (210) 698-5051
FAX: (210) 698-5085

OWNERS/DEVELOPERS:

HK REAL ESTATE DEVELOPMENT
CONTACT PERSON: HARRY HAUSMAN
15720 BANDERA ROAD, SUITE #103
HELOTES, TEXAS 78103
TEL: (210) 654-1372

LEGEND:

--- 100 --- EXISTING USGS CONTOURS
UNIT LINE
O.P.R.M.C.T. OFFICIAL PUBLIC RECORDS OF MEDINA COUNTY TEXAS
E.G.T.T.V.E. ELECTRICAL, GAS, TELEPHONE & CABLE TELEVISION EASEMENT
B.S.L. BUILDING SETBACK LINE
ESM'T. EASEMENT

ADJACENT PROPERTY OWNERS:

- MEDINA COUNTY PUBLIC IMPROVEMENT DISTRICT NUMBER 1 POTRANCO RANCH PID LOT 900, BLOCK 5, 30' WATER EASEMENT 0.243 ACRES
PROPERTY ID: 86150
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- HT OF TEXAS LP LOT 2, BLOCK 5 0.6009 ACRES
PROPERTY ID: 86143
POTRANCO RANCH UNIT 4
(DEED #200000553 O.P.R.M.C.T.)
- HT OF TEXAS LP LOT 3, BLOCK 5 0.5639 ACRES
PROPERTY ID: 86144
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2018005670 O.P.R.M.C.T.)
- HT OF TEXAS LP LOT 4, BLOCK 5 0.5197 ACRES
PROPERTY ID: 86145
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2018007366 O.P.R.M.C.T.)
- MEDINA COUNTY PUBLIC IMPROVEMENT DISTRICT NUMBER 1 POTRANCO RANCH PID LOT 901, BLOCK 5, 10' DRAIN R.O.W. 0.083 ACRES
PROPERTY ID: 86160
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- LIU MICHAEL & KIM SUSAN LOT 5, BLOCK 5 0.505 ACRES
PROPERTY ID: 86146
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- RAMIREZ ROBERTO P. JR. & IDALIA LOT 7, BLOCK 5 0.7354 ACRES
PROPERTY ID: 86148
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2020012268 O.P.R.M.C.T.)
- MARTIN WILLIAM JR. & MCKOY-MARTIN D'ANGELOQUE LOT 8, BLOCK 5 0.9005 ACRES
PROPERTY ID: 86149
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- PARROW MARGO & JONATHAN E LOT 9, BLOCK 5 0.889 ACRES
PROPERTY ID: 86150
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2020010264 O.P.R.M.C.T.)
- ARMAN SAMUEL N. & YAMAGUCHI AYASA LOT 10, BLOCK 5 0.7765 ACRES
PROPERTY ID: 86151
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2017003149 O.P.R.M.C.T.)
- VILLAREAL FRANCISCO H LOT 11, BLOCK 5 0.892 ACRES
PROPERTY ID: 86152
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- MEDINA COUNTY PUBLIC IMPROVEMENT DISTRICT NUMBER 1 POTRANCO RANCH PID LOT 902, BLOCK 5, DETENTION POND 1.2 ACRES
PROPERTY ID: 86161
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- SOULTZ LORENZO & MARIA LOUISE CONTRERAS LOT 12, BLOCK 5 0.5201 ACRES
PROPERTY ID: 86153
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- VAUGHAN DAVID K & ROSEMARY A LOT 13, BLOCK 5 0.5201 ACRES
PROPERTY ID: 86154
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- CRENSHAW FAMILY TRUST LOT 14, BLOCK 5 0.5208 ACRES
PROPERTY ID: 86155
(WARRANTY DEED #202008958 O.P.R.M.C.T.)
- FLORES EDWARD & GUTIERREZ CYNTHIA LOT 15, BLOCK 5 0.5051 ACRES
PROPERTY ID: 86147
POTRANCO RANCH UNIT 4
(WARRANTY DEED #2017001492 O.P.R.M.C.T.)
- STYER RONALD A II & HARRIS-STYER JULIA LOT 16, BLOCK 5 0.5051 ACRES
PROPERTY ID: 86148
POTRANCO RANCH UNIT 4
(VOL. 10, PAGE 295 O.P.R.M.C.T.)
- RENDLE DEON E. & PRISOLLA JANE PARKER LOT 17, BLOCK 5 0.5051 ACRES
PROPERTY ID: 507288
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020010494 O.P.R.M.C.T.)
- FEIGLER-ARKADIE KAYLYNN F. & ARKADIE JAMES L JR LOT 18, BLOCK 5 0.6211 ACRES
PROPERTY ID: 507289
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020010494 O.P.R.M.C.T.)
- MASON JOHN EARL & ROSANA LOT 19, BLOCK 5 0.541 ACRES
PROPERTY ID: 507290
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020005640 O.P.R.M.C.T.)
- PELAYO JASON & VALERIE LOT 20, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507291
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020007528 O.P.R.M.C.T.)
- WALKER LARRY LYNN & ANITA A LOT 21, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507292
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020010803 O.P.R.M.C.T.)
- SPRINGS LIVING TRUST LOT 22, BLOCK 5 0.5208 ACRES
PROPERTY ID: 507293
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020010027 O.P.R.M.C.T.)
- RODRIGUEZ DENNIS A. & MARIYATH B LOT 23, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507294
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020008405 O.P.R.M.C.T.)
- GOLD TRENTON W. & ADRIANA LOT 24, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507295
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020008610 O.P.R.M.C.T.)
- BROWN PATRICK C. & JOHNSON RUTH S LOT 25, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507296
POTRANCO RANCH UNIT 11
(WARRANTY DEED #2020009126 O.P.R.M.C.T.)
- STACHOWITZ MIKE A. & BEVA LOT 26, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507297
POTRANCO RANCH UNIT 11
(WARRANTY DEED #202000763 O.P.R.M.C.T.)
- BETROS JEANNE STEINLE LOT 27, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507298
POTRANCO RANCH UNIT 11
(WARRANTY DEED #202000763 O.P.R.M.C.T.)
- BETROS JEANNE STEINLE LOT 28, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507299
POTRANCO RANCH UNIT 11
(WARRANTY DEED #202000763 O.P.R.M.C.T.)
- BETROS JEANNE STEINLE LOT 29, BLOCK 5 0.5036 ACRES
PROPERTY ID: 507300
POTRANCO RANCH UNIT 11
(WARRANTY DEED #202000763 O.P.R.M.C.T.)

LEGAL DESCRIPTION - POTRANCO OAKS

BEING A 41.762 ACRES (1,819,183.49 SQUARE FEET) TRACT OF LAND SITUATED IN THE JOHN GARNER SURVEY NO. 97, ABSTRACT NO. 1452, AND THE WILLIAM B. RHODE SURVEY NO. 96, ABSTRACT NO. 1327, MEDINA COUNTY, TEXAS, BEING A PORTION OF A REMAINDER OF A 619.4125 ACRE TRACT AS CONVEYED TO JEANNE STEINLE WILLIAMS BY LAST WILL AND TESTAMENT AS RECORDED IN VOLUME 63, PAGES 378-385 OF THE OFFICIAL PROBATE RECORDS OF MEDINA COUNTY, TEXAS, SAID 41.762 ACRE (1,819,183.49 SQUARE FEET) TRACT OF LAND.

STATE OF TEXAS
COUNTY OF MEDINA

THE MASTER DEVELOPMENT PLAN OF POTRANCO RANCH SUBDIVISION HAS BEEN SUBMITTED TO AND REVIEWED BY THE COMMISSIONERS COURT OF MEDINA COUNTY, TEXAS, AND HAS BEEN SO ACCEPTED BY THE COMMISSIONERS COURT ON EACH DATE OF APPROVAL OF PLATTED UNITS, BEGINNING AS EARLY AS MAY 14, 2012.

ACKNOWLEDGED THIS _____ DAY OF _____ 20____.

BY: _____
JUDGE

BY: _____
COMMISSIONER PRECINCT 2
MEDINA COUNTY

POTRANCO RANCH WEST - STEINLE

MASTER DEVELOPMENT PLAN

MEDINA COUNTY, TEXAS