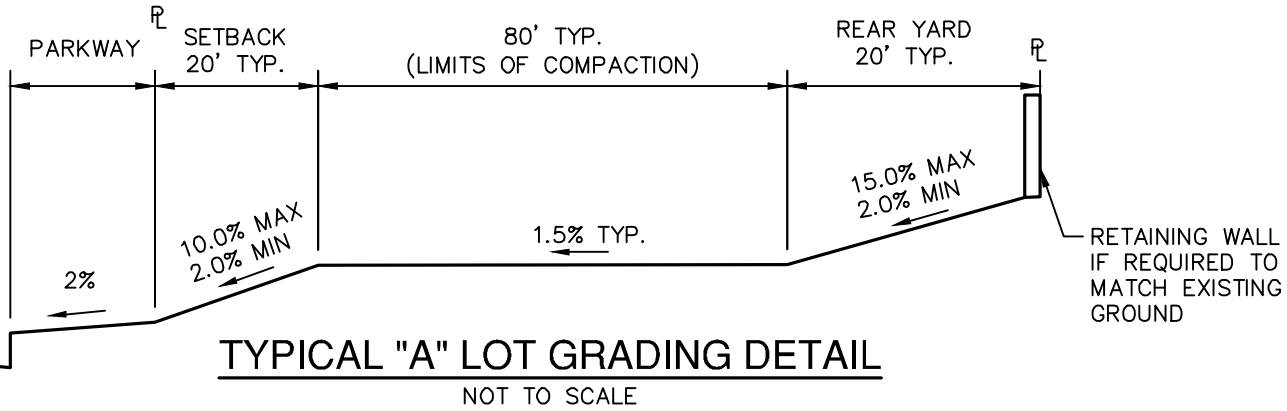
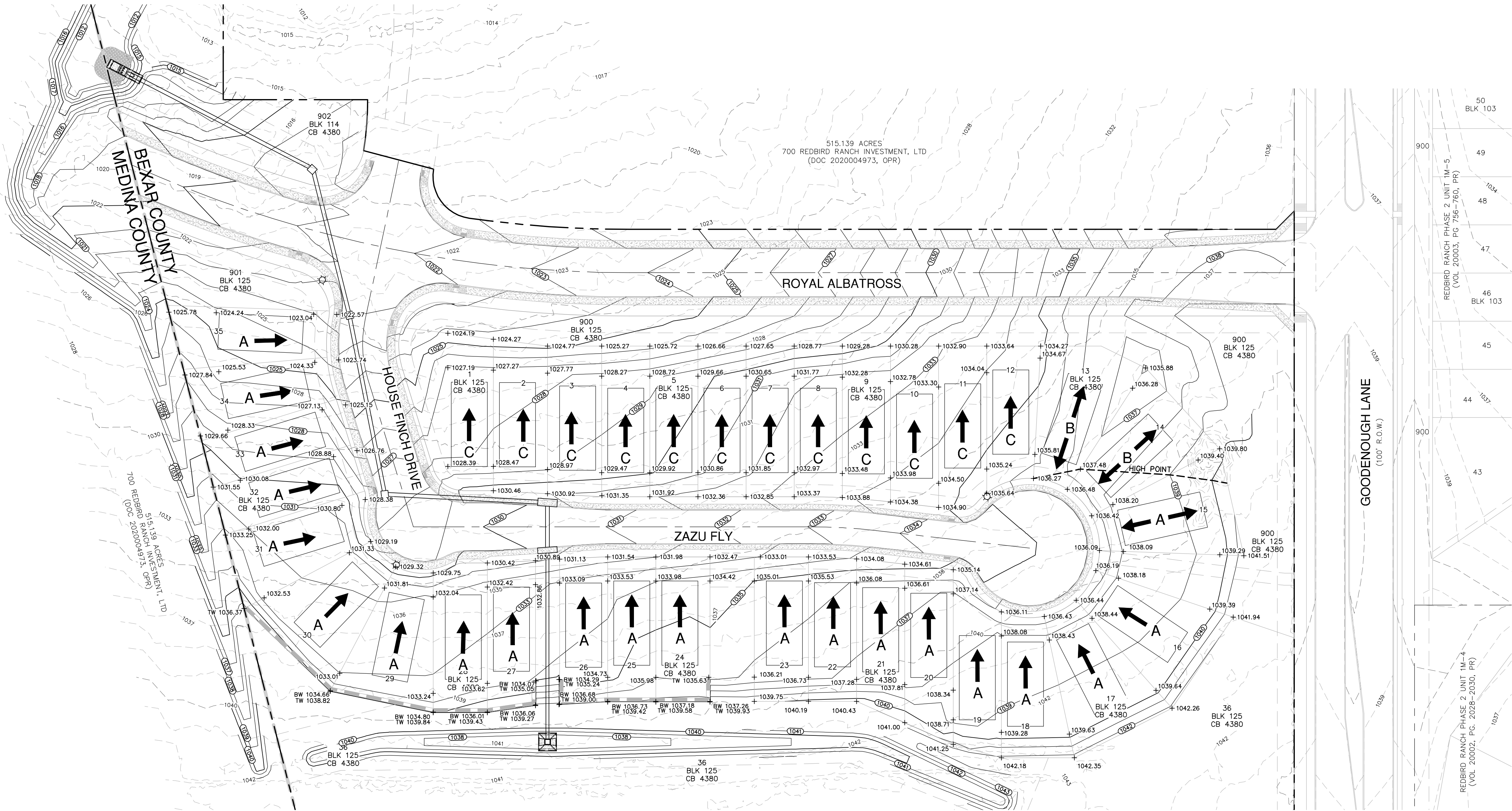
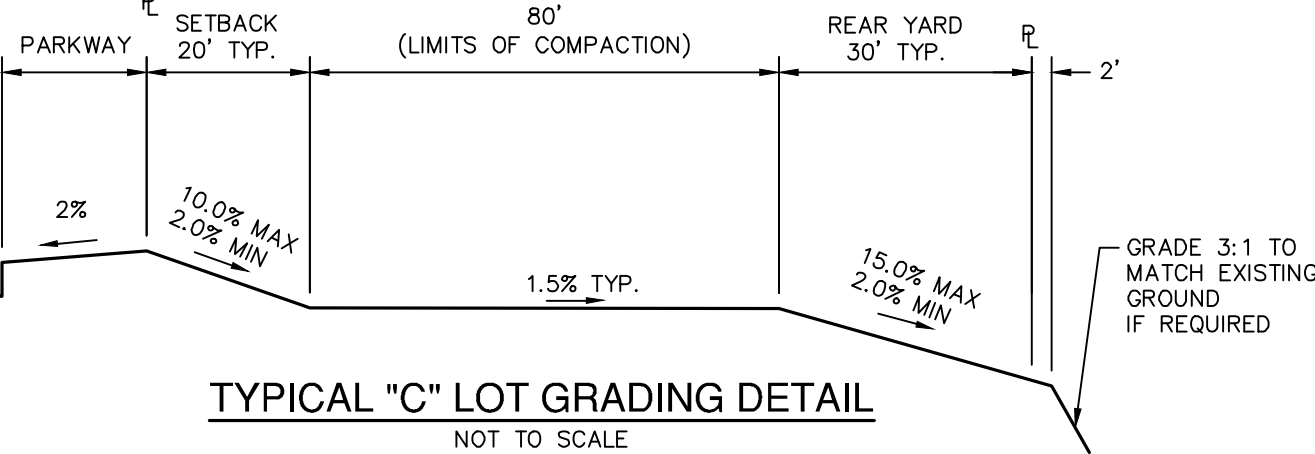


Date: Apr 19, 2024, 9:27am User ID: bchb42  
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TYPICAL "A" LOT GRADING DETAIL  
NOT TO SCALE



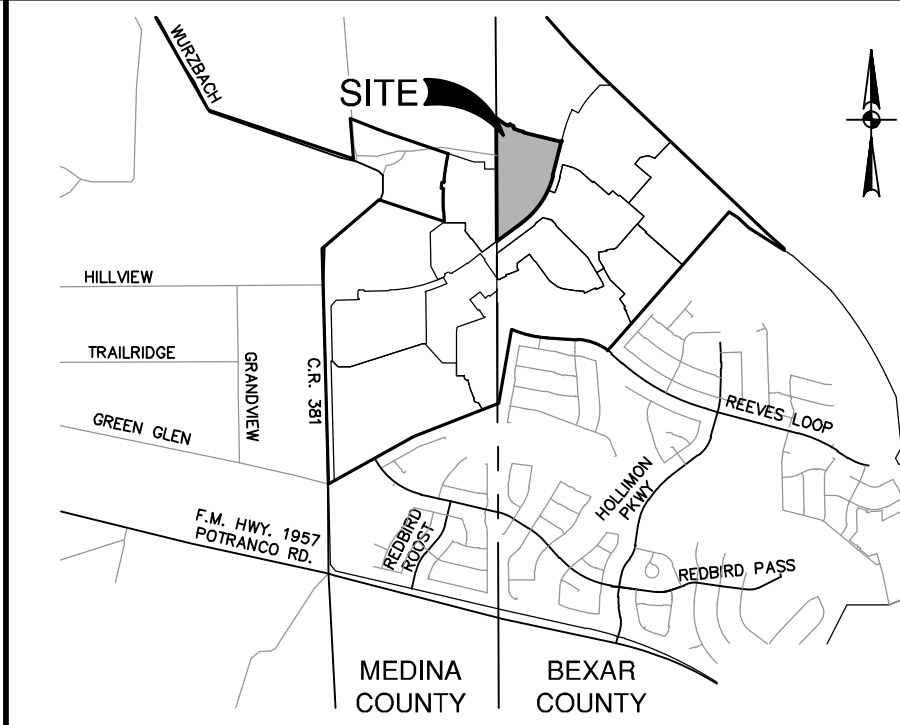
TYPICAL "C" LOT GRADING DETAIL  
NOT TO SCALE

## RETAINING WALL NOTE:

- CONTRACTOR SHALL HIRE A STRUCTURAL ENGINEER FOR THE DESIGN AND PERMITTING OF RETAINING WALLS INCLUDED WITHIN THIS PROJECT.

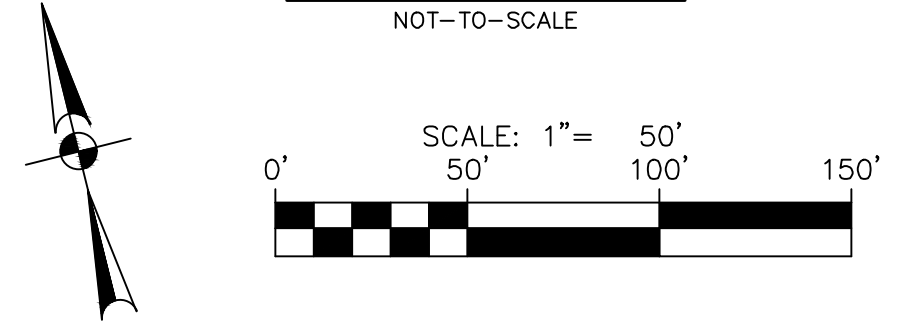
## RESIDENTIAL GRADING NOTES:

- DRIVEWAYS MAY BE LOCATED ON EITHER SIDE OF THE LOT UNLESS OTHERWISE SHOWN ON THIS PLAN OR STREET PLANS.
- REFERENCE GRADING NOTES AND GEOTECHNICAL ENGINEERING SPECIFICATIONS PROVIDED BY THE OWNER.
- LOT GRADING PATTERNS (A, B, OR C) MUST BE FOLLOWED.
- ALL LOTS SHALL BE GRADED SO THAT NO DRAINAGE SHALL BE ALLOWED TO FLOW ONTO ADJACENT SIDE LOTS.
- BUILDER TO VERIFY INVERTS OF ALL SANITARY SEWER LATERALS WHEN ESTABLISHING THE APPROPRIATE FINISHED FLOOR ELEVATIONS IN ORDER TO ENSURE ADEQUATE DRAINAGE OF HOUSE LATERALS.
- EXISTING CONTOURS SHOWN ONSITE ARE FROM LIDAR TOPOGRAPHY & FIELD SURVEY.
- GRADES, SLOPES, AND ELEVATIONS SHOWN ARE MASS GRADES ONLY. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION OF SIDE YARD SWALES AND DETAILED GRADING AROUND EACH INDIVIDUAL HOUSE ENSURING POSITIVE DRAINAGE IN EACH CASE.



## LOCATION MAP

NOT-TO-SCALE



## GRADING LEGEND

PROJECT LIMITS	---
100 YR FLOODPLAIN	---
EXISTING CONTOUR	-976-
PROPOSED CONTOUR	-970-
FLOW ARROW (EXISTING)	→
FLOW ARROW (PROPOSED)	→
MINIMUM FINISHED FLOOR ELEVATION	FF = XXXX.XX

TREES TO REMAIN

## GRADING NOTES:

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THIS SCOPE OF WORK WHERE NOT SPECIFICALLY COVERED IN THE SPECIFICATIONS OR GEOTECHNICAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY, COUNTY AND TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
- ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
- ALL ELEVATIONS AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVING, BASE, GRASS, TOPSOIL, AND MULCH MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL REMOVE TOP SOIL, GRASS, ROOTS, DEBRIS, ETC. AND DISPOSE OFF SITE THOSE MATERIALS NOT SUITABLE FOR EMBANKMENT AND TOPSOIL. CLEAN STRIPPINGS AND TOPSOIL MAY BE STOCKPILED ON SITE FOR REUSE IN A LOCATION SPECIFIED BY THE OWNER.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STABILIZATION, ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND TPDES/SWPPP REQUIREMENTS. REFERENCE THE LANDSCAPE ARCHITECT'S PLAN, IF APPLICABLE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY, STREETS, OR DRAINAGE WAYS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS WHICH WASHES OFFSITE OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE SWPPP PLANS & TPDES BOOK).
- THE CONTRACTOR SHALL OBTAIN GRADES SHOWN HEREON WITHIN +/- ONE-TENTH (0.10) FOOT.
- IN PROPOSED PAVING AREAS, STREET DESIGN PLANS SHALL CONTROL. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 1.0% UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER, CONDITION ANY DAMAGE DONE TO EXISTING TREES, BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN WORKING NEAR UTILITIES, GAS LINES, SEWER, OR EXISTING APPURTENANCES. PRIOR TO PERFORMING ANY EXCAVATION, CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND ASSURE HIMSELF THAT ALL UTILITIES HAVE BEEN ADEQUATELY LOCATED AND IDENTIFIED. THE ENGINEER SHALL BE NOTIFIED IF ANY UTILITY CONFLICTS ARE DISCOVERED.
- UTILITIES SHOWN ON THE PLANS ARE FROM INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION AND VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR, AT HIS OWN EXPENSE.
- POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- FOR FILL PLACEMENT ON HILL SIDES OR STEEP SLOPE AREAS, THE CONTRACTOR SHALL REFERENCE THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT FOR SPECIAL INSTRUCTIONS REGARDING BENCHING.
- NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

**PAPE-DAWSON**  
**ENGINEERS**

NEW BRUNSWICK | SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS  
1672 INDEPENDENCE DR. STE. 102 | NEW BRUNSWICK, TX 78132 | 210.375.9000  
TEXAS BOARD OF PROFESSIONAL ENGINEERS: FIRM REGISTRATION #470

**REDBIRD RANCH PHASE 2 UNIT 2M-4**  
SAN ANTONIO, TEXAS

OVERALL GRADING PLAN

PLAT NO. CP202310  
JOB NO. 30004-27  
DATE DECEMBER 2022  
DESIGNER CL  
CHECKED DRAWN BH  
SHEET 1 OF 1