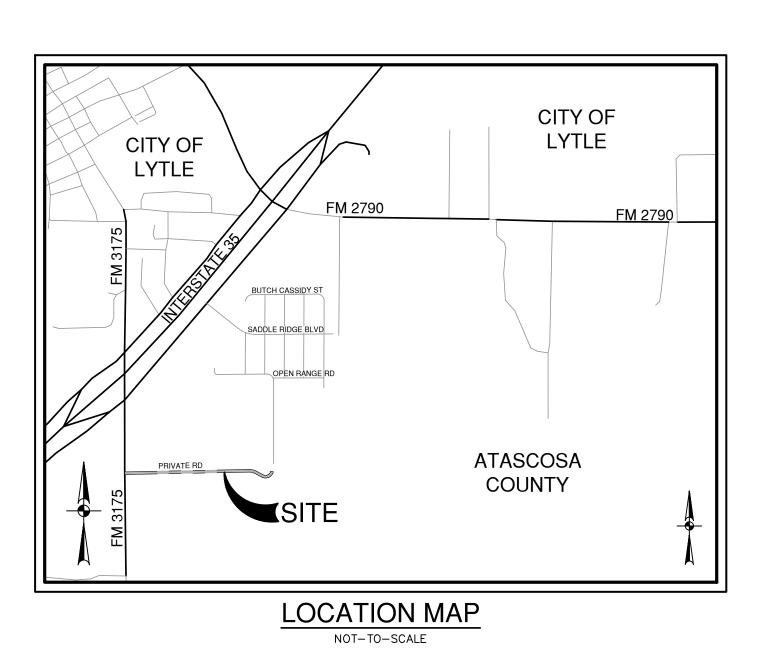
SADDLE RIDGE ESTATES - SECONDARY ACCESS

LYTLE, TEXAS

CIVIL CONSTRUCTION PLANS



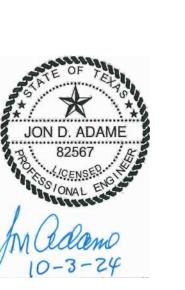
PREPARED FOR:

RAUSCH COLEMAN HOMES SAN ANTONIO, LLC 4058 NORTH COLLEGE AVE. SUITE 300 FAYETTEVILLE, ARKANSAS 72703

> CITY OF LYTLE 14916 MAIN ST. LYTE, TX 78052

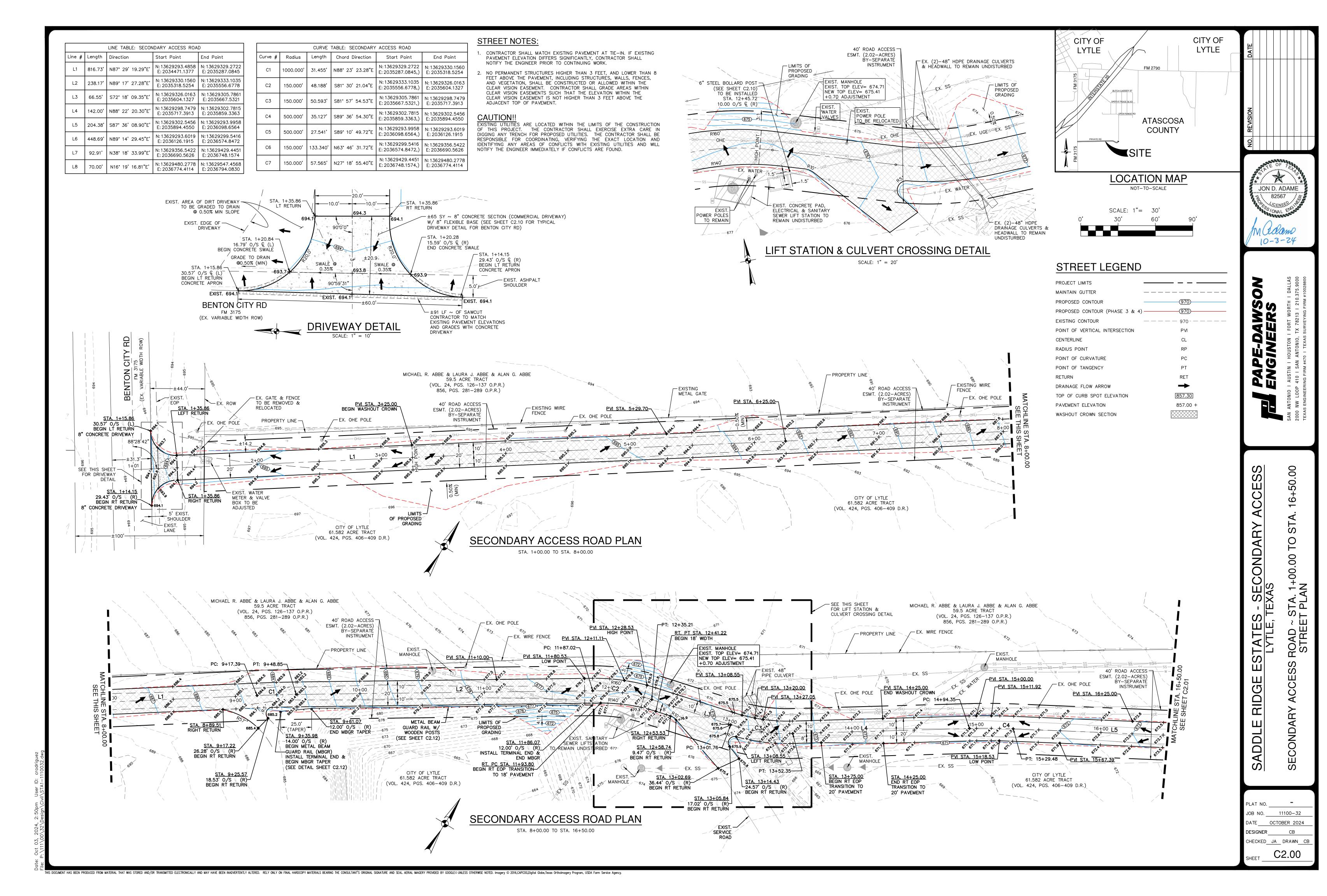
OCTOBER 2024





SHEET INDEX

Sheet Description	Sheet No.
COVER SHEET	C0.00
SECONDARY ACCESS ROAD ~ STA. 1+00.00 TO STA. 16+50.00	C2.00
SECONDARY ACCESS ROAD ~ STA. 16+50.00 TO STA. 25+50.00	C2.01
STREET DETAILS	C2.10
STREET DETAILS	C2.11
STREET DETAILS	C2.12
STORMWATER POLLUTION PREVENTION PLAN	C8.00
STORMWATER POLLUTION PREVENTION PLAN	C8.01
STORMWATER POLLUTION PREVENTION DETAILS	C8.10



STREET NOTES: CONTRACTOR SHALL MATCH EXISTING PAVEMENT AT TIE-IN. IF EXISTING PAVEMENT ELEVATION DIFFERS SIGNIFICANTLY, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WORK. NO PERMANENT STRUCTURES HIGHER THAN 3 FEET, AND LOWER THAN 8 FEET ABOVE THE PAVEMENT, INCLUDING STRUCTURES, WALLS, FENCES, AND VEGETATION, SHALL BE CONSTRUCTED OR ALLOWED WITHIN THE CLEAR VISION EASEMENT. CONTRACTOR SHALL GRADE AREAS WITHIN CLEAR VISION EASEMENTS SUCH THAT THE ELEVATION WITHIN THE CLEAR VISION EASEMENT IS NOT HIGHER THAN 3 FEET ABOVE THE ADJACENT TOP OF PAVEMENT. CAUTION!! EXISTING UTILITIES ARE LOCATED WITHIN THE LIMITS OF THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL EXERCISE EXTRA CARE IN DIGGING ANY TRENCH FOR PROPOSED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, VERIFYING THE EXACT LOCATION AND IDENTIFYING ANY AREAS OF CONFLICTS WITH EXISTING UTILITIES AND WILL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE FOUND.

THREE (3) COPIES OF EQUIPMENT SUBMITTALS FOR ALL TRAFFIC SIGN COMPONENTS SHALL BE

SENT TO THE ENGINEER. SUBMITTALS SHALL CONSIST OF THE APPROPRIATE COMBINATION OF

CATALOG SHEETS, MATERIAL LISTS, MANUFACTURER'S BROCHURES, TECHNICAL BULLETINS,

SPECIFICATIONS, DIAGRAMS, OR PRODUCT SAMPLES NECESSARY TO DESCRIBE A SYSTEM, PRODUCT, OR ITEM. SPECIFIC ITEM NUMBERS AND PRODUCT CODES WILL BE CLEARLY IDENTIFIED WHEN

ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL CONFORM TO APPLICABLE TEXAS DOT STANDARD SPECIFICATIONS, CITY BUILDING CODE AND REGULATIONS AS WELL AS PROVISIONS APPLICABLE TO THE PROJECT AND AS OTHER SAFETY

MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE NEW, UN-DEPRECIATED STOCK. ALL

10. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGE DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT,

CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEM). CONTRACTOR SHALL RESTORE THE

SPECIFICATION, MEASUREMENT AND PAYMENT PROCEDURE, ETC., SHOWN IN THIS PLAN SET AND ANY TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SHALL BE RESOLVED

ANY CONFLICT BETWEEN ANY DEFINITION, MATERIAL SPECIFICATION, CONSTRUCTION

HIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL. AERIAL IMAGERY PROVIDED BY GOOGLE® UNILESS OTHERWISE NOTED. Imagery © 2016,CAPCOG,Digital Globe,Texas Orthoimagery Program, USDA Farm Service Agency.

CONSTRUCTION AREA TO ORIGINAL CONDITION, OR BETTÉR, PRIOR TO FINAL INSPECTION.

ONLY BY THE ENGINEER AND THE ENGINEER'S DECISION SHALL BE FINAL AND BINDING.

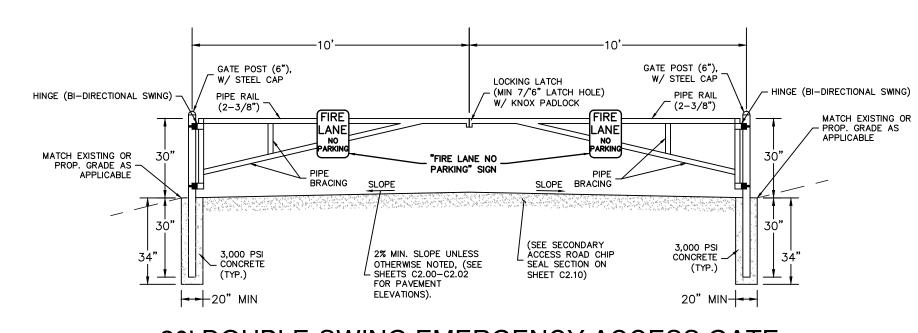
MULTIPLE PRODUCTS ARE LISTED ON THE SAME SHEET.

CODES AND INSPECTION REQUIREMENTS OF THE FIRE DEPARTMENT.

EQUIPMENT SHALL BE NEW, UNLESS NOTED OTHERWISE ON THE PLANS.

LINE TABLE: SECONDARY ACCESS ROAD					
Line #	Length	ength Direction Start Point		End Point	
L1	816.73	N87° 29' 19.29"E'	N: 13629293.4858 E: 2034471.1377	N: 13629329.2722 E: 2035287.0845	
L2	238.17	N89° 17' 27.28"E'	N: 13629330.1560 E: 2035318.5254	N: 13629333.1035 E: 2035556.6778	
L3	66.55	S72* 18' 09.35"E'	N: 13629326.0163 E: 2035604.1327	N: 13629305.7861 E: 2035667.5321	
L4	142.00'	N88* 22' 20.30"E'	N: 13629298.7479 E: 2035717.3913	N: 13629302.7815 E: 2035859.3363	
L5	204.38	S87° 36' 08.90"E'	N: 13629302.5456 E: 2035894.4550	N: 13629293.9958 E: 2036098.6564	
L6	448.69'	N89° 14' 29.45"E'	N: 13629293.6019 E: 2036126.1915	N: 13629299.5416 E: 2036574.8472	
L7	92.91'	N38° 18' 33.99"E'	N: 13629356.5422 E: 2036690.5626	N: 13629429.4451 E: 2036748.1574	
L8	70.00'	N16° 19' 16.81"E'	N: 13629480.2778 E: 2036774.4114	N: 13629547.4568 E: 2036794.0830	

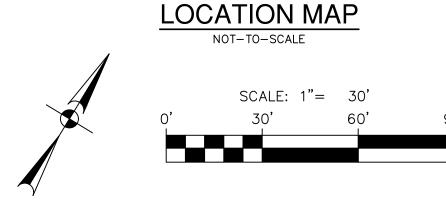
CURVE TABLE: SECONDARY ACCESS ROAD					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C1	1000.000'	31.455'	N88° 23' 23.28"E	N: 13629329.2722 E: 2035287.0845,)	N: 13629330.156 E: 2035318.525
C2	150.000'	48.188'	S81° 30' 21.04"E	N: 13629333.1035 E: 2035556.6778,)	N: 13629326.010 E: 2035604.132
C3	150.000'	50.593'	S81° 57' 54.53"E	N: 13629305.7861 E: 2035667.5321,)	N: 13629298.74 E: 2035717.391
C4	500.000'	35.127'	S89° 36' 54.30"E	N: 13629302.7815 E: 2035859.3363,)	N: 13629302.54 E: 2035894.45
C5	500.000'	27.541'	S89° 10' 49.72"E	N: 13629293.9958 E: 2036098.6564,)	N: 13629293.60 E: 2036126.191
C6	150.000'	133.340'	N63° 46′ 31.72″E	N: 13629299.5416 E: 2036574.8472,)	N: 13629356.54 E: 2036690.562
C7	150.000'	57.565'	N27° 18' 55.40"E	N: 13629429.4451 E: 2036748.1574,)	N: 13629480.27 E: 2036774.411



20' DOUBLE-SWING EMERGENCY ACCESS GATE

5. COORDINATE INSTALLATION OF KNOX PADLOCK WITH CITY OF LYTLE FIRE DEPARTMENT.

NOTES:1. ALL MATERIALS SHALL BE SCHEDULE 40, STEEL PIPE. . PROTECTIVE FINISH SHALL BE EXTERIOR POLYURETHANE PAINT, DARK BROWN. CONTRACTOR TO INSTALL FIRE LANE, NO PARKING SIGN ON EACH SIDE OF THE GATE, SEE DETAIL THIS SHEET. CONCRETE SHALL BE 3,000 PSI.



FM 2790

ATASCOSA

COUNTY

PHASE LINE

SADDLE RIDGE

ESTATES, PHASE 4

(CONCURRENT GRADING & FUTURE

CONSTRUCTION &

PLATTING)

LIMITS OF

PROPOSED

GRADING

CITY OF LYTLE

61.582 ACRE TRACT

(VOL. 424, PGS. 406-409 D.R.)

WIRE FENCE

LINE

- PROPERTY

SADDLE RIDGE -

PROPERTY LINE

ESTATES

CITY OF LYTLE

PROJECT LIMITS MAINTAIN GUTTER PROPOSED CONTOUR PROPOSED CONTOUR (PHASE 3 & 4) EXISTING CONTOUR _____ 970 - _ _ _ POINT OF VERTICAL INTERSECTION CENTERLINE RADIUS POINT POINT OF CURVATURE POINT OF TANGENCY RETURN DRAINAGE FLOW ARROW 857.30 TOP OF CURB SPOT ELEVATION PAVEMENT ELEVATION 857.00 + WASHOUT CROWN SECTION

CITY OF

LYTLE

JON D. ADAME

82567

10-3-24

ᇫ

LAT NO. JOB NO. 11100-32 ATE OCTOBER 2024 DESIGNER CHECKED JA DRAWN CB

FIRE LANE STREET LEGEND **PARKING** ANYTIME CITY ORD, 329 MICHAEL R. ABBE & LAURA J. ABBE & ALAN G. ABBE 59.5 ACRE TRACT → 3" GALVANIZED MANHOLE (VOL. 24, PGS. 126-137 O.P.R.) STEEL POST 856, PGS. 281-289 O.P.R.) 3500 PSI 🔆 PC CONC. PC: 17+33.86 - PROPERTY 1. SIGNS SHALL BE STANDARD SIZE 18"X24" AND HAVE RED LETTERS AND BORDER ON A WHITE BACKGROUND. 2. SIGNS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE SIGN AT LEAST SEVEN (7) FEET WIRE FENCE ABOVE GRADE AND AT LEAST TWO (2) FEET FROM CURB EDGE. 3. SIGNS SHALL BE PLACED AS FOLLOWS: A. LESS THAN FORTY (40) FEET: ONE (1) SIGN WITH A DOUBLE ARROW. B. FROM FORTY (40) TO NINETY (90) FEET: TWO (2) SIGNS WITH RIGHT AND LEFT ARROWS. C. FOR ONE HUNDRED (100) FEET OR MORE: THREE (3) SIGNS WITH RIGHT/LEFT AND DOUBLE ARROWS IN THE MIDDLE. 4. SIGNS TO BE PLACED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND THE CITY OF LYTLE'S FIRE CODE. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE MARSHALL FOR EX. UTILITIES 40' ROAD ACCESS FIRE LANE SIGNAGE DETAIL ESMT. (2.02-ACRES) BY-SEPARATE INSTRUMENT EXIST. MANHOLE NOT-TO-SCALE EXIST. TOP ELEV= 677.56 NEW TOP ELEV= 677.56 +0.00 ADJUSTMENT SADDLE RIDGE MICHAEL R. ABBE & LAURA J. ABBE & ALAN G. ABBE 59.5 ACRE TRACT ESTATES. & CABLE TV ESMT. PHASE 3 (VOL. 24, PGS. 126-137 O.P.R.) (CONCURRENT (CONCURRENT) PLATTING & 856, PGS. 281-289 O.P.R.) SADDLE RIDGE -ESTATES CONSTRUCTION) **GENERAL NOTES:** SADDLE RIDGE ESTATES, PROPERTY LINE PHASE 3 THE PROJECT GENERAL NOTES MAY SPECIFY A PARTICULAR SIGN SUPPORT. SUPPORT AND DESIGN (CONCURRENT PLATTING SHALL CONFORM WITH AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS OF HIGHWAY SIGNS, LUMINARIES AND TRAFFIC SIGNALS WITH A DESIGN WIND SPEED OF 70 MPH. STEEL PIPE SHALL BE GALVANIZED IN ACCORDANCE TO ASTM DESIGNATION A123. WHERE SOLID ROCK IS & CONSTRUCTION) 11.95' 0/S 🖳 (L END 6" CONCRETE APRON ENCOUNTERED AT GROUND LEVEL, THE FOUNDATION SHALL BE A MINIMUM DEPTH OF 18 INCHES. WHEN SOLID ROCK IS ENCOUNTERED BELOW GROUND LEVEL, THE FOUNDATION SHALL EXTEND INTO (SEE DETAIL SHEET C2.11) BLOCK O THE SOLID ROCK A MINIMUM DEPTH OF 18 INCHES OR PROVIDE A MINIMUM FOUNDATION DEPTH OF CITY OF LYTLE 30 INCHES. ONLY CONCRETE FOUNDATIONS SHALL BE USED IN ROCK. 61.582 ACRE TRACT 10' SANITARY -EX. BARBED -(VOL. 424, PGS. 406-409 D.R.) PARKING 20' DOUBLE SWING SIGNAGE NOTES: EMERGENCY ACCESS GATE WIRE FENCE LOT 502, BLK F EASEMENT TO BE DEDICATED TO UNDERGROUND UTILITIES EXIST WITHIN THE PROJECT. CONTRACTOR SHALL HAVE THE UTILITIES (SEE THIS SHEET FOR DETAIL) (PHASE-3) THE CITY OF LYTLE AT MARKED PRIOR TO INSTALLATION OF THE SIGN POST. SIGN LOCATIONS ILLUSTRATED ON THE THE TIME OF SADDLE PLANS ARE APPROXIMATE. CONTRACTOR SHALL LOCATE SIGNS TO AVOID UTILITIES. CONTRACTOR RIDGE ESTATES PHASE IS RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES ← EX. BARBED 3 PLAT RECORDATION BEFORE COMMENCING WORK. WIRE FENCE 2. IN ACCORDANCE WITH THE UNDERGROUND FACILITY DAMAGE PREVENTION ACT THE TELEPHONE NUMBER FOR A UTILITY LOCATOR IS 1-800-545-6005. IT IS THE CONTRACTOR'S RESPONSIBILITY 20' DOUBLE SWING MANHOLE EMERGENCY ACCESS GATE TO MAKE ARRANGEMENTS FOR UTILITY LOCATORS, AS NEEDED. (SEE THIS SHEET FOR DETAIL) STA. 25+13.91 PROPERTY LINE 3. WHEN PREPARING HOLES FOR POSTS, CARE SHALL BE TAKEN SO AS NOT TO RUPTURE EXISTING DRAINAGE STRUCTURES, SPRINKLER SYSTEMS, TELECOMMUNICATIONS FACILITIES, ≟12.04' 0/S ♀ (R) REMOVE EXISTING BARBED - 40' ROAD ACCESS END 6" CONCRETE APRON WIRE FENCE -PC: 24+36.34 ESMT. (2.02-ACRES) ELECTRICAL CONDUITS AND PUBLIC UTILITIES. (SEE DETAIL SHEET C2.11) BY-SEPARATE 18.43' O/S ♀ (R)· INSTRUMENT 4. ALL SIGNS SHALL COMPLY WITH THE SIGN DESIGNS PRESENTED IN STANDARD HIGHWAY SIGN DESIGNS FOR TEXAS. PARKING ANYTIME STA. 21+12.12 5. SIGN LOCATIONS ILLUSTRATED ON THE PLANS ARE APPROXIMATE. SIGNS SHALL BE LOCATED IN THE FIELD TO PROVIDE APPROPRIATE FUNCTIONALITY. SIGN LOCATIONS SHALL COMPLY WITH 19.16' 0/S 🖳 (R)-EX. BARBED -GUIDELINES AND REQUIREMENTS PRESENTED IN THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL WIRE FENCE STA. 25+04.75 10.00' 0/S ♀ (R) _34.51' 0/S ♀ (R)∕< 6. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING DEVICES REQUIRED TO COMPLETE THE WORK. ALL CONSTRUCTION SIGNS AND TRAFFIC BEGIN 6" CONCRETE APRON END PAVEMENT STA. 21+28.97 (SEE DETAL SHEET C2.11) DRIVEWAY CONTROL DEVICES SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL 43.65' 0/S ♀ (R)_

END PAVEMENT

DRIVEWAY

PC: 22+10.10-

> EX. GRAVEL DRIVE (PLANT ACCESS)

SECONDARY ACCESS ROAD PLAN

STA. 16+50.00 TO STA. 25+15.36

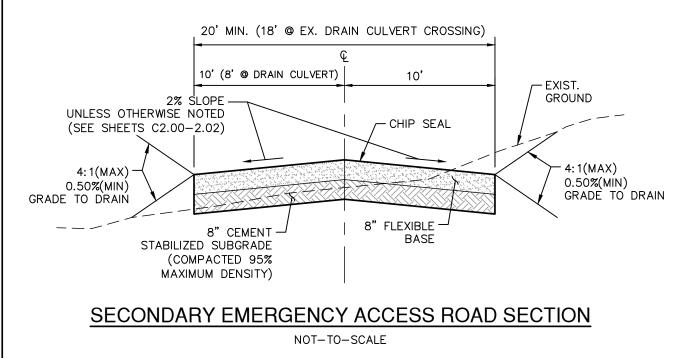
ROAD SECTION DETAILS							
STREET NAME	STATION	SURFACE COURSE	FLEXIBLE BASE	CEMENT STABILIZED SUBGRADE	GEOGRID (TENSAR TRIAX TX5)	CBR	STRUCTURAL NUMBER
SECONDARY EMERGENCY ACCESS	1+35.86 TO END	CHIP SEAL	8"	8"	_	3.00	2.0

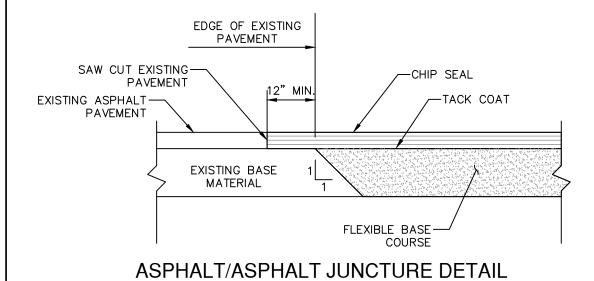
GENERAL NOTES:

- CONTRACTOR SHALL REFERENCE THE PROJECT PAVEMENT DESIGN REPORT, SUBSURFACE EXPLORATION AND PAVEMENT ANALYSIS PROPOSED NEW OFFSITE SECONDARY ACCESS ROAD SADDLE RIDGE ESTATES SUBDIVISION, PREPARED BY INTEC DATED JULY 28, 2023.
- 2. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO VERIFY THE SUBGRADE CONDITION PRIOR TO PLACING ANY BASE MATERIAL. GEOTECHNICAL ENGINEER SHALL DETERMINE THE SUBGRADE CONDITION AND IF CEMENT STABILIZATION IS REQUIRED.

SUBGRADE NOTES:

- GEOTECHNICAL ENGINEER SHOULD VERIFY THE STREET SUBGRADE AT THE TIME OF CONSTRUCTION PRIOR TO PLACEMENT OF AGGREGATE BASE.
- 2. THE FLEXIBLE BASE COURSE SHOULD BE CRUSHED LIMESTONE CONFORMING TO TXDOT STANDARD SPECIFICATIONS, ITEM 247, TYPE A, GRADES 1 OR 2.
- 3. THE MOISTURE CONTENT OF THE FILL SHOULD BE MAINTAINED WITHIN THE RANGE OF OPTIMUM WATER CONTENT TO 3 PERCENTAGE POINTS ABOVE THE OPTIMUM WATER CONTENT UNTIL PERMANENTLY
- 4. IN THE EVENT THAT THE CLAY FILL USED IS DIFFERENT THAN THE EXISTING SUBGRADE. THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT COULD BE INVALIDATED AND THE DESIGN ENGINEER MUST BE CONSULTED TO DETERMINE IF ADDITIONAL CBR TESTING AND THICKER PAVEMENT SECTIONS ARE
- . WHERE PAVEMENT SUBGRADE IS LOCATED WITHIN 2-FEET OF THE EXISTING GROUND SURFACE (STRATUM 1 CLAYS), MOISTURE CONDITIONED SUBGRADE WILL BE REQUIRED. GEOTECHNICAL ENGINEER SHOULD VERIFY THE STREET SUBGRADE AT THE TIME OF CONSTRUCTION PRIOR TO PLACEMENT OF AGGREGATE BASE TO DETERMINE WHERE THE MOISTURE CONDITIONED SUBGRADE IS NEEDED. REFERENCE GEOTECHNICAL ENGINEERING REPORT FOR MORE INFORMATION.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL MATERIAL TESTING WITH THE PROJECT GEOTECHNICAL ENGINEER. TESTING SHALL BE PAID FOR BY THE OWNER.
- 7. FILL MATERIAL SHOULD BE NATIVE ON-SITE MATERIAL, FREE OF DELETERIOUS MATERIAL WITH A MINIMUM CBR VALUE OF 3 AND A MAXIMUM PLASTICITY INDEX VALUE OF 40. CEMENT APPLICATION RATES SHOULD BE RE-EVALUATED AND TESTED FOR SULFATE CONTENT PRIOR TO USE OF THE FILL MATERIAL. THE FILL MATERIAL SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER, FREE OF DELETERIOUS MATERIAL, AND THE GRAVEL SIZE SHOULD NOT EXCEED 3 INCHES IN SIZE. THE MATERIAL SHOULD BE PLACED AND COMPACTED AS PER APPLICABLE CITY/COUNTY GUIDELINES.
- 8. SUBGRADE SOILS SHOULD BE TESTED FOR SOIL SULFATE CONTENT PRIOR TO STABILIZATION. IF THE SOIL SULFATE CONTENT IS HIGHER THAN 3000 PPM AN ALTERNATE PROCEDURE WILL BE NEEDED.
- 9. SUGGRADE SHOULD BE STABILIZED TO A DEPTH OF 8 INCHES USING 5 PERCENT CEMENT CONTENT. CEMENT APPLICATION RATE OF 36.0 LBS PER SQ YARD FOR 8-INCH DEPTH OF STABILIZATION IS RECOMMENDED.





NOT-TO-SCALE

HEADER CURB DETAIL

CHIP SEAL THEADER CURBT

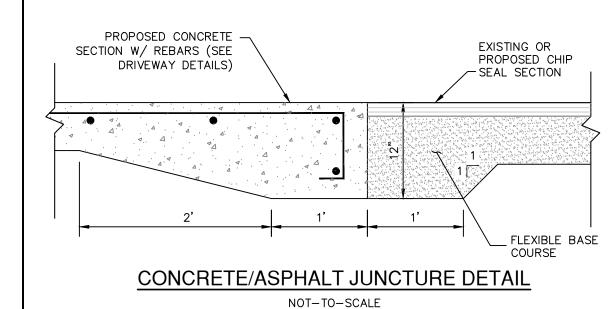
FLEXIBLE BASE

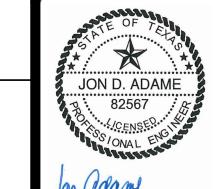
MATERIAL

__#4 BARS

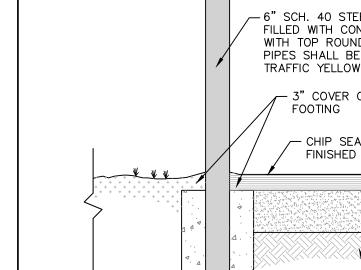
(MIN. 3" INTO

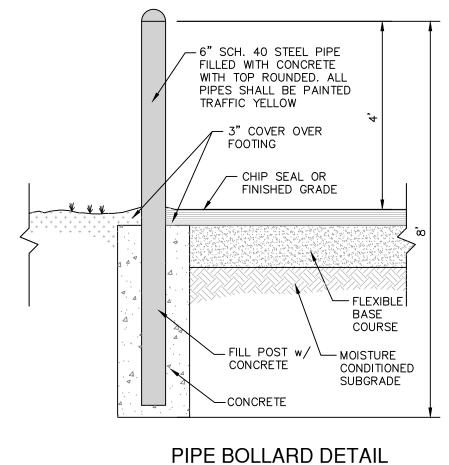
SUBGRADE)





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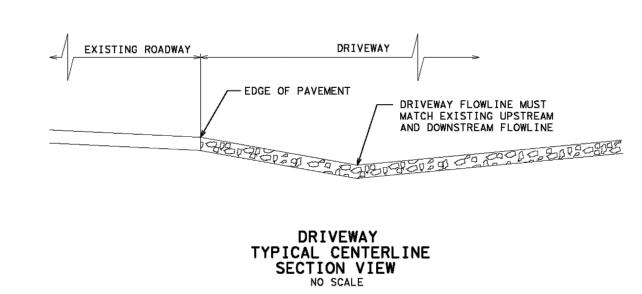
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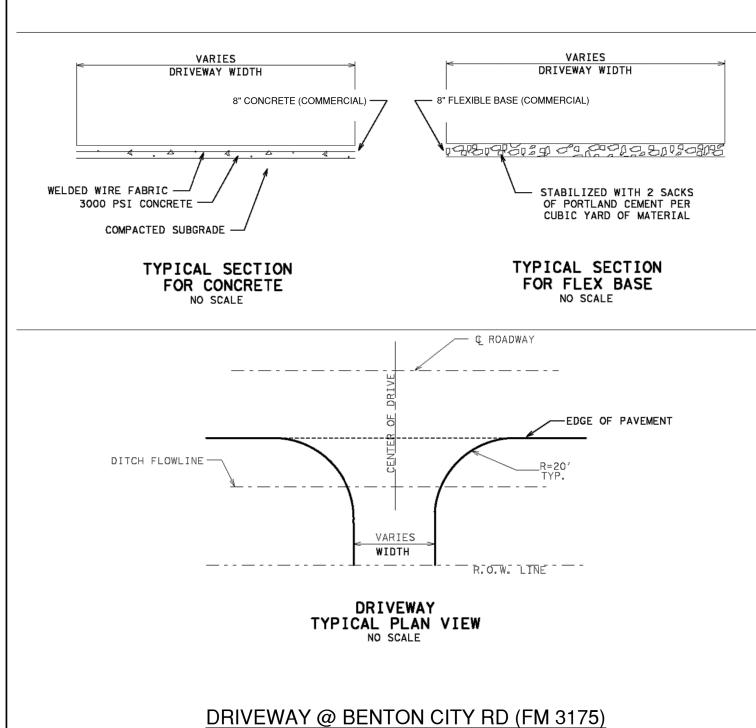


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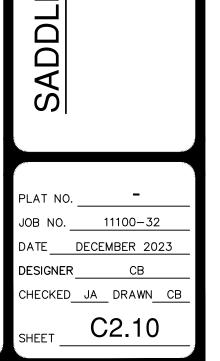
CONDARY

RID





NOT-TO-SCALE



DRIVEWAY APRON LENGTH DRIVEWAY 4' SIDEWALK PENETRATION AS SHOWN ON PLANS SEE NOTE 1 CURB & SIDEWALK BEYOND 5" CLASS "A" CONCRETE LOW CURB 14%MAX. 2" MINIMUM FLEXIBLE BASE MATERIAL, CEMENT TREATED BASE OR ASPHALTIC CONCRETE #3 BARS 12" O.C. BOTH WAYS (ITEM 301) OR 6" x 6" W/ D5 x W/D5 WELDED WIRE FLAT SHEETS (ITEM 303)

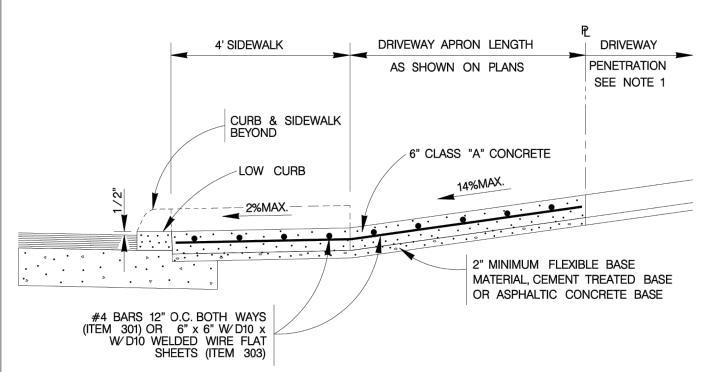
TYPICAL RESIDENTIAL DRIVEWAY SECTION

WITH SIDEWALK ABUTTING CURB ITEM 503.1

DRIVEWAY 4' SIDEWALK DRIVEWAY APRON LENGTH PENETRATION AS SHOWN ON PLANS SEE NOTE 1 CURB & SIDEWALK BEYOND 5" CLASS "A" CONCRETE 7%MAX.(G1) 2" MINIMUM FLEXIBLE BASE MATERIAL, CEMENT TREATED BASE #3 BARS 12" O.C. BOTH WAYS OR ASPHALTIC CONCRETE BASE (ITEM 301) OR 6" x 6" W/ D5 x W/D5 WELDED WIRE FLAT SHEETS (ITEM 303)

TYPICAL RESIDENTIAL DRIVEWAY SECTION

WHERE PROPERTY IS LOWER THAN STREET & SIDEWALK IS ABUTTING CURB ITEM 503.1



TYPICAL COMMERCIAL DRIVEWAY SECTION

WITH SIDEWALK ABUTTING CURB

ITEM 503.2

CONCRETE DRIVEWAY NOTES

1. DRIVEWAY PENETRATION REFERS TO A PORTION OF THE DRIVEWAY THAT MAY BE NECESSARY TO RECONSTRUCT WITHIN PRIVATE PROPERTY TO COMPLY WITH A MAXIMUM DRIVEWAY SLOPE. THIS PORTION OF THE DRIVEWAY SHALL BE PAID FOR UNDER THE FOLLOWING ITEMS AS MAY APPLY: A.) CONCRETE DRIVEWAY PAID FOR UNDER ITEM NO. 503.1 OR 503.2.

(2) THE ALGEBRAIC DIFFERENCE OF G1 & G2 SHALL BE 14% OR LESS

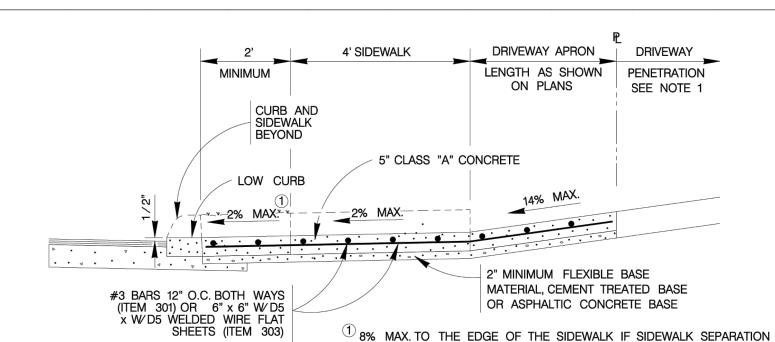
B.) ASPHALTIC CONCRETE DRIVEWAY PAID FOR UNDER ITEM NO. 503.4 AND SHALL INCLUDE A MINIMUM OF 1" ASPHALT TYPE 'D' & 6" FLEXIBLE BASE C.) GRAVEL DRIVEWAY PAID FOR UNDER ITEM NO. 503.5 AND SHALL INCLUDE A MINIMUM OF 6" FLEXIBLE BASE

2. 7" MINIMUM HEIGHT WILL NOT NECESSARILY OCCUR AT THE PROPERTY LINE. IT MAY OCCUR WITHIN THE RIGHT OF WAY OR WITHIN THE DRIVEWAY PENETRATION ON PRIVATE PROPERTY.

3. THE PROPOSED DRIVEWAY SHOULD MATCH THE EXISTING WIDTH AT THE PROPERTY LINE BUT UNLESS AUTHORIZED BY THE CITY TRAFFIC ENGINEER, THE WIDTH SHALL BE WITHIN THE FOLLOWING VALUES:

TYPE	MINIMUM	MAXIMUM
RESIDENTIAL	10'	20'
COMMERCIAL - ONE WAY	12'	20'
COMMERCIAL - TWO WAY	24'	30'

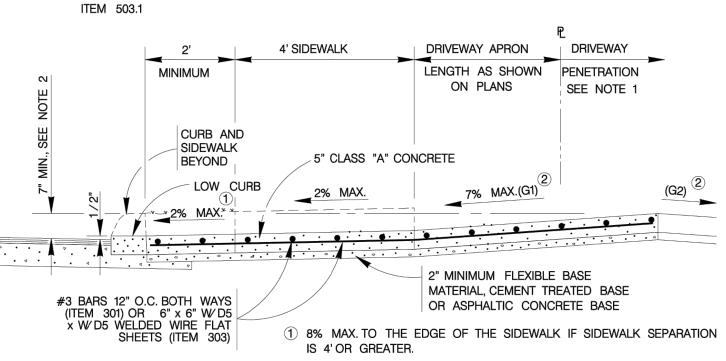
- 4. FOR LOCAL TYPE "A" STREETS, SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 4' AND IF SEPARATED FROM THE CURB, THE SIDEWALK SHALL BE LOCATED A MINIMUM OF 2' FROM THE BACK OF CURB.
- 5. FOR OTHER THAN LOCAL TYPE "A" STREETS, THE SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 4' AND SEPARATED A MINIMUM OF 2' FROM THE BACK OF CURB OR, AS AN OPTION, THE SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 6'WHEN LOCATED AT THE BACK OF CURB.
- 6. DUMMY JOINTS PARALLEL TO THE CURB SHALL BE PLACED WHERE THE SIDEWALK MEETS THE DRIVEWAY. DUMMY JOINTS PERPENDICULAR TO THE CURB, AND WITHIN THE BOUNDARIES OF THE PARALLEL DUMMY JOINTS, SHALL BE PLACED AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
- 7. A MINIMUM OF TWO ROUND AND SMOOTH DOWEL BARS 3 /8" IN DIAMETER AND 18" IN LENGTH SHALL BE SPACED 18" APART AT EACH EXPANSION JOINT.
- 8. SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 8.33% (1:12) MAXIMUM SLOPE. WHERE SIDEWALKS CROSS DRIVEWAYS, SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
- 9. SIDEWALK RAMP SURFACE SHALL BE BRUSH FINISHED.



TYPICAL RESIDENTIAL DRIVEWAY SECTION

IS 4' OR GREATER.

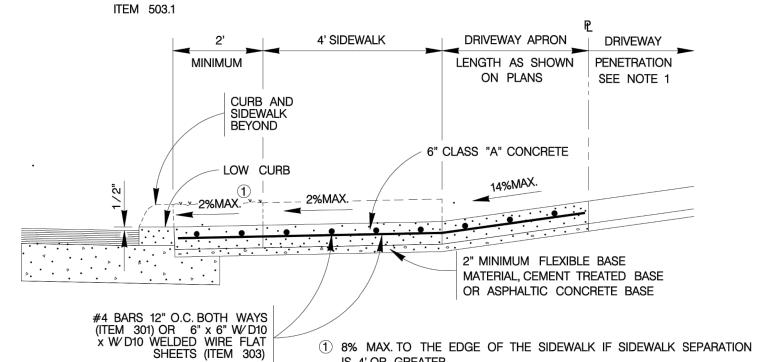
WITH SIDEWALK SEPARATED FROM CURB



(2) THE ALGEBRAIC DIFFERENCE OF G1 & G2 SHALL BE 14% OR LESS

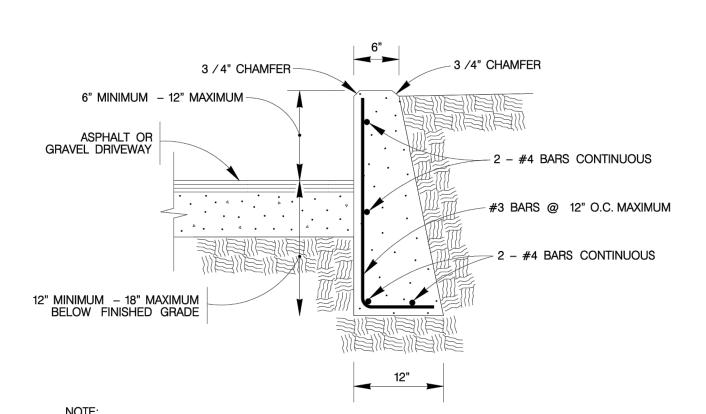
TYPICAL RESIDENTIAL DRIVEWAY SECTION

WHERE PROPERTY IS LOWER THAN STREET & SIDEWALK IS SEPARATED FROM CURB



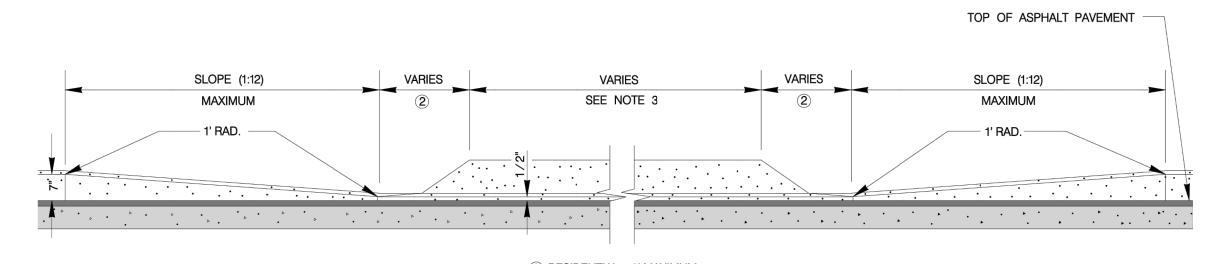
TYPICAL COMMERCIAL DRIVEWAY SECTION

WITH SIDEWALK SEPARATED FROM CURB ITEM 503.2



1. COST OF REINFORCEMENT TO BE INCLUDED IN UNIT COST OF ITEM 307.1. 2. CONCRETE RETAINING WALL COMBINATION TYPE SHALL BE USED FOR CONCRETE DRIVEWAYS.

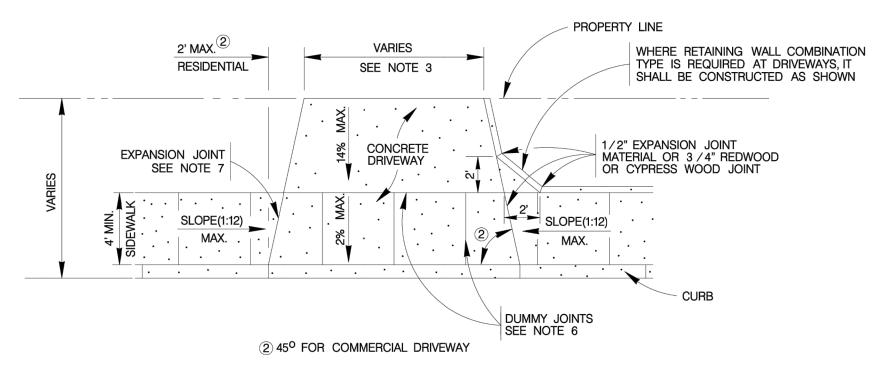
DRIVEWAY - CONCRETE RETAINING WALL ON COMPACTED SUBGRADE ITEM 307.1



2) RESIDENTIAL : 2' MAXIMUM; COMMERCIAL: SEE PLAN VIEW

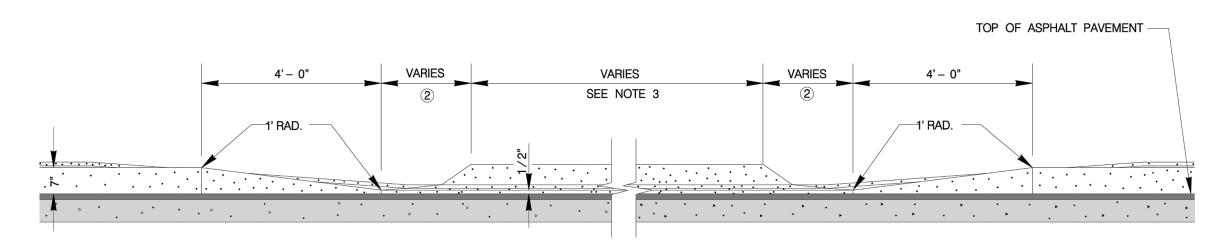
CURB PROFILE AT DRIVEWAY

WITH SIDEWALK ABUTTING CURB



TYPICAL DRIVEWAY PLAN VIEW

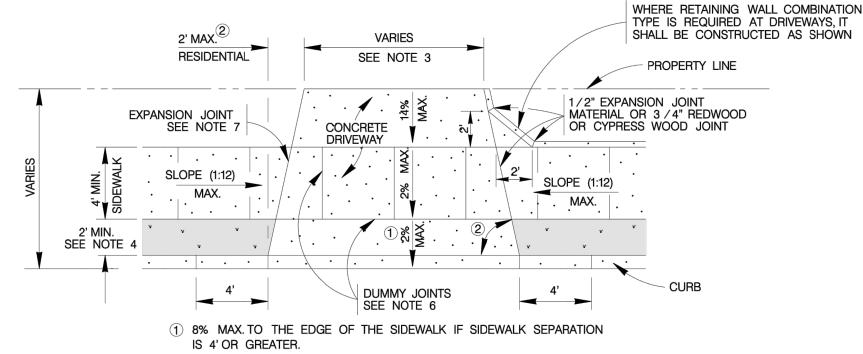
WITH SIDEWALK ABUTTING CURB



② RESIDENTIAL : 2' MAXIMUM; COMMERCIAL: SEE PLAN VIEW

CURB PROFILE AT DRIVEWAY

WITH SIDEWALK SEPARATED FROM CURB



(2) 45° FOR COMMERCIAL DRIVEWAY TYPICAL DRIVEWAY PLAN VIEW

WITH SIDEWALK SEPARATED FROM CURB

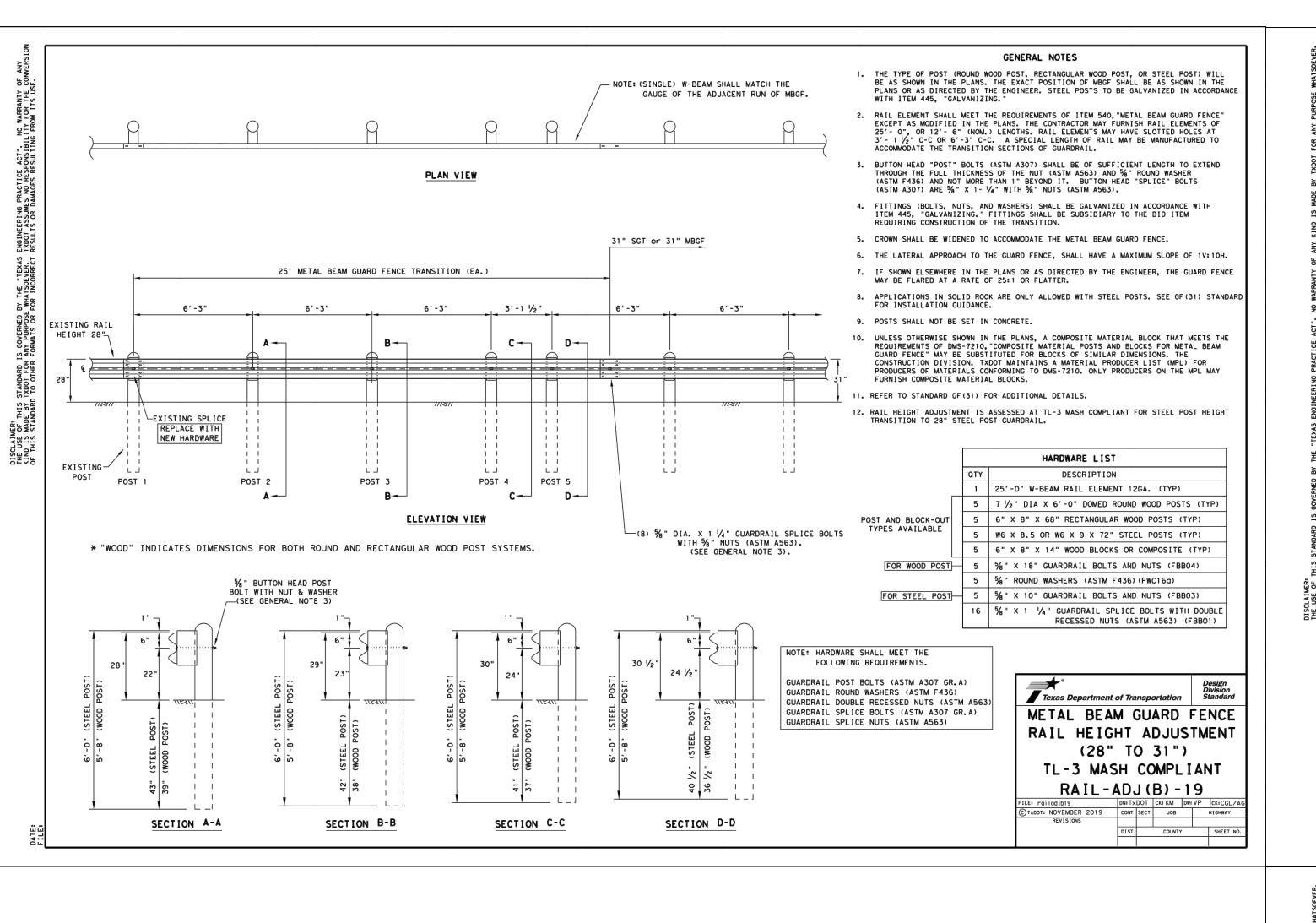
CONCRETE DRIVEWAY STANDARDS

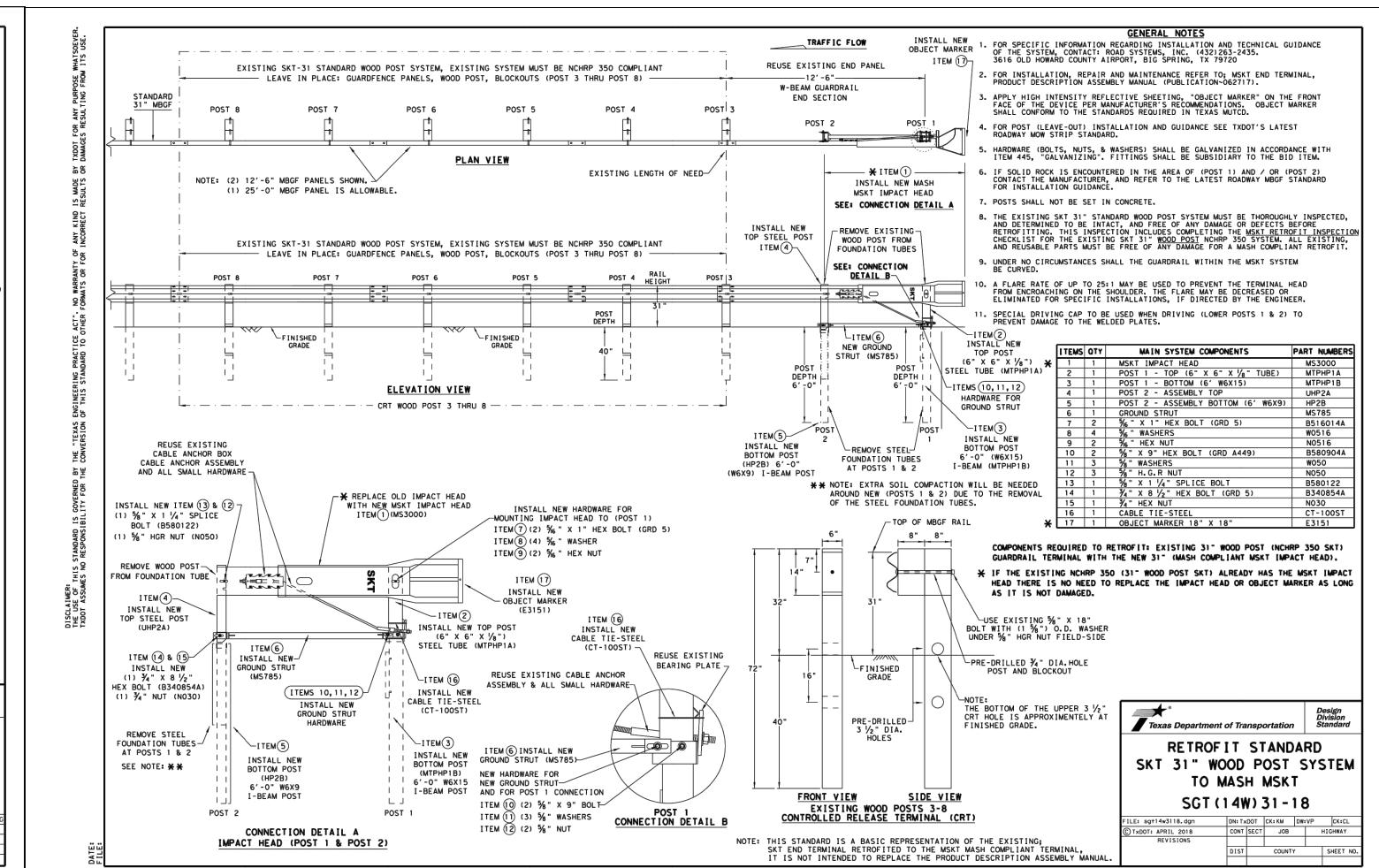
% SUBMITT	AL PROJECT NO.:		DATE:	
DRWN. BY:	DSGN. BY:	CHKD. BY:	SHEET NO.:OF_	

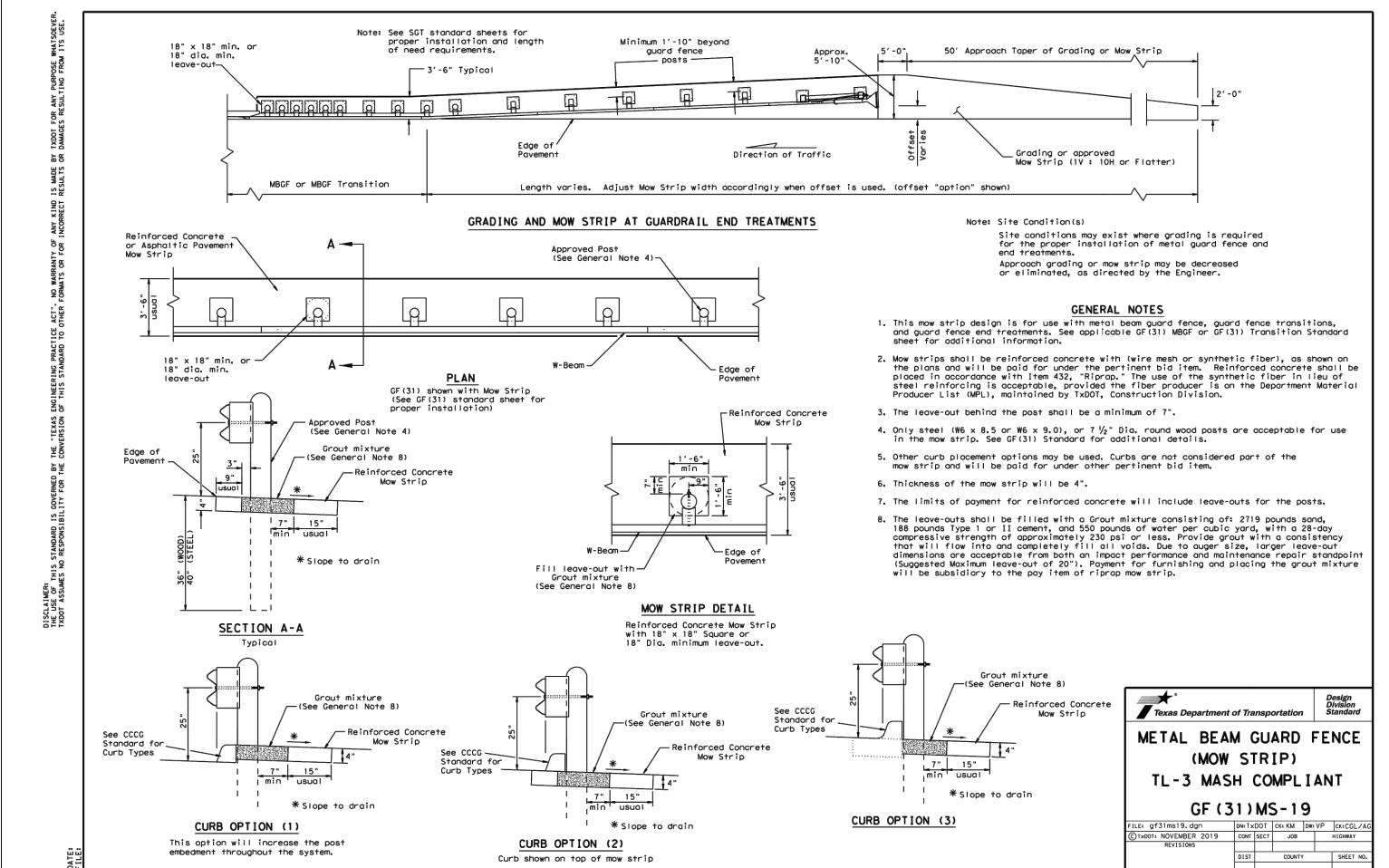
JOB NO. 11100-32 ATE DECEMBER 2023 DESIGNER CHECKED JA DRAWN CB C2.11

RD

IIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL. AERIAL IMAGERY PROVIDED BY GOOGLE® UNLESS OTHERWISE NOTED. Imagery © 2016, CAPCOG, Digital Globe, Texas Orthoimagery Program, USDA Farm Service Agency.









2-29-24

SS

LAT NO. 11100-32 JOB NO. ATE DECEMBER 2023 ESIGNER HECKED JA DRAWN CB

C2.12

SWP3 MODIFICATIONS				
DATE	SIGNATURE DESCRIPTION			

GENERAL NOTES

WITHIN TXDOT RIGHT-OF-WAY WITH TXDOT.

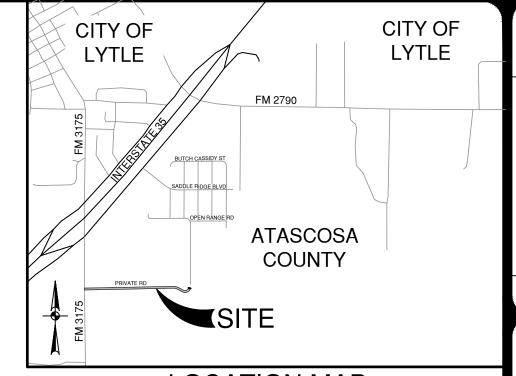
ON-SITE CONSTRUCTION AND OFF-SITE FEED TO THE PROJECT.

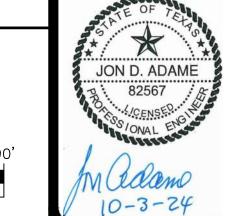
1. DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION. 2. CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN THE FIELD. 3. STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY. 4. RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY. 5. ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES. 6. FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION PREVENTION PLAN. 7. STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY. 8. AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS. 9. BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS. 10. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS. 11. UPON COMPLETION OF THE PROJECT, INCLUDING SITE STABILIZATION, AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES. 12. WHERE VEGETATED FILTER STRIPS ARE INDICATED, CONTRACTOR SHALL VERIFY THAT SUFFICIENT VEGETATION EXISTS, OTHERWISE CONTRACTOR SHALL PLACE SILT FENCING IN LIEU OF VEGETATED FILTER STRIP. 13. SHADED AREA DENOTES LIMITS OF DISTURBED AREAS. OTHER AREAS WITHIN THE PROJECT LIMITS, WITH THE EXCEPTION OF A CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD, ARE NOT A PART OF THIS TPDES STORM WATER POLLUTION PREVENTION PLAN (SWP3) AND WILL NOT BE DISTURBED BY CIVIL CONSTRUCTION ACTIVITIES. HOUSE CONSTRUCTION ACTIVITIES WILL REQUIRE A SEPARÀTE STORM WATER POLLUTION PREVENTION PLAN.

14. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE PLACEMENT OF TEMPORARY BEST MANAGEMENT PRACTICES

15. CPS ENERGY WILL FUNCTION AS A SECONDARY OPERATOR ON THIS PROJECT AND WILL BE INSTALLING ELECTRIC UTILITIES FOR

CAUTION !!! EXISTING UTILITIES ARE WITHIN THE LIMITS OF CONSTRUCTION. CONTRACTORS SHALL EXERCISE EXTRA CARE IN DIGGING ANY TRENCH OF PROPOSED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE, VERIFY THE EXACT LOCATION & IDENTIFY AREA OF CONFLICTS WITH EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER IF CONFLICT IS FOUND.





LOCATION MAP NOT-TO-SCALE SCALE: 1"= 30'

SWPPP LEGEND

CONCRETE TRUCK WASH-OUT PIT

SHOULD BE ACQUIRED FROM THE APPROPRIATE

SHEET IN THE CIVIL IMPROVEMENT PLANS.

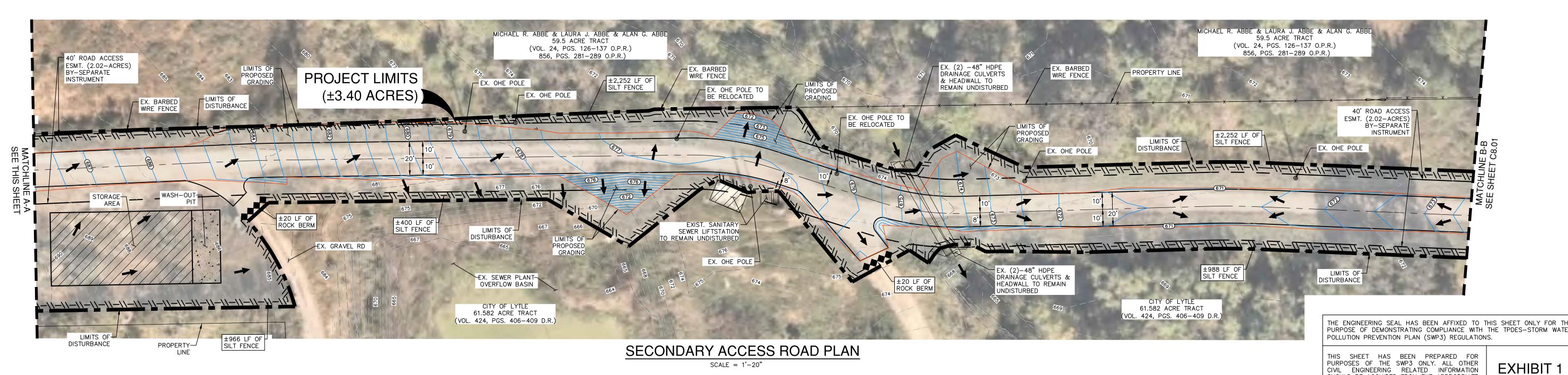
(FIELD LOCATE)

PROJECT LIMITS	
EXISTING CONTOUR	976
PROPOSED CONTOUR	970
PROPOSED CONTOUR (PHASE 3 & 4)	970
LIMITS OF ROAD GRADING	
FLOW ARROW	→
SILT FENCE (±4,905 LF)	-\\-\\-\\-\\-\\-\\-
SILT FENCE (PHASE 3 & 4)	-\\-\\-\\-\\-\\-\\-
ROCK BERM (±40 LF)	***
GRAVEL FILTER BAGS	•••
LIMITS OF DISTURBED AREA (±3.40 A)	
STABILIZED CONSTRUCTION ENTRANCE, (FIELD LOCATE)	/EXIT
CONSTRUCTION EQUIPMENT, VEHICLE &	

MATERIALS STORAGE AREA (FIELD LOCATE)

& LAURA J. ABBE & ALAN G. ABBE 59.5 ACRE TRACT (VOL. 24, PGS. 126-137 O.P.R.) 40' ROAD ACCESS EX. ROW 856, PGS. 281-289 O.P.R.) ESMT. (2.02-ACRES) LIMITS OF BY-SEPARATÉ **DISTURBANCE** INSTRUMENT STABILIZED CONSTRUCTION CITY RD ENTRANCE/EXIT PROPERTY LINE PROJECT LIMITS PROPERTY LINE EX. OHE POLE EX. OHE POLE EXISTING BARBED EX. BARBED WIRE FENCE WIIRE FENCE ±2,252 LF OF SILT FENCE EX. POLES & METAL LIMITS OF EX. OHE POLE ISTURBANCE GATE W/ FENCING EX. OHE POLE TO BE REMOVED 61.582 ACRE TRACT (VOL. 424, PGS. 406-409 D.R.) ±966 LF OF SILT FENCE EX. ROW CITY OF LYTLE 61.582 ACRE TRACT OF PROPOSED (VOL. 424, PGS. 406–409 D.R.)

SECONDARY ACCESS ROAD PLAN SCALE = 1'-20"

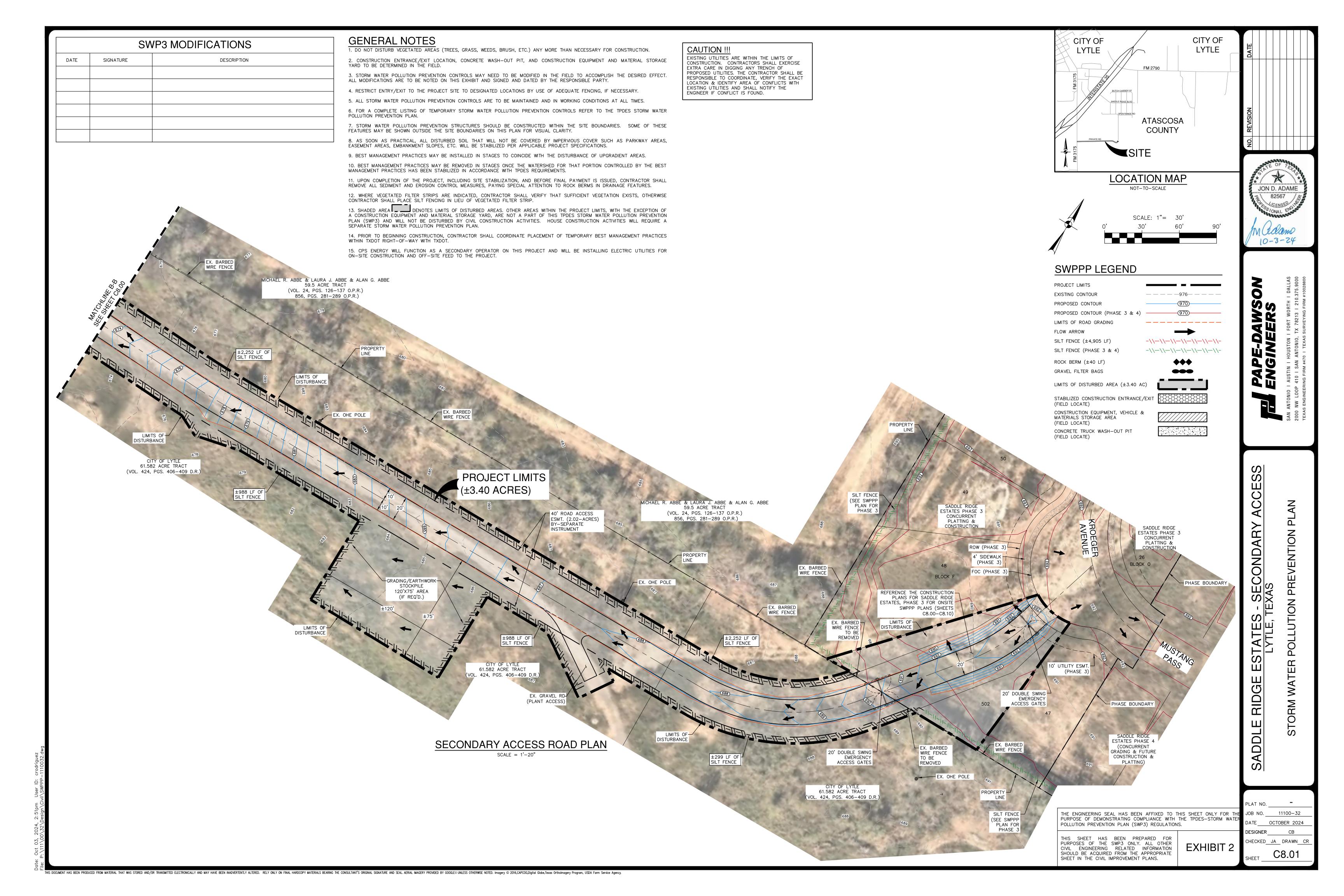


PATES - SEC YTLE, TEXAS ËR SADDL

CONDAR

11100-32 ATE OCTOBER 2024

ESIGNER HECKED JA DRAWN CR C8.00



SCHEMATIC OF TEMPORARY CONSTRUCTION ENTRANCE/EXIT

MATERIALS

8-INCHES.

DRAINAGE

MATERIALS

OF 36 HOURS.

SHOOT GROWTH AND THATCH.

SITE PREPARATION

TIGHTLY (SEE FIGURE ABOVE).

THE AGGREGATE SHOULD CONSIST OF 4-INCH TO 8-INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN. 2. THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF

3. THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE WEIGHT OF 6 OZ/YD2, A MULLEN BURST RATING OF 140 LB/IN2, AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.

4. IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4-INCH DIAMETER WASHED STONE OR COMMERCIAL ROCK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OF

INSTALLATION

I. AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.

. THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.

3. THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG. THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE 6-INCHES TO 8-INCHES HIGH WITH 3:1 (H: V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.

5. PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.

6. PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE. 7. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A

SEDIMENT TRAP OR BASIN. PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD

WOVEN WIRE SHEATHING

ISOMETRIC PLAN VIEW

ROCK BERMS

GEOTEXTILE FABRIC TO

STABILIZE FOUNDATION

SECTION "A-A" OF A

CONSTRUCTION ENTRANCE/EXIT

. STONE TOO SMALL OR GEOTEXTILE FABRIC ABSENT, RESULTS IN MUDDY

PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC-EXTEND PAD BEYOND

4. PAD NOT FLARED SUFFICIENTLY AT ROAD SURFACE, RESULTS IN MUD BEING

5. UNSTABLE FOUNDATION - USE GEOTEXTILE FABRIC UNDER PAD AND/OR

THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION. WHICH WILL

PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.

THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS

CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES

2. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC

3. WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT

4. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED

WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR

5. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN,

RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.

INSPECTION AND MAINTENANCE GUIDELINES

1. INADEQUATE RUNOFF CONTROL-SEDIMENT WASHES ONTO PUBLIC ROAD.

COMMON TROUBLE POINTS

CONDITION AS STONE IS PRESSED INTO SOIL.

IMPROVE FOUNDATION DRAINAGE.

USED TO TRAP SEDIMENT

SEDIMENT BASIN.

SHOOTS OR GRASS BLADES.

GRASS SHOULD BE GREEN AND

-THATCH- GRASS CLIPPINGS AND

HEALTHY; MOWED AT A 2"-3"

CUTTING HEIGHT.

THE MINIMUM 50-FOOT LENGTH AS NECESSARY.

TRACKED ON TO ROAD AND POSSIBLE DAMAGE TO ROAD.

PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

DITCH OR WATER COURSE BY USING APPROVED METHODS.

THE PURPOSE OF A ROCK BERM IS TO SERVE AS A CHECK DAM IN AREAS OF CONCENTRATED FLOW, TO INTERCEPT SEDIMENT-LADEN RUNOFF, DETAIN THE SEDIMENT AND RELEASE THE WATER IN SHEET FLOW. THE ROCK BERM SHOULD BE USED WHEN THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 5 ACRES. ROCK BERMS ARE USED IN AREAS WHERE THE VOLUME OF RUNOFF IS TOO GREAT FOR A SILT FENCE TO CONTAIN. THEY ARE LESS EFFECTIVE FOR SEDIMENT REMOVAL THAN SILT FENCES, PARTICULARLY FOR FINE PARTICLES, BUT ARE ABLE TO WITHSTAND HIGHER FLOWS THAN A SILT FENCE. AS SUCH, ROCK BERMS ARE OFTEN USED IN AREAS OF CHANNEL FLOWS (DITCHES, GULLIES, ETC.). ROCK BERMS ARE MOST EFFECTIVE AT REDUCING BED LOAD IN CHANNELS AND SHOULD NOT BE SUBSTITUTED FOR OTHER EROSION AND SEDIMENT CONTROL MEASURES FARTHER UP THE WATERSHED.

INSPECTION AND MAINTENANCE GUIDELINES

. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL BY THE RESPONSIBLE PARTY. FOR INSTALLATIONS IN STREAMBEDS, ADDITIONAL DAILY INSPECTIONS SHOULD BE MADE.

REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6 INCHES AND DISPOSE OF THE ACCUMULATED SILT IN AN APPROVED MANNER THAT WILL NOT CAUSE ANY ADDITIONAL SILTATION.

3. REPAIR ANY LOOSE WIRE SHEATHING.

4. THE BERM SHOULD BE RESHAPED AS NEEDED DURING INSPECTION

THE BERM SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.

6. THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED.

MATERIALS THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE

SHEATHING HAVING MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH SHOAT

SECTION "A-A"

WOVEN WIRE SHEATHING

2. CLEAN, OPEN GRADED 3-INCH TO 5-INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5-INCH TO 8-INCH DIAMETER ROCKS MAY BE

INSTALLATION

1. LAY OUT THE WOVEN WIRE SHEATHING PERPENDICULAR TO THE FLOW LINE. THE SHEATHING SHOULD BE 20 GAUGE WOVEN WIRE MESH WITH 1 INCH

2. BERM SHOULD HAVE A TOP WIDTH OF 2 FEET MINIMUM WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER. 3. PLACE THE ROCK ALONG THE SHEATHING AS SHOWN IN THE DIAGRAM TO A HEIGHT NOT LESS THAN 18"

4. WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH TIE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAP AT LEAST 2 INCHES, AND THE BERM RETAINS ITS SHAPE WHEN WALKED UPON.

5. BERM SHOULD BE BUILT ALONG THE CONTOUR AT ZERO PERCENT GRADE OR AS NEAR AS POSSIBLE 6. THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4

COMMON TROUBLE POINTS

INCHES DEEP TO PREVENT FAILURE OF THE CONTROL.

. INSUFFICIENT BERM HEIGHT OR LENGTH (RUNOFF QUICKLY ESCAPES OVER THE TOP OR AROUND THE SIDES OF BERM).

2. BERM NOT INSTALLED PERPENDICULAR TO FLOW LINE (RUNOFF ESCAPING AROUND ONE SIDE).

ROCK BERM DETAIL

NOT-TO-SCALE

STEEL FENCE POST MAX. 6' SPACING, SILT FENCE MIN. EMBEDMENT = 1'MIN. HEIGHT 24" (SEE INSTALLATION NOTE 1) ABOVE EXISTING GROUND) WIRE MESH BACKING COMPACTED EARTH 4X4~W1.4×W1.4 MIN. OR ROCK BACKFILL - ALLOWABLE TYPICAL CHAIN LINE FENCE FABRIC IS ACCEPTABLE TRENCH-

CORRECT

INCORRECT

SOD INSTALLATION

USE PEGS OR STAPLES TO FASTEN SOD

FIRMLY - AT THE ENDS OF STRIPS AND

IN THE CENTER, OR EVERY 3-4 FEET IF

THE STRIPS ARE LONG. WHEN READY TO

MOW, DRIVE PEGS OR STAPLES FLUSH

DEAD LEAVES, UP TO 1/2" THICK. ROOT ZONE - SOIL AND ROOTS. SHOULD BE 1/2"-3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

ENDS AND TRIMMING PIECES. ANGLED ENDS CAUSED BY THE

1. SOD SHOULD BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4" INCH

(± 1/4" INCH) AT THE TIME OF CUTTING. THIS THICKNESS SHOULD EXCLUDE

2. PIECES OF SOD SHOULD BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND

LENGTH, WITH A MAXIMUM ALLOWABLE DEVIATION IN ANY DIMENSION OF 5%.

STANDARD SIZE SECTIONS OF SOD SHOULD BE STRONG ENOUGH TO

SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN

4. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD

PRIOR TO SOIL PREPARATION, AREAS TO BE SODDED SHOULD BE BROUGHT

THE SURFACE SHOULD BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL

FERTILIZE ACCORDING TO SOIL TESTS. FERTILIZER NEEDS CAN BE

DETERMINED BY A SOIL TESTING LABORATORY OR REGIONAL RECOMMENDATIONS

CAN BE MADE BY COUNTY AGRICULTURAL EXTENSION AGENTS. FERTILIZER

SHOULD BE WORKED INTO THE SOIL TO A DEPTH OF 3 INCHES WITH A DISC,

FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE CONTOUR.

SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. ON SLOPING LAND, THE

SOD STRIPS IN WATERWAYS SHOULD BE LAID PERPENDICULAR TO THE

DIRECTION OF FLOW. CARE SHOULD BE TAKEN TO BUTT ENDS OF STRIPS

2. AFTER ROLLING OR TAMPING, SOD SHOULD BE PEGGED OR STAPLED TO

RESIST WASHOUT DURING THE ESTABLISHMENT PERIOD. MESH OR OTHER

NETTING MAY BE PEGGED OVER THE SOD FOR EXTRA PROTECTION IN CRITICAL

TORN OR UNEVEN PADS SHOULD NOT BE ACCEPTABLE.

SUSPENDED FROM A FIRM GRASP ON ONE END OF THE SECTION.

TO FINAL GRADE IN ACCORDANCE WITH THE APPROVED PLAN.

INSTALLATION IN CHANNELS

INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.

LAY SOD IN A STAGGERED PATTERN. BUTT

THE STRIPS TIGHTLY AGAINST EACH OTHER.

DO NOT LEAVE SPACES AND DO NOT

OVERLAP. A SHARPENED MASON'S TROWEL

IS A HANDY TOOL FOR TUCKING DOWN THE

AUTOMATIC SOD CUTTER MUST BE MATCHED

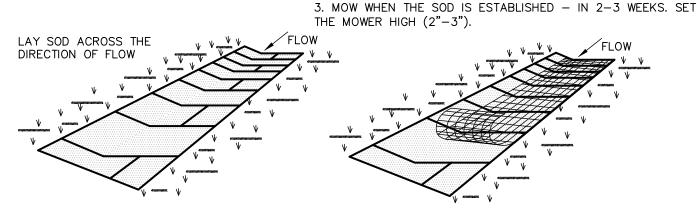
APPEARANCE OF GOOD SOD

STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL

NOT-TO-SCALE

1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.

2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.



IN CRITICAL AREAS, SECURE SOD WITH NETTING. USE STAPLES.

GENERAL INSTALLATION (VA. DEPT. OF

SOD ALSO SHOULD NOT BE LAID ON SOIL SURFACES THAT ARE FROZEN. 2. DURING PERIODS OF HIGH TEMPERATURE, THE SOIL SHOULD BE LIGHTLY

THE FIRST ROW OF SOD SHOULD BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND BUTTING TIGHTLY AGAINST EACH OTHER. LATERAL JOINTS SHOULD BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CARE SHOULD BE EXERCISED TO ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS

4. ON SLOPES 3:1 OR GREATER, OR WHEREVER EROSION MAY BE A PROBLEM, SOD SHOULD BE LAID WITH STAGGERED JOINTS AND SECURED BY STAPLING OR OTHER APPROVED METHODS. SOD SHOULD BE INSTALLED WITH THE LENGTH

5. AS SODDING OF CLEARLY DEFINED AREAS IS COMPLETED, SOD SHOULD BE ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD ROLLED OR TAMPED TO PROVIDE FIRM CONTACT BETWEEN ROOTS AND SOIL. AFTER ROLLING, SOD SHOULD BE IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE SOD PAD AND THE SOIL 4 INCHES BELOW THE SOD IS

> UNTIL SUCH TIME A GOOD ROOT SYSTEM BECOMES DEVELOPED, IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHOULD BE PERFORMED AS OFTEN AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF AT LEAST 4

> ROOTED, USUALLY 2-3 WEEKS. NOT MORE THAN ONE THIRD OF THE GRASS LEAF SHOULD BE REMOVED AT ANY ONE CUTTING.

NSPECTION AND MAINTENANCE GUIDELINES SOD SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT TO LOCATE AND REPAIR ANY DAMAGE.

. DAMAGE FROM STORMS OR NORMAL CONSTRUCTION ACTIVITIES SUCH AS TIRE

SOD INSTALLATION DETAIL

SOD SHOULD NOT BE CUT OR LAID IN EXCESSIVELY WET OR DRY WEATHER.

IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD, TO COOL THE SOIL AND REDUCE ROOT BURNING AND DIEBACK.

WITH THE GROUND.

(SEE FIGURE ABOVE).

PERPENDICULAR TO THE SLOPE (ON CONTOUR).

8. THE FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL THE SOD IS FIRMLY

RUTS OR DISTURBANCE OF SWALE STABILIZATION SHOULD BE REPAIRED AS SOON AS PRACTICAL.

SILT FENCE DETAIL

NOT-TO-SCALE

ISOMETRIC PLAN VIEW

SILT FENCE

A SILT FENCE IS A BARRIER CONSISTING OF GEOTEXTILE FABRIC SUPPORTED BY METAL POSTS TO PREVENT SOIL AND SEDIMENT LOSS FROM A SITE. WHEN PROPERLY USED, SILT FENCES CAN BE HIGHLY EFFECTIVE AT CONTROLLING SEDIMENT FROM DISTURBED AREAS. THEY CAUSE RUNOFF TO POND, ALLOWING HEAVIER SOLIDS TO SETTLE OUT. IF NOT PROPERLY INSTALLED, SILT FENCES ARE NOT LIKELY TO BE EFFECTIVE.

THE PURPOSE OF A SILT FENCE IS TO INTERCEPT AND DETAIN WATER-BORN SEDIMENT FROM UNPROTECTED AREAS OF A LIMITED EXTENT. SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY. IF CONCENTRATED FLOW OCCURS AFTER INSTALLATION, CORRECTIVE ACTION MUST BE TAKEN SUCH AS PLACING A ROCK BERM IN THE AREAS OF CONCENTRATED FLOW.

SILT FENCING WITHIN THE SITE MAY BE TEMPORARILY MOVED DURING THE DAY TO ALLOW CONSTRUCTION ACTIVITY PROVIDED IT IS REPLACED AND PROPERLY ANCHORED TO THE GROUND AT THE END OF THE DAY. SILT FENCES ON THE PERIMETER OF THE SITE OR AROUND DRAINAGE WAYS SHOULD NOT BE MOVED AT ANY TIME.

SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN2, ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NUMBER 30.

FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR Y-BAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM WEIGHT 1.25 LB/FT, AND BRINDELL HARDNESS

3. WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

1. STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF 1-FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER. WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.

. LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.

3. THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.

TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL. 5. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE

4. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE

POST. THERE SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET 6. SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

COMMON TROUBLE POINTS FENCE NOT INSTALLED ALONG THE CONTOUR CAUSING WATER TO CONCENTRATE AND FLOW OVER THE FENCE.

2. FABRIC NOT SEATED SECURELY TO GROUND (RUNOFF PASSING UNDER FENCE). 3. FENCE NOT INSTALLED PERPENDICULAR TO FLOW LINE (RUNOFF ESCAPING

4. FENCE TREATING TOO LARGE AN AREA, OR EXCESSIVE CHANNEL FLOW (RUNOFF OVERTOPS OR COLLAPSES FENCE).

INSPECTION AND MAINTENANCE GUIDELINES 1. INSPECT ALL FENCING WEEKLY, AND AFTER RAINFALL

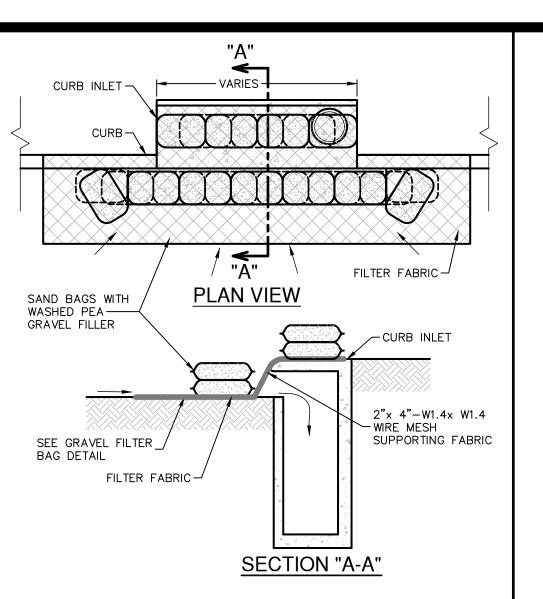
2. REMOVE SEDIMENT WHEN BUILDUP REACHES 6 INCHES.

3. REPLACE TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO THE TORN SECTION.

4. REPLACE OR REPAIR SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS. WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED . HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE

OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED OF IN AN APPROVED LANDFILL.

PIT DETAIL



GENERAL NOTES

CONTRACTOR TO INSTALL 2"x4"-W1.4xW1.4 WIRE MESH SUPPORTING FILTER FABRIC OVER THE INLET OPENING. FABRIC MUST BE SECURED TO WIRE BACKING WITH CLIPS OR WIRE TIES AT THIS LOCATION. SAND BAGS FILLED WITH WASHED PEA GRAVEL SHOULD BE PLACED ON TOP OF WIRE MESH ON TOP OF THE INLET AS SHOWN ON THIS DETAIL TO HOLD WIRE MESH IN PLACE. SANDBAGS FILLED WITH WASHED PEA GRAVEL SHOULD ALSO BE PLACED ALONG THE GUTTER AS SHOWN ON THIS DETAIL TO HOLD WIRE MESH IN PLACE. SAND BAGS TO BE STACKED TO FORM A CONTINUOUS BARRIER AROUND INLETS.

2. THE BAGS SHOULD BE TIGHTLY ABUTTED AGAINST EACH OTHER TO PREVENT RUNOFF FROM FLOWING BETWEEN THE BAGS.

INSPECTION AND MAINTENANCE GUIDELINES I. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHOULD BE MADE PROMPTLY AS NEEDED BY THE

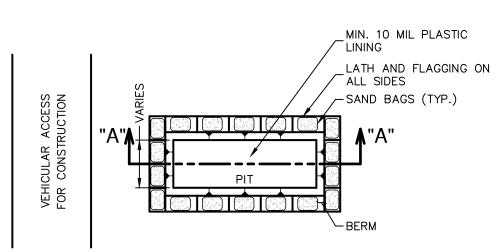
2. REMOVE SEDIMENT WHEN BUILDUP REACHES A DEPTH OF 3 INCHES. REMOVED SEDIMENT SHOULD BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

3. CHECK PLACEMENT OF DEVICE TO PREVENT GAPS BETWEEN DEVICE AND

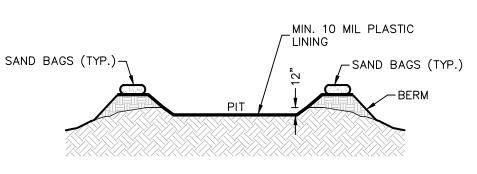
4. INSPECT FILTER FABRIC AND PATCH OR REPLACE IF TORN OR MISSING. 5. STRUCTURES SHOULD BE REMOVED AND THE AREA STABILIZED ONLY AFTER THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

BAGGED GRAVEL CURB INLET PROTECTION DETAIL

NOT-TO-SCALE



PLAN VIEW



GENERAL NOTES

WASTE GENERATED BY WASHOUT OPERATIONS.

DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.

SECTION "A-A'

2. WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC. S. WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION

FROM STORM WATER RUNOFF. 4. LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES OR WATER BODIES. 6. TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE

MATERIALS

PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

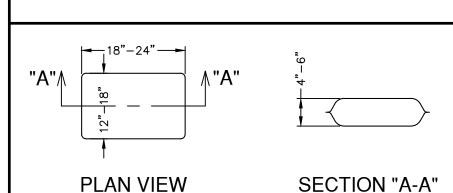
MAINTENANCE

BACKFILLED AND REPAIRED.

WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. . MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED

CONCRETE TRUCK WASHOUT

NOT-TO-SCALE

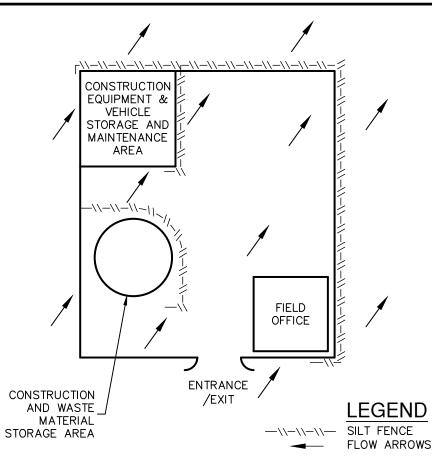


THE FILTER BAG MATERIAL SHALL BE MADE OF POLYPROPYLENE POLYETHYLENE OR POLYAMIDE WOVEN FABRIC, MIN. UNIT WEIGHT OF 4 OUNCES/SY, HAVE A MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70%.

THE FILTER BAG SHALL BE FILLED WITH CLEAN, MEDIUM WASHED PEA GRAVEL TO COARSE GRAVEL (0.31 TO 0.75 INCH DIAMETER). 3. SAND SHALL <u>NOT</u> BE USED TO FILL THE FILTER BAGS.

GRAVEL FILTER BAG DETAIL

NOT-TO-SCALE



CONSTRUCTION STAGING AREA

NOT-TO-SCALE

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE TPDES-STORM WATER POLLUTION PREVENTION PLAN (SWP3) REGULATIONS.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF THE SWP3 ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT

ESIGNER

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11100-32 TE DECEMBER 2023

JON D. ADAME

2-29-20

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