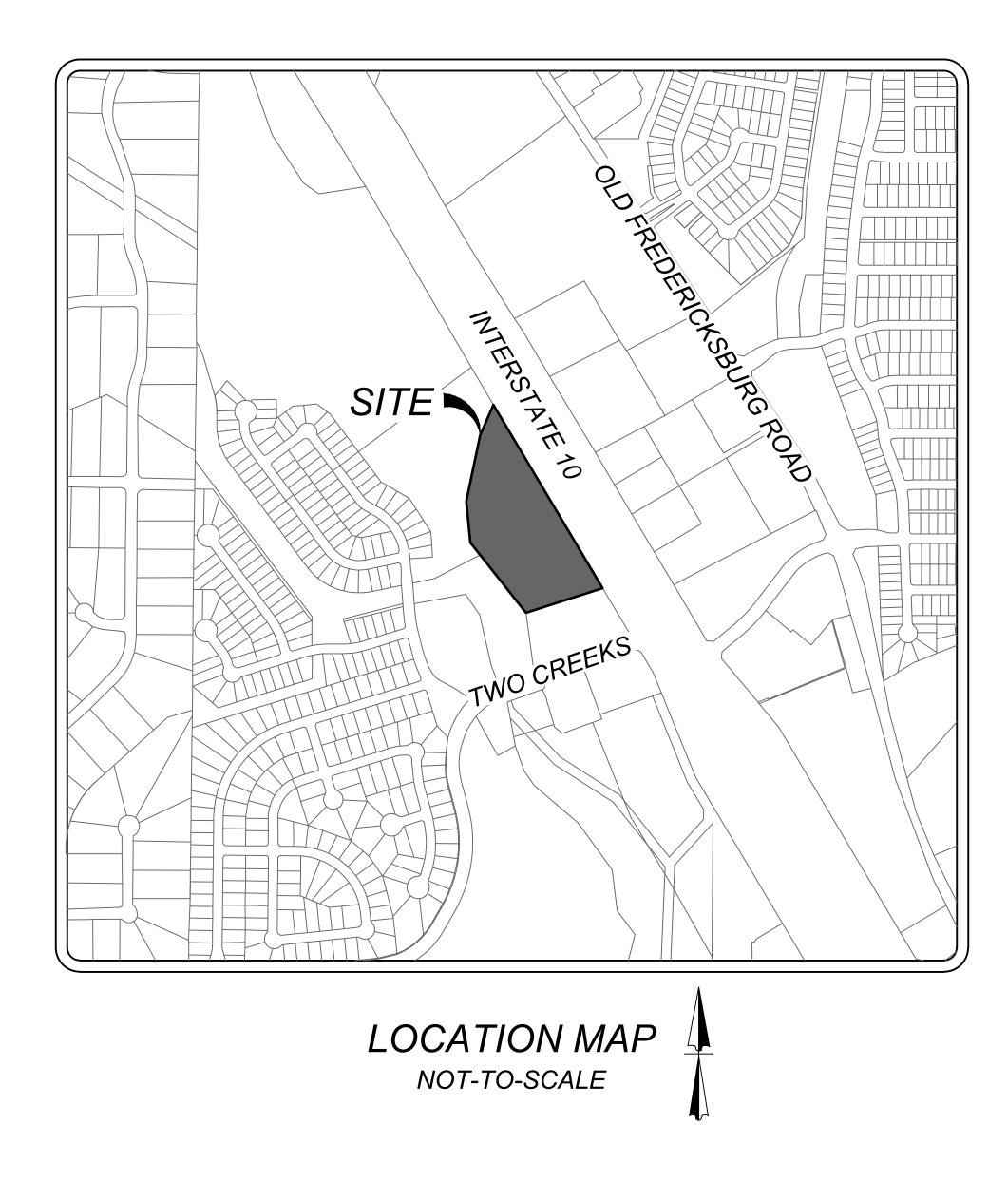
THE CRESCENT

25839 INTERSTATE 10, SAN ANTONIO, TEXAS 78255



OWNER/DEVELOPER:
OWNER: MORI BAGHERI
60 HIGH CRESCENT
SAN ANTONIO, TEXAS 78257
PHONE: (210) 843 - 8340

SHEET INDEX

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EXISTING CONDITIONS & DEMOLITION PLAN	C1.1
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OVERALL SITE PLAN	C2.1
DIMENSIONAL CONTROL PLAN	C3.0
DIMENSIONAL CONTROL PLAN	C3.1
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PAVING PLAN	C4.1
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HIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.



IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING

THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL

SERVICES. (210)-353-2256. 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

√ 9 → 16' WATER EASEMENT

(10) 16' SANITARY SEWER EASEMENT

 $\langle 11 \rangle$ 25' X 25' SANITARY SEWER

(16) 25' BUILDING SETBACK LINE

TURNAROUND EASEMENT

VARIABLE WIDTH PRIVATE DRAINAGE $\stackrel{12}{>}$ EASEMENT (0.483 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE (13) EASEMENT (0.421 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE

EASEMENT (0.278 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE 15 EASEMENT (0.212 ACRES PERMEABLE)

10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

28' GAS & ELECTRIC EASEMENT

²/ (VOL. 9661, PGS. 41 - 43, D.P.R.) VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE 3 > & CABLE TELEVISION EASEMENT

√ (VOL. 9661, PGS. 41 - 43, D.P.R.)

28' ELECTRIC EASEMENT ⁴ (VOL. 17042, PG. 1973, O.P.R.)

14' GAS, ELECTRIC, TELEPHONE & S CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148)

16' WATER EASEMENT (PLAT NO. 23-11800148)

(PLAT NO. 23-11800148)

16' SEWER EASEMENT

14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

EXISTING UTILITY NOTES:

THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.

IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.

3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR

4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

DEMOLITION NOTES

LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.

2. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS.

3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, PUBLIC MAINS OR POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.

CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT THEIR EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY

PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, GREY FOREST UTILITIES

MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST

PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

7. ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY ELECTRIC COMPANY AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.

CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS AND OWNER FOR ANY TREE REMOVAL AND/ OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO CONSTRUCTION.

9. CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL THE STORM WATER POLLUTION PREVENTION PLAN IS COMPLETED AND EROSION CONTROL MEASURES INSTALLED.

10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.

11. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.

LINE WITHOUT SAN ANTONIO WATER SYSTEMS APPROVAL.

12. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED

WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES. 13. CONTRACTOR SHALL NOT DEMOLISH ANY OFFSITE WATER OR SANITARY SEWER

1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.

2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED. MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE

FENCING WILL BE A MINIMUM OF 4' HEIGHT.

3. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.

4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING

TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP. 5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.

6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION

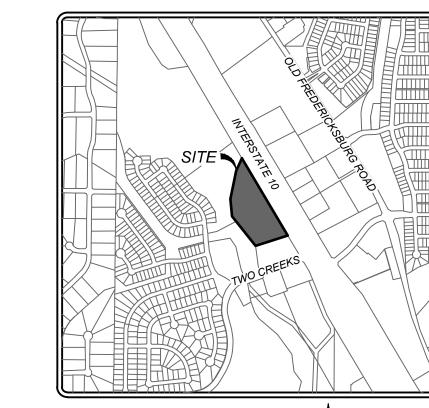
7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.

8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).

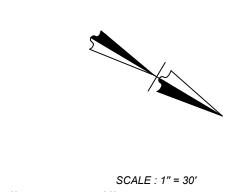
9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.

10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.

11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.



LOCATION MAP NOT-TO-SCALE



LEGEND

PROPERTY LINE ----EXISTING CONCRETE CURB EXISTING CONCRETE

EXISTING FIRE HYDRANT

EXISTING OVERHEAD ELECTRIC LINE & POWER POLE 8" SANITARY SEWER MAIN & MANHOLE (UNDER SEPARATE COVER) 12" WATER LINE

EXISTING WIRE FENCE TO BE REMOVED EXISTING CURB TO BE REMOVED EXISTING ASPHALT PAVEMENT TO BE REMOVED

EXISTING TREE TO BE REMOVED



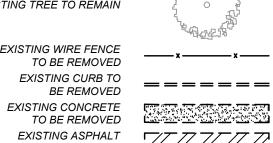
1 CONCRETE CURB 3 ASPHALT PAVEMENT



EXISTING CONTOUR — — —1170— —

EXISTING 30" D.I. WATER LINE ———30"W——30"W— EXISTING 12" WATER LINE ———12"W——12"W—— EXISTING 6" WATER LINE ——6"W——6"W—

(UNDER SEPARATE COVER)

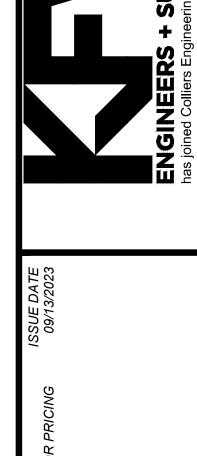


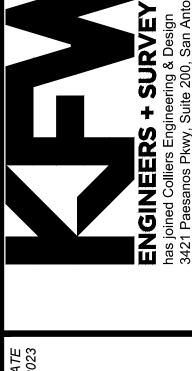


4 BARBED WIRE FENCE

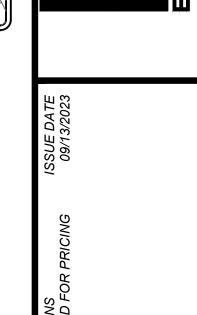
G SEWER MANHOLE (UNDER SEPARATE COVER)

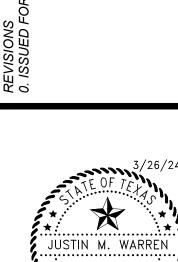
(J) INTERSTATE 10 SIGN



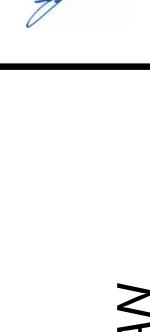












PLAT NO. DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.V.

INTERSTATE 10

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PAVEMENT, CURBS, OR SIDEWALK WILL BE ALLOWED OR ACCEPTED.

14. THE CONTRACTOR SHALL SAW CUT AT THE EDGE OF EXISTING PAVEMENT, CURBS AND SIDEWALKS CALLED TO BE REMOVED. NO JAGGED OR IRREGULAR CUTS IN

BLOCK 40

TREE PROTECTION NOTES:

2 CONCRETE SIDEWALK 5 WOODEN UTILITY POLE

A CONCRETE CURB B CONCRETE SIDEWALK H FIRE HYDRANT

 $\langle D \rangle$ POWER POLE K TREE (TYP.)

© OVERHEAD ELECTRIC LINE (I) WATER LINES SEWER LINE (UNDER SEPARATE COVER)

LAND-PLAT-21-11800516 JOB NO. 943-01-02

SHEET NUMBER:

MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

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6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- √ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- ⁴ (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE & S CABLE TELEVISION EASEMENT
- ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT (PLAT NO. 23-11800148)
- (PLAT NO. 23-11800148) 14' GAS, ELECTRIC, TELEPHONE &

8 CABLE TELEVISION EASEMENT

16' SEWER EASEMENT

- (10) 16' SANITARY SEWER EASEMENT
- $\langle 11 \rangle$ 25' X 25' SANITARY SEWER
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE 3 > & CABLE TELEVISION EASEMENT
 - TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE (0.483 ACRES PERMEABLE)
 - VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE)

√ 9 → 16' WATER EASEMENT

- VARIABLE WIDTH PUBLIC DRAINAGE 214 EASEMENT (0.278 ACRES PERMEABLE)
- ∨ VARIABLE WIDTH PUBLIC DRAINAGE 215 EASEMENT (0.212 ACRES PERMEABLE)
- (16) 25' BUILDING SETBACK LINE

EXISTING UTILITY NOTES:

- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.

MAPS OBTAINED FROM UTILITY COMPANIES.

- 3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR
- 4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

1% ÉFFECTIVE ZONE "AE"

, FEMA FLOODPLAIN FIRM

EFFECTIVE DATE

SEPTEMBER 29, 2010

MAP NO. 48029C00095F

DEMOLITION NOTES LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY.

EQUIPMENT THAT WAS MARKED FOR SALVAGE.

- ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. 2. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL
- CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS. 3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, PUBLIC MAINS OR POWER POLES

OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF

- TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.

CONTRACTOR SHALL REPLACE AT THEIR EXPENSE ANY DESTROYED MATERIAL OR

LOODPLAIN FIRM MAP NO. 48029C (ES

- DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, GREY FOREST UTILITIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- 7. ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY ELECTRIC COMPANY AT OWNER'S EXPENSE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
- CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS AND OWNER FOR ANY TREE REMOVAL AND/ OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO CONSTRUCTION.
- 9. CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL THE STORM WATER POLLUTION PREVENTION PLAN IS COMPLETED
- 10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.

AND EROSION CONTROL MEASURES INSTALLED.

- 11. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
- 12. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED
- WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- 13. CONTRACTOR SHALL NOT DEMOLISH ANY OFFSITE WATER OR SANITARY SEWER LINE WITHOUT SAN ANTONIO WATER SYSTEMS APPROVAL.
- 14. THE CONTRACTOR SHALL SAW CUT AT THE EDGE OF EXISTING PAVEMENT, CURBS AND SIDEWALKS CALLED TO BE REMOVED. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT, CURBS, OR SIDEWALK WILL BE ALLOWED OR ACCEPTED.

TREE PROTECTION NOTES:

PROTECTION ZONE.

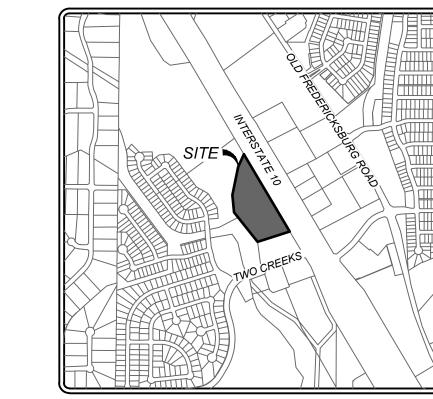
- 1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- 2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED. MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE
- FENCING WILL BE A MINIMUM OF 4' HEIGHT. 3. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND
- OAK WOUNDS PAINTED WITHIN 30 MINUTES. 4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING
- TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP. 5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT
- 6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION
- 7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS SHALL BE PAINTED

DURING CONSTRUCTION SHALL BE MITIGATED.

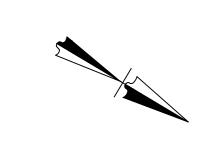
- WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- 8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053). 9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE
- 10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.

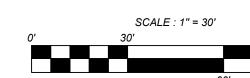
1% EFFECTIVE ZONE "AE TEMA

INTERSTATE 10

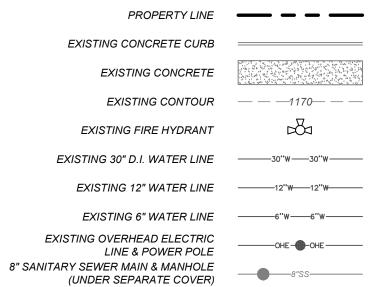


LOCATION MAP NOT-TO-SCALE





LEGEND



EXISTING TREE TO REMAIN

12" WATER LINE

EXISTING WIRE FENCE TO BE REMOVED EXISTING CURB TO BE REMOVED EXISTING CONCRETE TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED \(\square \squ

EXISTING TREE TO BE REMOVED

1 CONCRETE CURB 4 BARBED WIRE FENCE

2 CONCRETE SIDEWALK 5 WOODEN UTILITY POLE 3 ASPHALT PAVEMENT 6 TREE (TYP.)

- G SEWER MANHOLE (UNDER SEPARATE COVER) A CONCRETE CURB
- $\langle B \rangle$ CONCRETE SIDEWALK $\langle H \rangle$ FIRE HYDRANT (c) OVERHEAD ELECTRIC LINE (I) WATER LINES
- $\langle D \rangle$ POWER POLE
- WATER LINE (UNDER SEPARATE COVER) SEWER LINE (UNDER SEPARATE COVER)



K TREE (TYP.)

JUSTIN M. WARREN

LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.V SHEET NUMBER:



<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION

EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-244-0500.

2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

9 16' WATER EASEMENT

(10) 16' SANITARY SEWER EASEMENT

 $\langle 1 \rangle$ 25' X 25' SANITARY SEWER

TURNAROUND EASEMENT

VARIABLE WIDTH PRIVATE DRAINAGE

(0.483 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE
EASEMENT (0.421 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE

214 EASEMENT (0.278 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE
EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.)

28' GAS & ELECTRIC EASEMENT

- (VOL. 9661, PGS. 41 43, D.P.R.) VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE
- (3) & CABLE TELEVISION EASEMENT ✓ (VOL. 9661, PGS. 41 - 43, D.P.R.)
- 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE &
- 5 CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT
- (PLAT NO. 23-11800148) 16' SEWER EASEMENT

(PLAT NO. 23-11800148)

14' GAS, ELECTRIC, TELEPHONE & 8 CABLE TELEVISION EASEMENT

- ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR
- 3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF

NOTE:
1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT,

IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.

LABELED OTHERWISE.

CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR

2. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR

- CONSTRUCTION OF THIS PROJECT. 5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- 6. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH TXDOT INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, TXDOT, CITY OF SAN ANTONIO, AND BEXAR COUNTY DESIGN STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN R.O.W. PRIOR TO CONSTRUCTION IN R.O.W.

TOTAL PARKING PROVIDED 362

KEYED NOTES TXDOT STANDARD CURB (REF. SHEET C9.1) (1) PARKING SPACES 2 PARKING STRIPING (REF. SHEET C9.0) TXDOT CROSSWALK STRIPING (REF. SHEET C9.1)

3 CROSSHATCH STRIPING (REF. SHEET C9.0) TXDOT WHEELCHAIR RAMP (REF. SHEET C9.2) 2 ~ 2' WIDE SIDEWALK BOX DRAINS (REF. APPROVED TXDOT DRIVEWAY PLANS) CROSSWALK STRIPING (REF. SHEET C9.0)

6" CONCRETE CURB (REF. SHEET C9.0) 20) AREA LIGHT POLE AND BASE (REF. LIGHTING PLANS)

6 FLUSH CURB (REF. SHEET C9.0) (REF. LANDSCAPE PLANS) 7) 2' CURB TRANSITION (REF. SHEET C9.0) FIRE RISER ACCESS
(REF. ARCHITECTURAL PLANS)

COVERED PATIO
(REF. ARCHITECTURAL PLANS) 8 CONCRETE SIDEWALK (REF. SHEETS C3.1 & C9.0) CONCRETE / CONCRETE

JUNCTURE DETAIL UNCOVERED / GARDEN PATIO (REF. ARCHITECTURAL PLANS)

(REF. SHEET C9.0) CONCRETE / ASPHALT DUMPSTER ENCLOSURE (REF. ARCHITECTURAL PLANS) JUNCTURE DETAIL
(REF. SHEET C9.0) HANDICAP SIGN (REF. SHEET C9.0) SCREENING WALL (REF. ARCHITECTURAL PLANS)

WHEELSTOP (REF. SHEET C9.0) (REF. LANDSCAPE WALL (REF. LANDSCAPE PLANS) COMPACT PARKING (REF. DETAIL ON THIS SHEET) CURB RAMP (REF. SHEET C9.0)

TXDOT STANDARD DRIVEWAY
(REF. SHEET C9.1)

ASPHALT / ASPHALT JUNCTURE DETAIL (REF. DETAIL ON THIS SHEET)

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

(29) "DO NOT ENTER" SIGN (REF. APPROVED TXDOT DRIVEWAY PLANS)

6' TXDOT SIDEWALK (REF. SHEET C9.0)

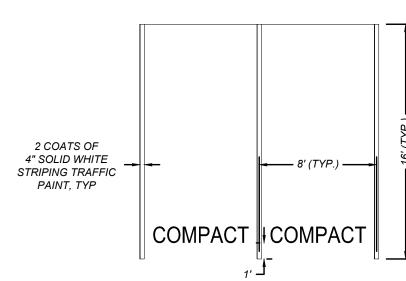


LOCATION MAP NOT-TO-SCALE



LEGEND

PROPERTY LINE ----EXISTING CONCRETE CURB EXISTING CONCRETE EXISTING FIRE HYDRANT EXISTING OVERHEAD ELECTRIC LINE & POWER POLE PROPOSED CONCRETE CURB PROPOSED CONCRETE PROPOSED FIRE HYDRANT



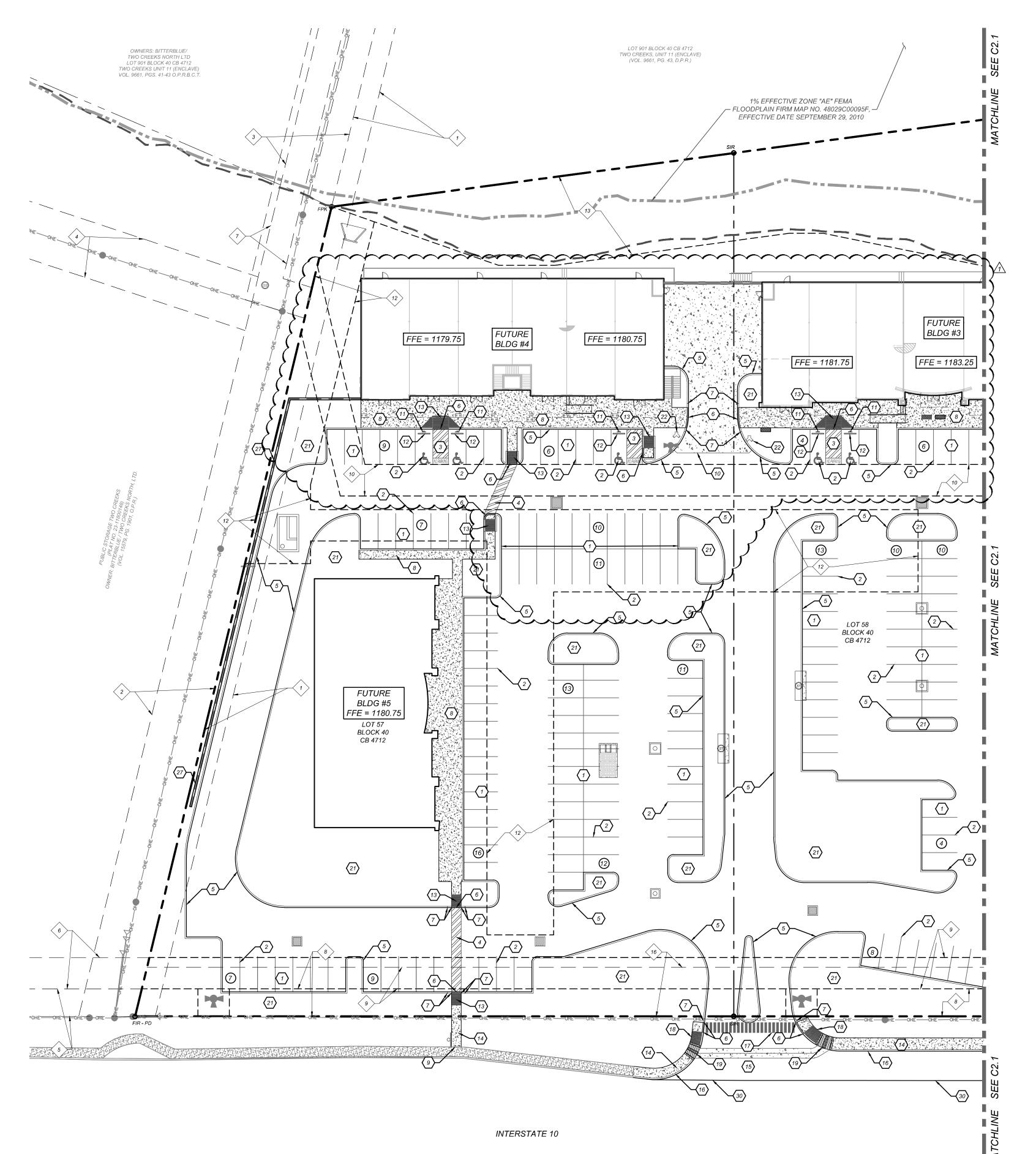
PROPOSED PARKING COUNT

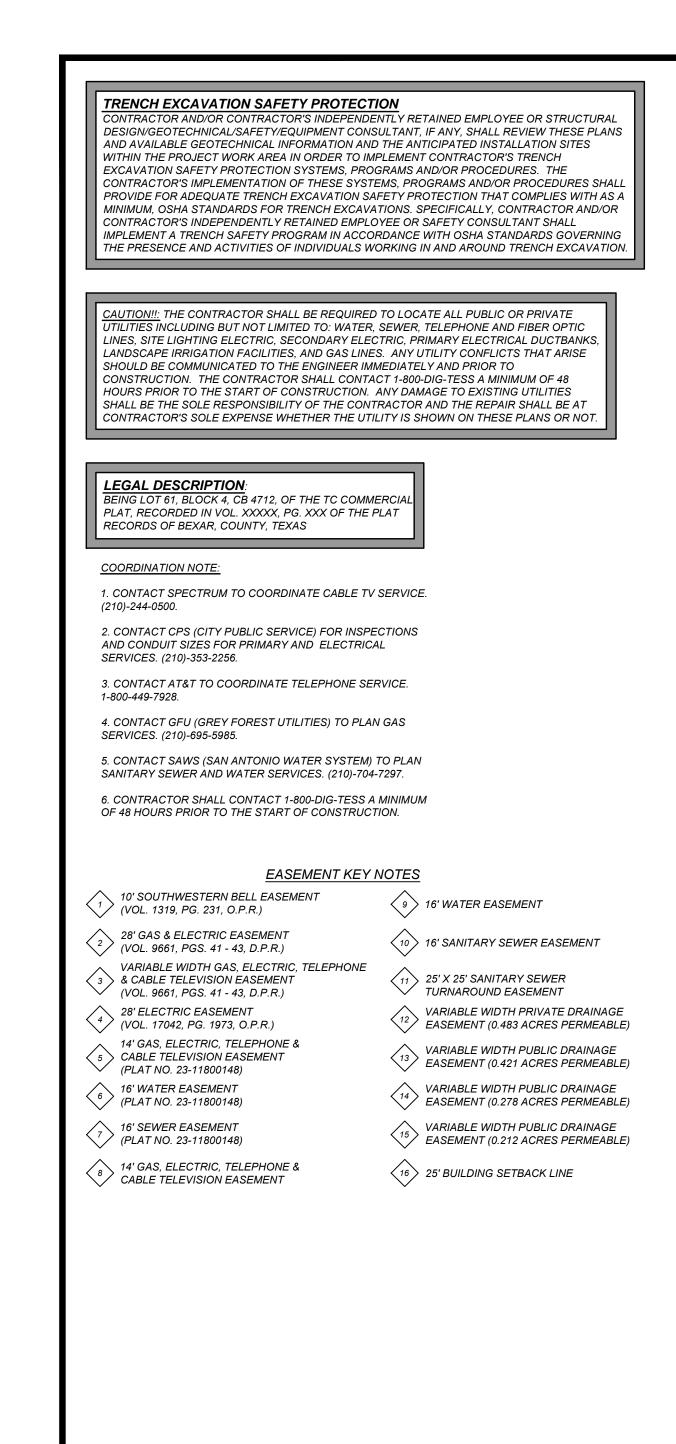
"COMPACT" PARKING STRIPING DETAIL "A"
NOT-TO-SCALE

JUSTIN M. WARREN

PLAT NO. LAND-PLAT-21-11800516 DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:





<u>NOTE:</u>
1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT,

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LABELED OTHERWISE.

CONSTRUCTION OF THIS PROJECT.

PROCEEDING WITH CONSTRUCTION.

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TXDOT INSPECTOR PRIOR TO THE PLACEMENT OR

PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR

3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF

SAW CUT EXISTING

EXISTING BASE

SUBGRADE (COMPACTED TO 95% /

MATERIAL

DENSITY-MINIMUM)

EDGE OF EXISTING

(ITEM 340 TYPE D)

PRIME COAT

FLEXIBLE BASE (COMPACTED TO 95%

DRY DENSITY-MINIMUM)

MATCH EXISTING DEPTH

(ITEM 310)

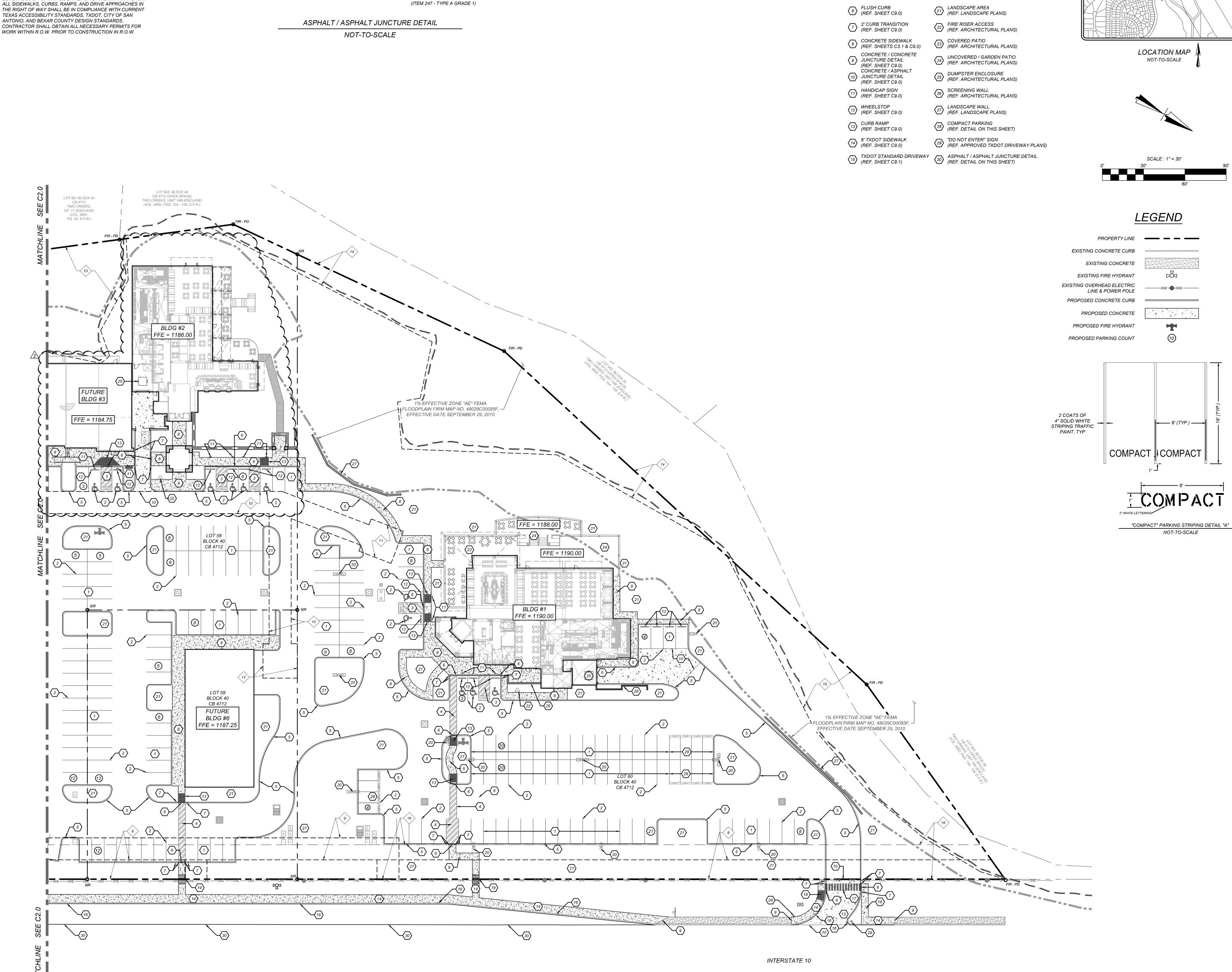
PAVEMENT

2" H.M.A.C.

PAVEMENT

EXISTING ASPHALT

PAVEMENT



362

TOTAL PARKING PROVIDED

KEYED NOTES

(1) PARKING SPACES

2 PARKING STRIPING (REF. SHEET C9.0)

3 CROSSHATCH STRIPING (REF. SHEET C9.0)

CROSSWALK STRIPING (REF. SHEET C9.0)

6" CONCRETE CURB (REF. SHEET C9.0)

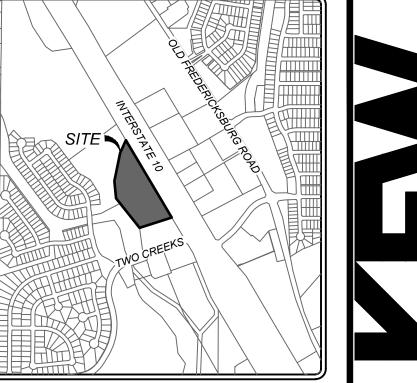
TXDOT STANDARD CURB (REF. SHEET C9.1)

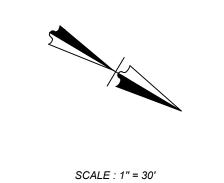
TXDOT CROSSWALK STRIPING (REF. SHEET C9.1)

2 ~ 2' WIDE SIDEWALK BOX DRAINS (REF. APPROVED TXDOT DRIVEWAY PLANS)

TXDOT WHEELCHAIR RAMP (REF. SHEET C9.2)

20) AREA LIGHT POLE AND BASE (REF. LIGHTING PLANS)





JUSTIN M. WARREN

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

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10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE (3) & CABLE TELEVISION EASEMENT
- √ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- ⁴ / (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE &
- 5 CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT
- 6 (PLAT NO. 23-11800148) 16' SEWER EASEMENT
- (PLAT NO. 23-11800148)
- 14' GAS, ELECTRIC, TELEPHONE & 8 CABLE TELEVISION EASEMENT
- √ 9 → 16' WATER EASEMENT
- (10) 16' SANITARY SEWER EASEMENT
- 11 25' X 25' SANITARY SEWER TURNAROUND EASEMENT
- VARIABLE WIDTH PRIVATE DRAINAGE $\stackrel{12}{>}$ EASEMENT (0.483 ACRES PERMEABLE) ∨ VARIABLE WIDTH PUBLIC DRAINAGE
- (0.421 ACRES PERMEABLE) ∨ VARIABLE WIDTH PUBLIC DRAINAGE
- (14) EASEMENT (0.278 ACRES PERMEABLE) VARIABLE WIDTH PUBLIC DRAINAGE

15	EASEMENT (0.212 ACRES PERMEAE
16	25' BUILDING SETBACK LINE

Curve Table

Curve # LENGTH RADIUS DELTA CHORD BRG CHORD DIST

C41 8.89' 25.00' 020°22'28" S49°00'23"W 8.84'

C46 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24'

C52 | 4.71' | 3.00' | 090°00'00" | \$14°11'37"W | 4.24'

C54 5.23' 3.00' 099°58'37" S19°10'56"W 4.60'

C55 | 41.89' | 25.00' | 096°00'54" | S78°48'49"E | 37.16'

C56 36.62' 25.00' 083°55'48" N11°12'50"E 33.43'

C57 | 19.71' | 5.88' | 192°12'03" | \$30°43'15"E | 11.68'

C58 | 5.86' | 2.00' | 167°48'06" | N30°43'19"W | 3.98'

C59 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24'

Curve # | LENGTH | RADIUS | DELTA | CHORD BRG | CHORD DIST

C103 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24'

C104 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24' C105 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24'

C106 | 15.71' | 10.00' | 090°00'00" | \$75°48'23"E | 14.14' C107 | 15.71' | 10.00' | 090°00'00" | S14°11'37"W | 14.14' C108 15.56' 10.00' 089°09'25" S13°46'20"W 14.04' C109 4.76' 3.00' 090°50'35" N76°13'40"W 4.27' C110 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' C111 4.71' 3.00' 090°00'00" N75°48'23"W 4.24' C112 | 4.71' | 3.00' | 090°00'00" | \$14°11'37"W | 4.24'

C113 4.71' 3.00' 090°00'00" N75°48'23"W 4.24'

C114 4.71' 3.00' 090°00'00" N14°11'37"E 4.24'

C115 5.50' 1.75' 180°00'10" N30°48'18"W 3.50'

C116 4.71' 3.00' 090°00'00" S75°48'23"E 4.24'

C117 4.71' 3.00' 090°00'00" N14°11'37"E 4.24' C118 | 15.51' | 25.00' | 035°32'15" | N76°57'45"E | 15.26' C119 | 34.11' | 55.00' | 035°32'15" | N76°57'45"E | 33.57' C120 | 15.71' | 10.00' | 090°00'00" | S75°48'23"E | 14.14'

5.00' | 090°00'00" | \$75°48'23"E |

3.00' | 090°00'00" | \$75°48'23"E | 4.24'

3.00' | 090°00'00" | \$14°11'37"W | 4.24'

C48 | 26.48' | 15.00' | 101°07'56" | S08°37'40"W |

C50 | 47.12' | 30.00' | 090°00'00" | S75°48'23"E |

10.00' | 090°00'00" | N75°48'23"W |

30.00' 079°44'27" S80°56'09"E

3.00' | 090°00'00" | S75°48'23"E |

10.00' | 069°37'32" | \$04°00'23"W | 11.42'

3.00' | 090°00'00" | \$75°48'23"E | 4.24'

3.00' | 090°00'00" | \$14°11'37"W | 4.24'

3.00' | 090°00'00" | S75°48'23"E | 4.24'

Curve Table											
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST						
C1	39.39'	25.00'	090°16'42"	N69°29'02"W	35.44'						
C2	49.36'	25.00'	113°07'27"	S08°48'54"W	41.72'						
C3	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'						
C4	3.14'	2.00'	090°00'00"	S14°11'37"W	2.83'						
C5	3.14'	2.00'	090°00'00"	S75°48'23"E	2.83'						
C6	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'						
C7	11.91'	50.00'	013°38′58″	S66°01'06"W	11.88′						
C8	26.65'	20.00'	076°20'25"	N68°59'12"W	24.72'						
C9	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'						
C10	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'						
C11	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'						
C12	5.33'	3.00'	101°48'11"	N08°17'32"E	4.66′						
C13	34.12'	25.00'	078°11'49"	N81°42'28"W	31.53'						
C14	12.57'	8.00'	090°00'00"	S14°11'37"W	11.31'						
C15	12.57'	8.00'	090°00'00"	S75°48'23"E	11.31'						
C16	39.27'	25.00'	090°00'00"	N14°11'37"E	35.36′						
C17	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'						
C18	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'						
C19	4.71'	3.00'	090°00'00"	N75°48′23″W	4.24'						
C20	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'						

Line Table

LINE # LENGTH DIRECTION

1 8.18' N24°20'41"W

L2 26.69' S65°22'38"W

L3 43.50' S47°44'49"E

L4 13.49' \$30°48'23"E

L5 | 15.00' | N59°11'37"E |

L6 | 86.00' | S30°48'23"E

L9 | 16.00' | N59°11'37"E

L10 63.00' \$30°48'23"E

L11 25.00' S59°11'37"W L12 15.28' \$30°48'23"E

L13 | 40.00' | S59°11'37"W

L14 | 178.96' | S72°50'36"W |

L15 | 5.67' | N30°57'42"W

L16 | 14.99' | S59°11'37"W |

L17 | 89.00' | N30°48'23"W |

L18 | 15.00' | N59°11'37"E

L19 5.00' N30°48'23"W

L20 | 15.00' | S59°11'37"W

16.00' S59°11'37"W

5.00' \$30°48'23"E

Line Table

LINE # LENGTH DIRECTION

L21 61.00' N30°48'23"W

L22 | 14.53' | N59°11'37"E

L23 | 17.24' | S59°11'37"W

L24 4.50' \$30°48'23"E

L25 | 41.83' | S59°11'51"W

L26 | 50.00' | N30°48'23"W

L28 4.50' S30°48'23"E

L29 | 13.49' | N59°11'37"E

L30 | 15.00' | \$59°11'37"W

L31 43.00' N30°48'23"W

L32 | 15.00' | N59°11'37"E

L33 5.00' N30°48'23**"**W

L34 | 15.00' | S59°11'37"W |

L35 | 54.00' | N30°48'23"W |

L36 | 15.00' | N59°11'37"E

L37 5.00' N30°48'23"W

L38 | 15.00' | S59°11'37"W

L39 34.00' N30°48'23"W

L40 | 15.00' | N59°11'37"E

45.58' N59°11'33"E

Line Table

LINE # LENGTH DIRECTION

L41 0.83' N30°48'23"W

L42 | 39.74' | S59°11'37"W

L43 39.74' N59°11'37"E

L44 31.78' N30°48'23"W

L45 | 15.00' | \$59°11'37"W L46 | 67.00' | N30°48'23"W

L48 | 20.50' | N30°48'23"W

L49 | 17.27' | N30°48'23"W

L50 77.00' N59°11'37"E

L51 | 15.00' | \$30°48'23"E

L52 9.08' N59°11'37"E

L53 9.21' N30°48'23"W

L54 | 15.00' | S59°11'37"W

L55 37.00' N30°48'23"W

L56 | 15.00' | N59°11'37"E

L57 | 121.11' | N30°48'23"W

L58 | 45.22' | S30°48'13"E

L59 27.25' N30°48'10"W

L60 28.08' S59°11'50"W

5.30' | 3.00' | 101°10'14" | N19°46'45"E |

10.00' | 088°48'23" | \$65°13'57"E |

50.00' 009°58'37" S25°49'04"E

15.00' | 083°59'06" | S11°11'11"W |

25.00' | 006°00'54" | S56°11'11"W |

25.00' | 090°00'00" | N75°48'23"W |

3.00' | 090°00'00" | \$75°48'23"E |

3.00' | 090°00'00" | S14°11'37"W |

3.00' | 090°00'00" | N14°11'37"E |

10.00' | 090°00'00" | N75°48'23"W | 14.14'

10.00' | 090°00'00" | N14°11'37"E | 14.14'

35.36'

4.24'

15.00' N59°11'37"E

Line Table

LINE # LENGTH DIRECTION

L61 36.00' N30°48'10"W

L62 | 15.11' | N59°11'50"E

L63 | 143.67' | N11°47'34"E

L64 36.78' N59°11'37"E

L65 31.51' N30°49'54"W

L66 36.81' S59°11'37"W

L68 72.00' \$30°48'23"E

L69 | 15.00' | S59°11'37"W

L70 | 30.75' | \$30°48'23"E

L71 | 15.00' | N59°11'37"E

L72 | 198.00' | \$30°48'23"E

L73 | 18.75' | S59°11'37"W

L74 | 16.00' | S30°48'23"E

L75 | 32.00' | S59°11'37"W

L76 | 25.77' | N30°48'23"W

L78 | 40.57' | S42°07'29"E

L79 | 10.75' | N59°11'37"E

4.51' S59°11'37"W

9.85' S30°48'23"E

15.00' N59°11'37"E

	Curve Table												
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST								
C61	45.23'	25.00'	103°38′58"	S21°01'06"W	39.31'								
C62	32.35'	25.00'	074°08'15"	N70°05'17"W	30.14'								
C63	4.83'	3.00'	092°12'46"	N13°05'14"E	4.32'								
C64	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'								
C65	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'								
C66	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'								
C67	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'								
C68	9.33'	5.00′	106°56′27"	S05°43'24"W	8.04'								
C69	6.38'	5.00′	073°03'33"	S84°16'36"E	5.95'								
C70	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'								
C71	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'								
C72	7.85'	5.00'	090°00'00"	S14°11'37"W	7.07'								
C73	14.63'	10.00'	083°49'00"	S72°42'52"E	13.36′								
C74	7.85'	5.00'	090°00'00"	N14°11'37"E	7.07'								
C75	15.71'	10.00'	090°00'00"	N75°48'23"W	14.14'								
C76	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'								
C77	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'								
C78	15.71'	10.00'	090°00'00"	N14°11'37"E	14.14'								
C79	15.71'	10.00'	090°00'00"	N75°48'23"W	14.14'								

C80	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'	
			Curve Table			
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST	
C121	15.71'	10.00'	090°00'00"	N75°48′23″W	14.14'	
C122	15.71'	10.00'	090°00'00"	N14°11'37 " E	14.14'	
C123	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'	
C124	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'	
C125	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'	
C126	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	
C127	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'	
C128	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'	
C129	4.93'	3.00'	094°05'46"	N12°08'44 " E	4.39'	
C130	14.99'	10.00'	085°54'14"	N77°51'16"W	13.63'	
C131	14.99'	10.00'	085°54'14"	S16°14'30"W	13.63'	
C132	4.93'	3.00'	094°05'46"	S73°45'30"E	4.39'	
C133	4.93'	3.00'	094°05'46"	N73°45'30"W	4.39'	
C134	14.99'	10.00'	085°54'14"	N16°14'30"E	13.63'	
C135	14.99'	10.00'	085°54'14"	S77°51'16"E	13.63'	
C136	4.93'	3.00'	094°05'46"	S12°08'44"W	4.39'	
C137	4.71'	3.00'	090°00'10"	N75°48'13"W	4.24'	
C138	4.71'	3.00'	090°00'07"	N14°11'47 " E	4.24'	
C139	34.41'	25.00'	078°52'01"	S81°22'19"E	31.76'	
C140	8.83'	5.00'	101°08′09″	S08°37'46"W	7.72'	

Curve Table										
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST					
C141	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'					
C142	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'					
C143	11.36′	10.00'	065°03'55"	S26°39'40"W	10.76′					
C144	11.36′	10.00'	065°03′55″	N88°16'25"W	10.76′					
C145	4.99'	3.00'	095°15'09"	N73°10'48"W	4.43'					
C146	16.30'	25.00'	037°20'47"	N06°52'50"W	16.01'					
C147	23.98'	10.00'	137°24'04"	N80°29'35"E	18.63'					
C148	4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'					
C149	4.71'	3.00'	089°59'48"	S14°11'43"W	4.24'					
C150	15.71'	10.00'	090°00'04"	N75°48'21"W	14.14'					
C151	33.94'	25.00'	077°47'14"	N08°05'14"E	31.39'					
C152	5.35'	3.00'	102°12'58"	S81°54'39"E	4.67'					

		Curve Table]
LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST	` _
4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'	
4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	HE
7.85'	5.00'	090°00'00"	N75°48'23"W	7.07'	
7.85'	5.00'	090°00'00"	N14°11'37"E	7.07'	
4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'	
4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	
63.86′	50.00'	073°10'55"	N05°47'05"E	59.61'	
3.83'	3.00'	073°10'55"	N05°47'05"E	3.58'	
4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'	
39.27'	25.00'	090°00'00"	N14°11'37"E	35.36′	
4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'	
4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	
13.33'	5.00'	152°47'19"	S72°47'58"W	9.72'	
11.87'	25.00'	027°12'31"	S17°11'57"E	11.76'	
4.71'	3.00'	090°00'00"	N75°48'10"W	4.24'	
8.27'	10.00'	047°24'16"	N35°29'42"E	8.04'	
41.37'	50.00'	047°24'04"	N35°29'35"E	40.20'	
16.12'	25.00'	036°56′55″	N77°37'02"E	15.84'	
6.65'	3.00'	126°55′24″	N32°37'48"E	5.37'	
39.29'	25.00'	090°02′30″	N75°47'08"W	35.37'	
					•
					1
		Curve Table		<u> </u>	
LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST	
4.71'	3.00'	090°00'00"	S14°11'37"W	4.24'	
7.85'	5.00'	090°00'00"	S75°48'23"E	7.07'	
34.62'	25.00'	079°20'30"	N19°31'23"E	31.92'	
5.27'	3.00'	100°42'11"	N70°29'58"W	4.62'	
4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	
4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'	
4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'	
11.28'	10.00'	064°37'23"	N01°30'19"E	10.69'	
6.04'	3.00'	115°22'37"	S88°29'41"E	5.07'	

			Curve Table		
Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST
C21	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'
C22	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'
C23	7.85'	5.00'	090°00'00"	N75°48'23"W	7.07'
C24	7.85'	5.00'	090°00'00"	N14°11'37"E	7.07'
C25	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'
C26	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'
C27	63.86′	50.00'	073°10′55″	N05°47'05"E	59.61'
C28	3.83'	3.00'	073°10'55"	N05°47'05"E	3.58'
C29	4.71'	3.00'	090°00'00"	S75°48'23"E	4.24'
C30	39.27'	25.00'	090°00'00"	N14°11'37"E	35.36'
C31	4.71'	3.00'	090°00'00"	N75°48'23"W	4.24'
C32	4.71'	3.00'	090°00'00"	N14°11'37"E	4.24'
C33	13.33'	5.00'	152°47'19"	S72°47'58"W	9.72'
C34	11.87'	25.00'	027°12'31"	S17°11'57"E	11.76'
C35	4.71'	3.00'	090°00'00"	N75°48'10"W	4.24'
C36	8.27'	10.00'	047°24'16"	N35°29'42"E	8.04'
C37	41.37'	50.00'	047°24'04"	N35°29'35"E	40.20'
C38	16.12'	25.00'	036°56′55″	N77°37'02"E	15.84'
C39	6.65'	3.00'	126°55'24"	N32°37'48"E	5.37'
C40	39.29'	25.00'	090°02'30"	N75°47'08"W	35.37'

	Line Tal	ble		Line Table					Line Tai	ble
LINE#	LENGTH	DIRECTION	1	LINE#	LENGTH	DIRECTION		LINE #	LENGTH	DIRECTIO
L81	15.00'	N59°11'37"E]	L101	144.00'	N59°11'37"E		L121	15.00'	S59°11'37'
L82	113.00'	S30°48'23"E		L102	15.00'	N30°48'23"W	1	L122	8.95′	S30°48'23
L83	15.00'	S59°11'37"W		L103	6.00'	N59°11'37"E		L123	14.62'	S59°08'56'
L84	7.08'	S30°48'23"E		L104	15.00'	N30°48'23"W		L124	6.00'	N59°11'37
L85	14.77'	N69°10'15"E		L105	15.00'	N30°48'23"W		L125	4.56'	N30°48'23'
L86	72.00'	S20°49'45"E		L106	1.68'	N59°11'37"E		L126	8.00'	N59°11'37
L87	13.99'	S69°10'15"W		L107	27.18'	S47°44'49"E		L127	15.00'	S30°48'23
L88	11.06'	S30°48'23"E		L108	0.60'	S59°11'37"W		L128	117.00'	N59°11'37
L89	11.03'	N53°10'44"E		L109	6.25'	S59°11'37"W		L129	15.00'	N30°48'23"
L90	365.16′	N30°45'04"W		L110	15.00'	N30°48'23"W		L130	51.00'	N30°48'23"
L91	150.76'	N25°02'50"W		L111	12.54'	S30°48'23 " E		L131	14.32'	S30°48′23
L92	98.89'	N30°45'25"W		L112	15.88'	N65°22'38"E		L132	36.00′	N59°11'37
L93	104.60'	S30°48'23"E		L113	97.54'	N59°11'37"E		L133	14.87'	N30°48'23'
L94	155.39'	S72°50'36 "W		L114	99.00'	S59°11'37"W		L134	25.90'	S20°49'45'
L95	14.98'	N59°11'37"E		L115	14.19'	N30°48'23"W		L135	31.85′	S30°48'23'
L96	63.00'	N30°48'23"W		L116	15.00'	S30°48'23"E		L136	30.00'	S30°48'23'
L97	15.00'	S59°11'37"W		L117	30.00'	S30°48'23"E		L137	30.00'	N30°48'23"
L98	3.00'	N30°48'23"W		L118	3.00'	S59°11'37"W]	L138	1.00'	N59°11'37
L99	37.00'	N59°11'37"E		L119	16.00'	N30°48'23"W		L139	1.00'	S59°11'37"
L100	16.22'	S30°48'23"E	1	L120	6.97'	S30°48'23"E]	L140	16.00'	N30°48'23'

OWNERS: BITTERBLUE/ TWO CREEKS NORTH LTD

LOT 901 BLOCK 40 CB 4712 WO CREEKS UNIT 11 (ENCLAV

VOL. 9661. PGS. 41-43 O.P.R.B.C.

			Line Tab	ole		Line Tal	ble		Line Tal	ble		Line Tal	ole
TION	LI	INE#	LENGTH	DIRECTION	LINE#	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTIO
1'37"E		_121	15.00'	S59°11'37"W	L141	1.00'	N59°11'37 " E	L161	15.00'	S30°48'23"E	L181	16.00'	N59°11'37
3'23"W		_122	8.95'	S30°48'23"E	L142	30.00'	S30°48'23"E	L162	3.10'	S59°11'37"W	L182	29.96′	S59°11'37"
1'37"E		_123	14.62'	S59°08'56"W	L143	1.00'	S59°11'37"W	L163	15.50′	N30°48'23"W	L183	29.96′	N59°11'37
3'23"W		124	6.00'	N59°11'37 " E	L144	16.00'	N30°48'23"W	L164	15.00'	N59°11'37"E	L184	16.00'	S59°11'37"
3'23"W	7	_125	4.56'	N30°48′23″W	L145	30.00'	S30°48'23"E	L165	72.00'	N30°48'23"W	L185	7.45'	N30°48'23'
1'37"E	7	_126	8.00'	N59°11'37 " E	L146	4.00'	N59°11'37 " E	L166	16.25'	S59°11'37"W	L186	30.00'	N59°11'37
1'49"E	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	127	15.00'	S30°48'23"E	L147	4.00'	S59°11'37"W	L167	24.67'	N59°11'37"E	L187	7.45'	S30°48'23
'37 "W	7	_128	117.00'	N59°11'37 " E	L148	30.00'	N30°48'23"W	L168	15.99'	S30°48'23"E	L188	7.77'	S59°11'37"
′37 ″W		_129	15.00'	N30°48′23″W	L149	12.00'	N59°11'37 " E	L169	15.99'	N30°48′23″W	L189	6.83'	N59°11'37
3'23"W		_130	51.00'	N30°48'23"W	L150	30.00'	S30°48'23"E	L170	13.33'	N59°11'37"E	L190	16.00'	S59°11'37"
3'23 " E		131	14.32'	S30°48'23"E	L151	12.00'	S59°11'37"W	L171	5.75'	N59°11'37"E	L191	17.79'	N11°47'34
2'38"E		_132	36.00'	N59°11'37 " E	L152	30.00'	N30°48'23"W	L172	30.00'	N30°48'16"W	L192	21.23'	S30°48'23'
1'37"E		_133	14.87'	N30°48'23"W	L153	16.00′	S30°48'23"E	L173	6.05'	N59°11'41"E	L193	29.91'	S59°11'37"
'37 "W		134	25.90'	S20°49'45 " E	L154	62.10'	S30°48'23"E	L174	10.05′	S41°56'18"E	L194	36.26′	S65°22'38"
3'23"W		_135	31.85'	S30°48'23"E	L155	15.00′	N30°48'23"W	L175	27.61'	S59°11'42"W	L195	36.26′	N53°10'44
3'23"E		_136	30.00'	S30°48'23"E	L156	54.00'	S59°11'37"W	L176	14.53'	S30°48'10"E	L196	2.00'	N59°11'37
3'23"E	L	_137	30.00'	N30°48'23"W	L157	15.00′	S30°48'23"E	L177	9.00'	S59°22'11"W	L197	3.00'	N59°11'37
'37 "W		_138	1.00'	N59°11'37 " E	L158	13.00′	S59°11'37"W	L178	15.00'	S30°48'10"E	L198	1.00'	S59°11'37"
3'23"W		_139	1.00'	S59°11'37"W	L159	15.00′	N30°48'23"W	L179	1.34'	S59°11'37"W	L199	7.77'	S59°11'37"
3'23"E		_140	16.00'	N30°48′23″W	L160	45.00'	S59°11'37"W	L180	1.00'	N30°48'23"W	L200	6.83'	N59°11'37

FFE = 1179.75

FUTURE

BLDG #5

FFE = 1180.75

BLOCK 40

L93

L—————J

INTERSTATE 10

	Line Table		
NE#	LENGTH	DIRECTION	
.141	1.00'	N59°11'37 " E	
142	30.00'	S30°48'23"E	
143	1.00'	S59°11'37"W	
144	16.00'	N30°48'23"W	
145	30.00'	S30°48'23"E	
146	4.00'	N59°11'37 " E	
147	4.00'	S59°11'37"W	
148	30.00'	N30°48'23"W	
149	12.00'	N59°11'37 " E	
150	30.00'	S30°48'23"E	
151	12.00'	S59°11'37"W	
152	30.00'	N30°48'23"W	
153	16.00'	S30°48'23"E	
154	62.10'	S30°48'23"E	
155	15.00'	N30°48'23"W	
.156	54.00'	S59°11'37"W	
157	15.00′	S30°48'23"E	
158	13.00′	S59°11'37"W	
159	15.00′	N30°48'23"W	

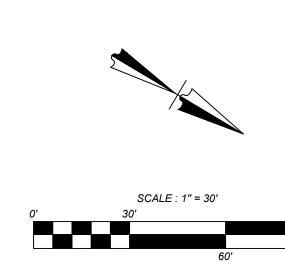
LOT 901 BLOCK 40 CB 4712 TWO CREEKS, UNIT 11 (ENCLAVE) (VOL. 9661, PG. 43, D.P.R.)

Minning Marie Committee of the committee

FFE = 1180.75



LOCATION MAP NOT-TO-SCALE



LEGEND

PROPERTY LINE — — — — EXISTING CONCRETE EXISTING FIRE HYDRANT EXISTING OVERHEAD ELECTRIC LINE & POWER POLE PROPOSED CONCRETE PROPOSED FIRE HYDRANT PROPOSED LIGHT POLE

1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.

3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING. 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.

2. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED

BLDG #31

FFE = 1183.25

FFE = 1181.75

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BLOCK 40

CB 4712

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

L136

5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, TXDOT, CITY OF SAN ANTONIO, AND BEXAR COUNTY DESIGN STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK

WITHIN R.O.W. PRIOR TO CONSTRUCTION IN R.O.W.

JUSTIN M. WARREN

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W

SHEET NUMBER:

TRENCH EXCAVATION SAFETY PROTECTION ONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION BEING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

SERVICES. (210)-695-5985.

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

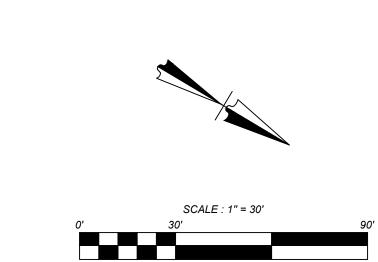
10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE (3) & CABLE TELEVISION EASEMENT
- ✓ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.)
- ↑ 14' GAS, ELECTRIC, TELEPHONE &
- (5) CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) 16' WATER EASEMENT
- √6 (PLAT NO. 23-11800148) 16' SEWER EASEMENT
- (PLAT NO. 23-11800148) 8 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT
- 9 16' WATER EASEMENT
- (10) 16' SANITARY SEWER EASEMENT

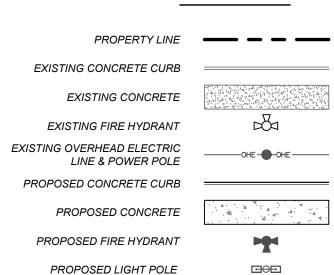
LOT 902, BLOCK 40 CB 4712 (OPEN SPACE) TWO CREEKS, UNIT 14B (ENCLAVE)

- 11 25' X 25' SANITARY SEWER TURNAROUND EASEMENT
- √ VARIABLE WIDTH PRIVATE DRAINAGE 12 EASEMENT (0.483 ACRES PERMEABLE) VARIABLE WIDTH PUBLIC DRAINAGE
 EASEMENT (0.421 ACRES PERMEABLE)
- VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE)
- VARIABLE WIDTH PUBLIC DRAINAGE
 EASEMENT (0.212 ACRES PERMEABLE)
- 16 25' BUILDING SETBACK LINE

LOCATION MAP NOT-TO-SCALE



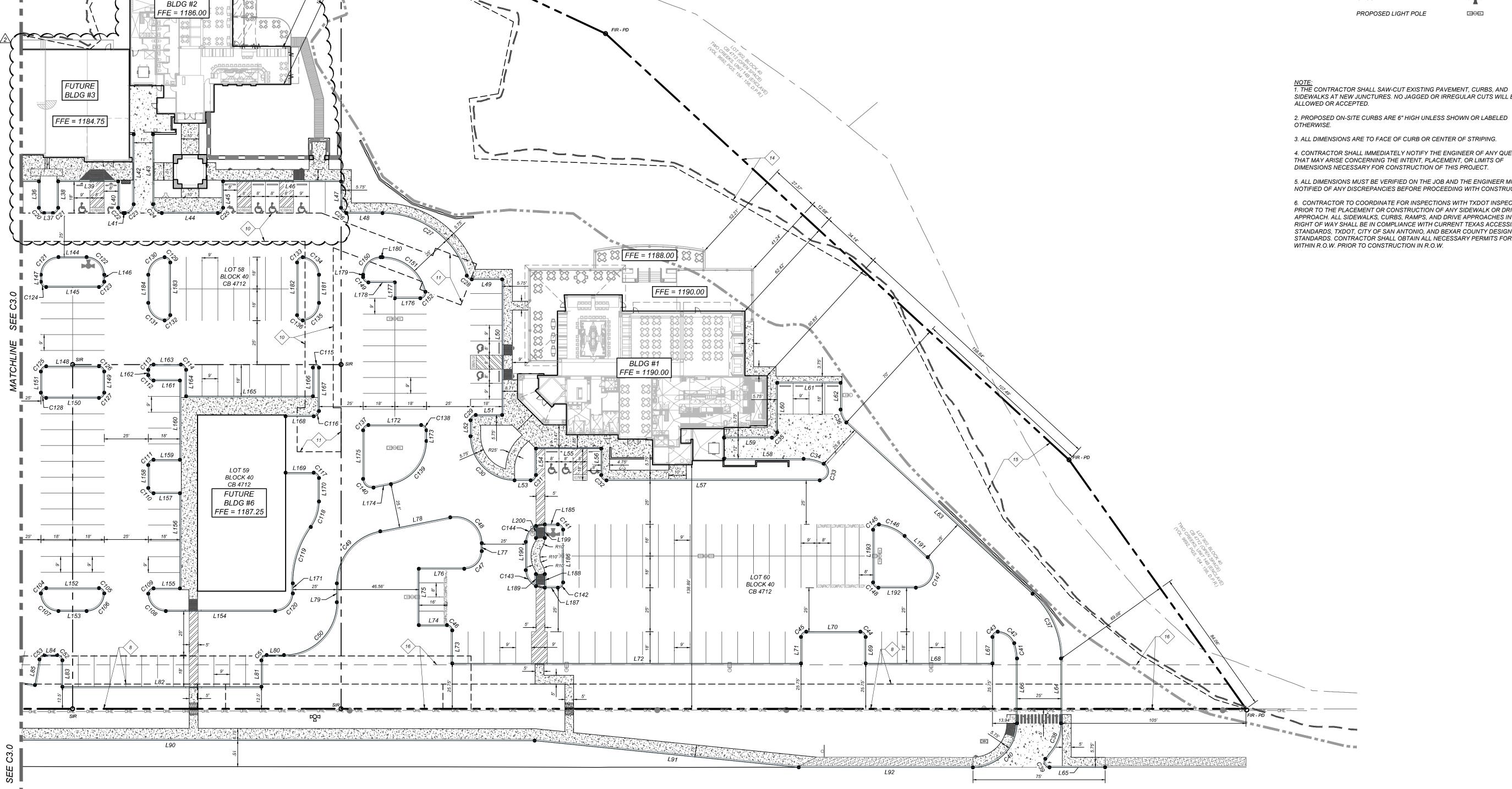
LEGEND



<u>NOTE:</u> 1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE

3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING. 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF

5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. 6. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH TXDOT INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, TXDOT, CITY OF SAN ANTONIO, AND BEXAR COUNTY DESIGN STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN R.O.W. PRIOR TO CONSTRUCTION IN R.O.W.



INTERSTATE 10

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

JUSTIN M. WARREN

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02

DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W SHEET NUMBER:

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

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4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

SANITARY SEWER AND WATER SERVICES. (210)-704-7297. 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN

EASEMENT KEY NOTES

10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.)

28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)

VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE (3) & CABLE TELEVISION EASEMENT

✓ (VOL. 9661, PGS. 41 - 43, D.P.R.) 28' ELECTRIC EASEMENT ⁴ (VOL. 17042, PG. 1973, O.P.R.)

14' GAS, ELECTRIC, TELEPHONE & 5 CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148)

16' WATER EASEMENT

(PLAT NO. 23-11800148) 16' SEWER EASEMENT

(PLAT NO. 23-11800148) 14' GAS, ELECTRIC, TELEPHONE & 8 CABLE TELEVISION EASEMENT

11 25' X 25' SANITARY SEWER

(9) 16' WATER EASEMENT

(10) 16' SANITARY SEWER EASEMENT

TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE $\stackrel{12}{>}$ EASEMENT (0.483 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE 14 EASEMENT (0.278 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE
EASEMENT (0.212 ACRES PERMEABLE) (16) 25' BUILDING SETBACK LINE

3000 P.S.I. (MIN.) — #3 BARS @ 18" O.C.E.W. COMPACTED SUBGRADE PER GEOTECH REPORT

> REFER TO GEOTECHNICAL ENGINEERING REPORT BY ROCK ENGINEERING & TESTING LABORATORY, INC., JOB NO, G221740, DATED NOVEMBER 16, 2021

LIGHT DUTY CONCRETE PAVEMENT SECTION

NOT-TO-SCALE

REFER TO GEOTECHNICAL ENGINEERING REPORT BY ROCK ENGINEERING & TESTING LABORATORY, INC., JOB NO, G221740, DATED NOVEMBER 16, 2021

COMPACTED SUBGRADE

PER GEOTECH REPORT

HEAVY DUTY CONCRETE PAVEMENT SECTION

NOT-TO-SCALE

~~~~~

FFE = 1179.75

*FFE* = 1180.75

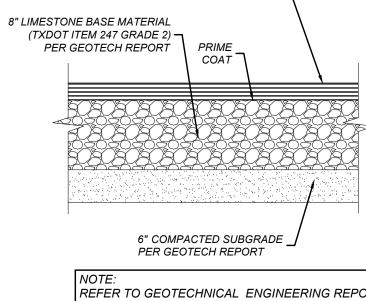
BLOCK 40 CB 4712

3000 P.S.I. (MIN.)

\_\_\_#3 BARS @ 18" O.C.E.W.

LOT 901 BLOCK 40 CB 4712 TWO CREEKS, UNIT 11 (ENCLAVE) (VOL. 9661, PG. 43, D.P.R.)

FFE = 1180.75



PER GEOTECH REPORT

REFER TO GEOTECHNICAL ENGINEERING REPORT BY ROCK ENGINEERING & TESTING LABORATORY INC., JOB NO. G221740, DATED NOVEMBER 16, 2021.

LOT 58 BLOCK 40 CB 4712

LIGHT DUTY ASPHALT PAVEMENT SECTION

NOT-TO-SCALE

1% EFFECTIVE ZONE "AE" FEMA

- FLOODPLAIN FIRM MAP NO. 48029C00095F, —

EFFECTIVE DATE SEPTEMBER 29, 2010

PER GEOTECH REPORT 6" COMPACTED SUBGRADE \_ PER GEOTECH REPORT

REFER TO GEOTECHNICAL ENGINEERING REPORT BY ROCK ENGINEERING & TESTING LABORATORY INC., JOB NO. G221740, DATED NOVEMBER 16, 2021.

HEAVY DUTY ASPHALT PAVEMENT SECTION

NOT-TO-SCALE

PER GEOTECH REPORT

12" LIMESTONE BASE MATERIAL (TXDOT ITEM 247 GRADE 2)

1. SPECIFICATIONS AND RECOMMENDATIONS ARE BASED ON THE GEOTECHNICAL REPORT BY: ROCK ENGINEERING & TESTING LABORATORY, INC., JOB NO. G221740, DATED NOVEMBER 16, 2021.

2. MAXIMUM CONTRACTION JOINT SPACING NOT TO EXCEED 15.0 FEET. 3. EXPANSION JOINTS SHALL BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS OR MANHOLES.

4. EXPANSION SHALL BE SPACED NO GREATER THAN 60' AND SEALED WITH APPROPRIATE SEALANT TO MINIMIZE INFILTRATION INTO SUBGRADE SOILS AND RESULTANT CONCRETE DETERIORATION AT THE JOINTS.

5. SLEEVES SHOWN ARE FOR IRRIGATION ONLY. ADDITIONAL SLEEVES MAY BE REQUIRED FOR OTHER FRANCHISE UTILITIES. CONTRACTOR SHALL COORDINATE LOCATION AND SUPPLY ADDITIONAL SLEEVES

REQUIRED FOR ELECTRIC AND TELECOMMUNICATIONS. 6. EXPANSION JOINTS TO RUN CONTINUOUSLY THROUGH CURBS.

#### CONTRACTOR TO REFERENCE IRRIGATION / LANDSCAPE PLANS FOR LOCATIONS OF ALL IRRIGATION SLEEVES

#### KEYED NOTES

IRRIGATION SLEEVES
(REF. LANDSCAPE PLANS FOR DETAILS)

TRASH ENCLOSURE
(REF. ARCHITECTURAL & STRUCTURAL
PLANS FOR DETAILS)

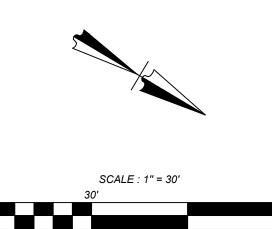
MATCH EXISTING ASPHALT PAVEMENT (REF. SHEET C9.0 FOR DETAILS)

TXDOT CONCRETE DRIVEWAY (REF. SHEET C9.1 FOR DETAILS)

PROPOSED CONCRETE CU PROPOSED CONCRE HEAVY DUTY ASPHALT PAVEME

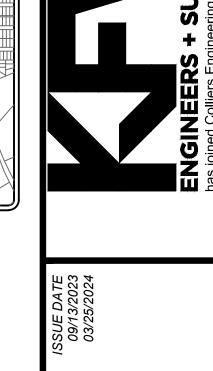


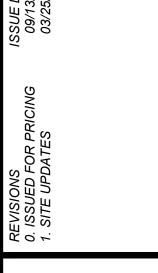




### LEGEND

| PROPERTY LINE                          |         |
|----------------------------------------|---------|
| EXISTING CONCRETE CURB                 |         |
| EXISTING CONCRETE                      |         |
| PROPOSED CONCRETE CURB                 |         |
| PROPOSED CONCRETE                      | 4 4 4 4 |
| HEAVY DUTY ASPHALT PAVEMENT            |         |
| LIGHT DUTY ASPHALT PAVEMENT            |         |
| PROPOSED CONCRETE<br>DRIVEWAY PAVEMENT |         |
| LIGHT DUTY CONCRETE PAVEMENT           |         |
| HEAVY DUTY CONCRETE PAVEMENT           |         |





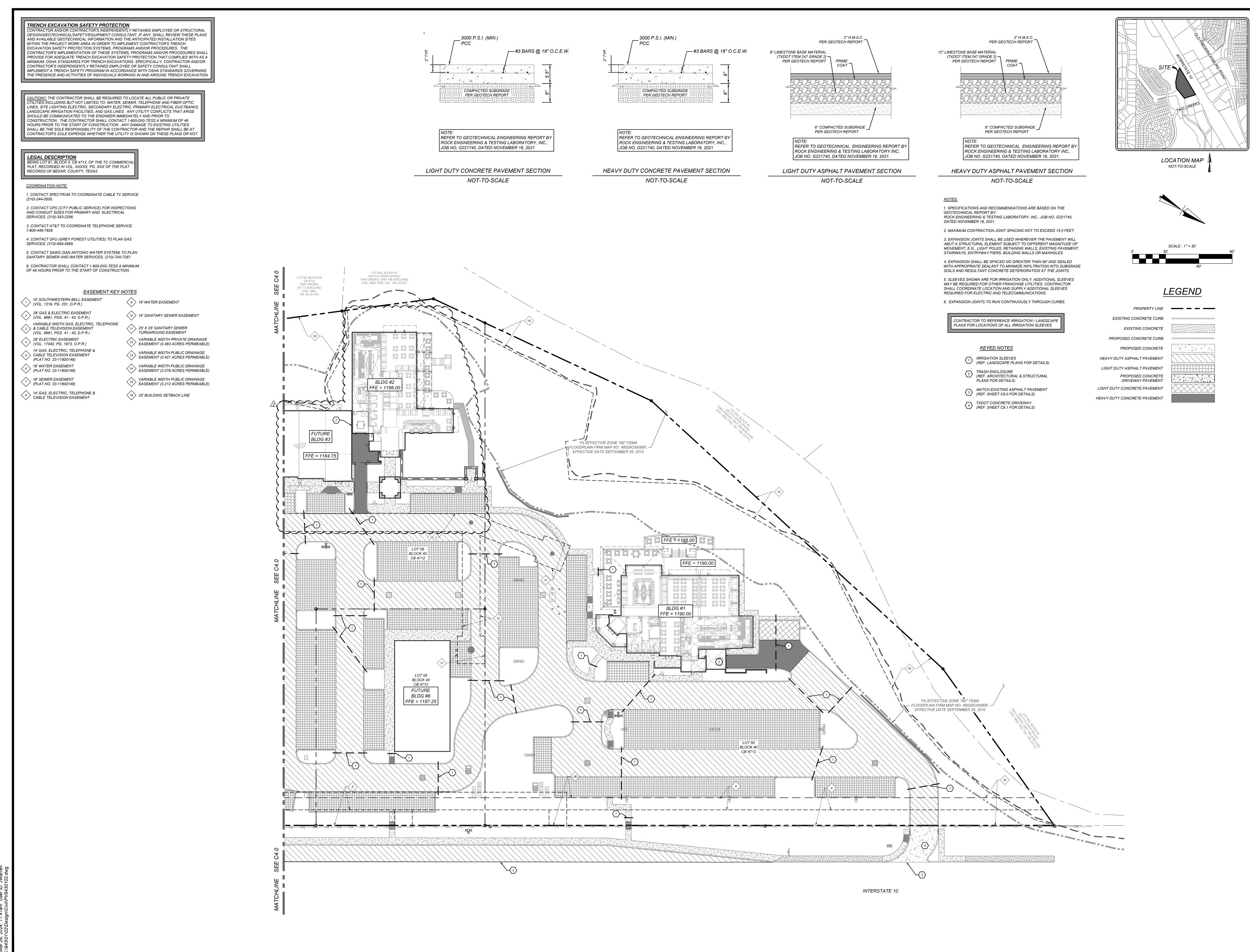




PLAT NO. LAND-PLAT-21-11800516 DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:

INTERSTATE 10



ENGINEERS + SURVEYING
has joined Colliers Engineering & Design
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78
Phone #: (210) 979-8444 • Fax #: (210) 979-8441

ISSUE DATE
0 POR PRICING 09/13/2023
COMMENTS 02/23/2024
PDATES 03/25/2024

REVISIONS

0. ISSUED FOR

1. TXDOT COMM

2. SITE UPDATE

1. TXDOT COMM

2. SITE UPDATE

JUSTIN M. WARREN

3/26/3

JUSTIN M. WARREN

3/26/3

JUSTIN M. WARREN

3/26/3

THE CRESCENT
NTERSTATE 10, SAN ANTONIO, TX 78

PLAT NO.
LAND-PLAT-21-11800516

JOB NO. 943-01-02

DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

74 1

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

### LEGAL DESCRIPTION

EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

#### **COORDINATION NOTE:**

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#### 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)

VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE

#### (3) & CABLE TELEVISION EASEMENT ✓ (VOL. 9661, PGS. 41 - 43, D.P.R.) 28' ELECTRIC EASEMENT

<sup>4</sup> (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE & 5 CABLE TELEVISION EASEMENT

#### ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT (PLAT NO. 23-11800148)

16' SEWER EASEMENT (PLAT NO. 23-11800148)

### 14' GAS, ELECTRIC, TELEPHONE & 8 CABLE TELEVISION EASEMENT

(9) 16' WATER EASEMENT

### (10) 16' SANITARY SEWER EASEMENT

 $\langle 11 \rangle$  25' X 25' SANITARY SEWER TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE

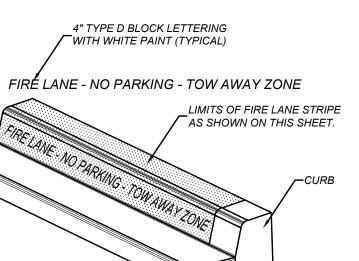
#### $\stackrel{12}{>}$ EASEMENT (0.483 ACRES PERMEABLE) √ VARIABLE WIDTH PUBLIC DRAINAGE (13) EASEMENT (0.421 ACRES PERMEABLE)

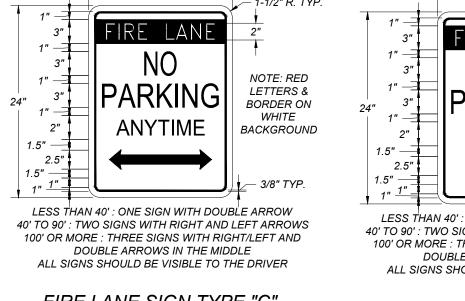
VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE)

√ VARIABLE WIDTH PUBLIC DRAINAGE

215 EASEMENT (0.212 ACRES PERMEABLE) (16) 25' BUILDING SETBACK LINE

### 1. ALONG CURBED AREAS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB. PAINT WHITE LETTERS ON FACE OF CURB ONLY. 2. ALONG NON-CURBED AREAS: PAINT RED LANE STRIPE ON PAVEMENT AND PAINT WHITE LETTERS. 3. 50' FOOT (MAX.) SPACING BETWEEN THE BEGINNING OF THE WHITE





LOT 901 BLOCK 40 CB 4712 TWO CREEKS, UNIT 11 (ENCLAVE) (VOL. 9661, PG. 43, D.P.R.)

1 ~ 8" 1/8 BEND, M.J.

220 L.F.~8" C900

1 ~ 8" 1/8 BEND, M.J.

24 L.F.~8" C900 CLASS 200 PV

10 L.F.~8" C900 CLASS 200 PVC

INTERSTATE 10

8" DOUBLE CHECK DETECTOR

ASSEMBLY IN VAULT

~ 8" GATE VALVE, M.J.

~ 6" VALVE BOX, COMPLETE

1 ~ 8" 1/8 BEND, M.J. <mark>|</mark>

HOSE PULL



, , « — » » — » » — » »

<del>-----</del>----

BLOCK 40

98 L.F.~8" C900 CLASS 200 PVC

70 L.F.~8" C900 CLASS 200 PVC

1 ~ 8" 1/8 BEND, M.J.

44 L.F.~8" C900 CLASS 200 PVC

8" DOUBLE CHECK DETECTOR ASSEMBLY IN VAULT

~ 12" X 8" I E E , M.J. 1 ~ 8" GATE VALVE, M.J.

PROPOSED PUBLIC FIRE HYDRANT

(INSTALLED UNDER

SEPARATE COVER)

 $1 \sim 6$ " VALVE BOX, COMPLETE

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1 ~ 8" 1/8 BEND, M.J.

2 ~ 8" GATE VALVE, M.J. 2 ~ 6" VALVE BOX, COMPLETE BLDG #3

FFE = 1183.25

1 ~ 8" 1/8 BEND, M.J.

8 L.F.~8" C900 CLASS 200 PVC

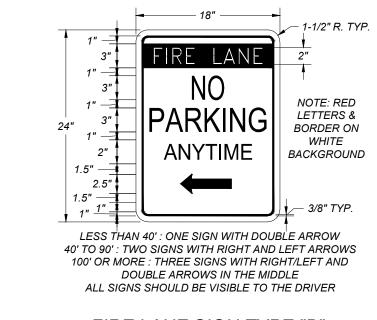
RISER ROOM

1 ~ 6" 1/8 BEND, M.J.

1 ~ 6" 1/8 BEND, M.J.

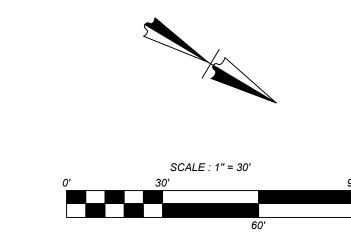
FFE = 1181.75

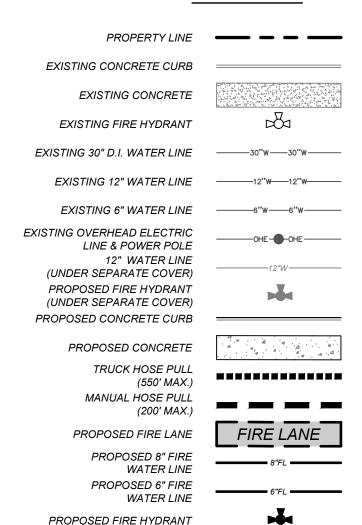
75 L.F. OF MANUAL

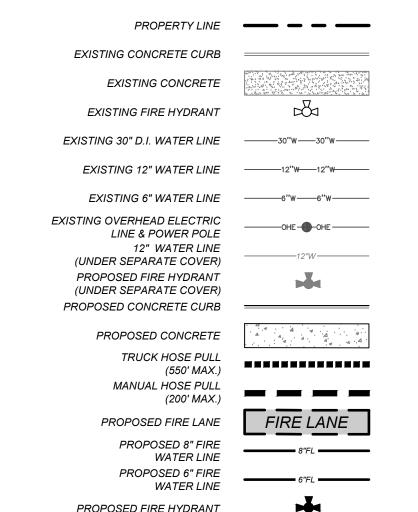




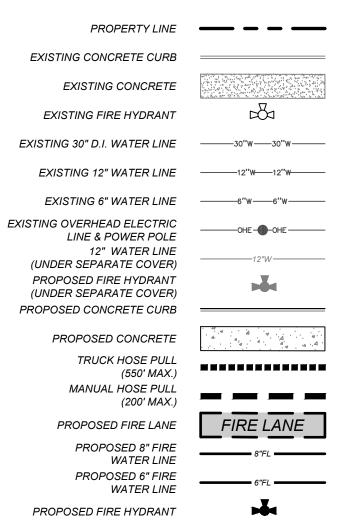
LOCATION MAP NOT-TO-SCALE











JUSTIN M. WARREN

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02

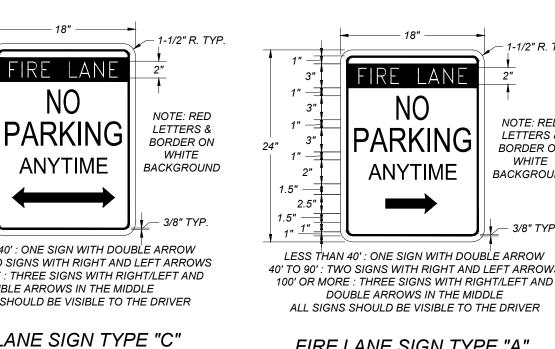
DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:

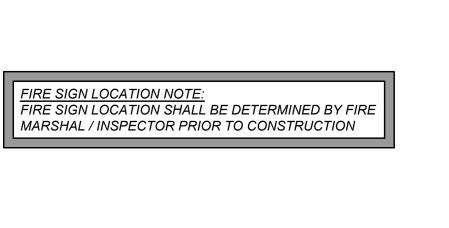
APPLICATION: TYPICAL FIRE LANE MARKING DETAIL

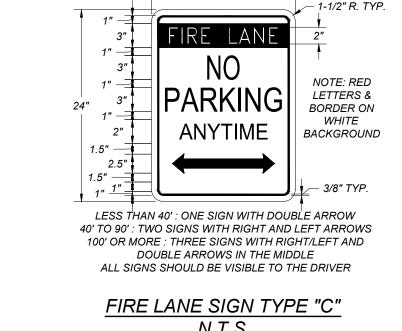
MARSHAL / INSPECTOR PRIOR TO CONSTRUCTION

<u>FIRE SIGN LOCATION NOTE:</u> FIRE SIGN LOCATION SHALL BE DETERMINED BY FIRE

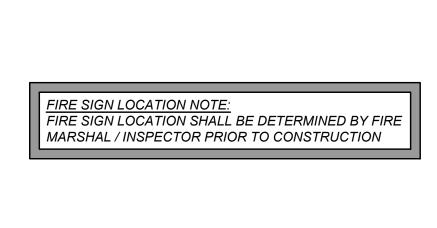




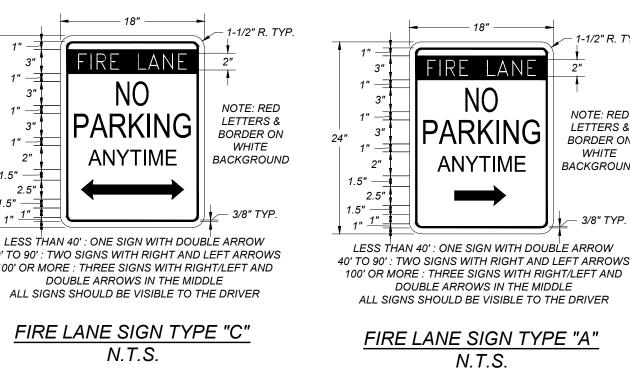


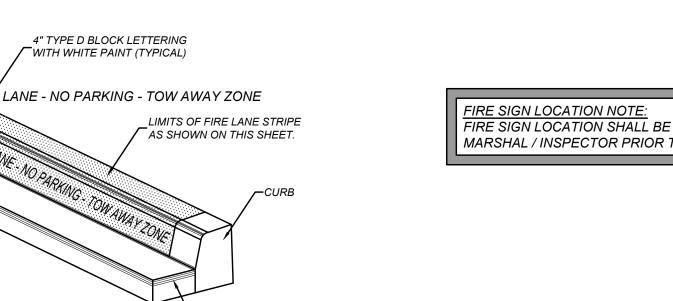


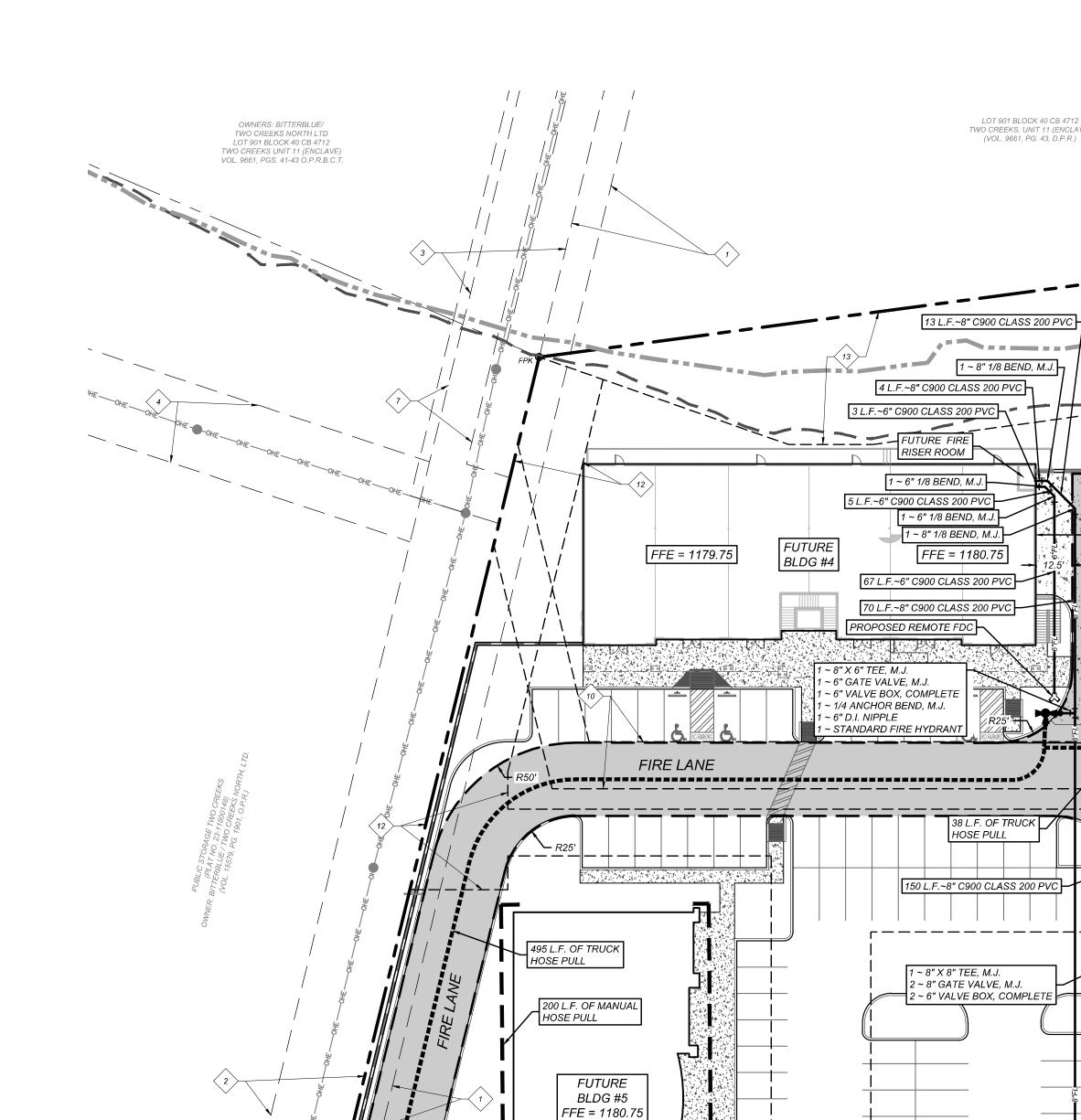












1 ~ 8" 1/8 BEND, M.J.

PROPOSED PUBLIC FIRE HYDRANT

(INSTALLED UNDER

SEPARATE COVER)

BLOCK 40

CB 4712

5 L.F.~8" C900 CLASS 200 PVC

7 L.F.~8" C900 CLASS 200 PVC

1 ~ 8" 1/8 BEND, M.J.

CLASS 200 PVC



APPLICATION:

LIMITS OF FIRE LANE STRIPE

AS SHOWN ON THIS SHEET.

TYPICAL FIRE LANE MARKING DETAIL

LOT 902, BLOCK 40 CB 4712 (OPEN SPACE) TWO CREEKS, UNIT 14B (ENCLAVE)

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EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

### **COORDINATION NOTE:**

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3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985. 5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN

SANITARY SEWER AND WATER SERVICES. (210)-704-7297. 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

#### EASEMENT KEY NOTES

10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE (3) & CABLE TELEVISION EASEMENT
- ✓ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE & 5 CABLE TELEVISION EASEMENT
- ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT (PLAT NO. 23-11800148)
- 16' SEWER EASEMENT (PLAT NO. 23-11800148)
- 14' GAS, ELECTRIC, TELEPHONE & 8 CABLE TELEVISION EASEMENT
- (9) 16' WATER EASEMENT
- (10) 16' SANITARY SEWER EASEMENT
- $\langle 11 \rangle$  25' X 25' SANITARY SEWER TURNAROUND EASEMENT
- VARIABLE WIDTH PRIVATE DRAINAGE (0.483 ACRES PERMEABLE) ∨ VARIABLE WIDTH PUBLIC DRAINAGE
- EASEMENT (0.421 ACRES PERMEABLE) VARIABLE WIDTH PUBLIC DRAINAGE 214 EASEMENT (0.278 ACRES PERMEABLE)
- VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

1. ALONG CURBED AREAS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB. PAINT WHITE LETTERS ON FACE OF CURB ONLY. 2. ALONG NON-CURBED AREAS: PAINT RED LANE STRIPE ON PAVEMENT AND PAINT WHITE LETTERS. 3. 50' FOOT (MAX.) SPACING BETWEEN THE BEGINNING OF THE WHITE 4" TYPE D BLOCK LETTERING WITH WHITE PAINT (TYPICAL) FIRÉ LANE - NO PARKING - TOW AWAY ZONE

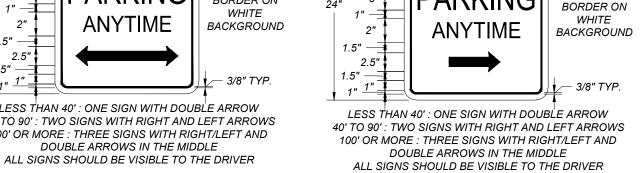
FIRE SIGN LOCATION NOTE:

FIRE SIGN LOCATION SHALL BE DETERMINED BY FIRE

MARSHAL / INSPECTOR PRIOR TO CONSTRUCTION



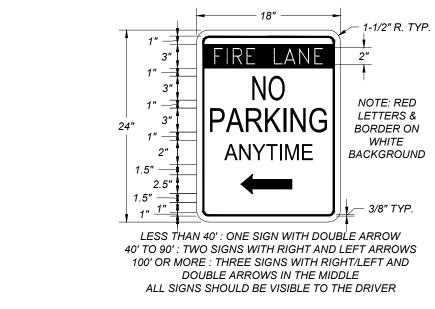
FIRE LANE SIGN TYPE "C"





- 1-1/2" R. TYP.

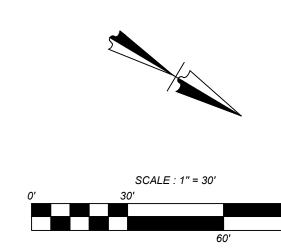
LETTERS &



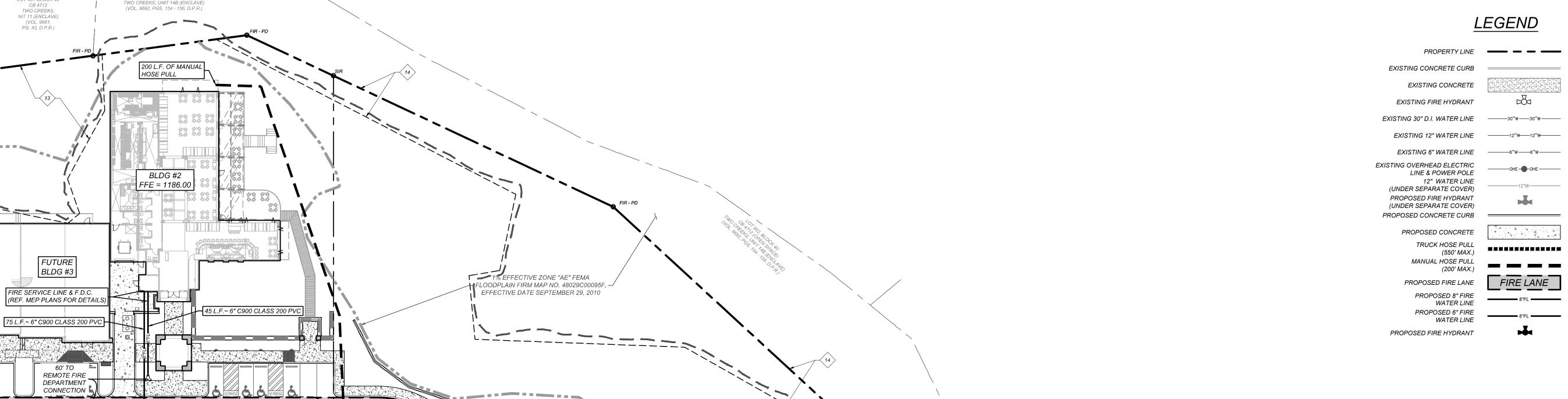
FIRE LANE SIGN TYPE "B" N.T.S.



LOCATION MAP NOT-TO-SCALE



# LEGEND



BLOCK 40 FFE = 1190.00 190 L.F. OF TRUCK ~ 6" GATE VALVE, M.J. HOSE PULL 1 ~ 6" VALVE BOX, COMPLETE ~ 1/4 ANCHOR BEND, M.J. 1 ~ 6" D.I. NIPPLE 1 ~ STANDARD FIRE HYDRAN BLDG #1 FFE = 1190.00 1 ~ 8" 1/8 BEND, M.J. HOSE PULL & REMOTE F.D.C. (REF. MEP PLANS 16 L.F.~8" C900 FOR DETAILS) CLASS 200 PVC 1 ~ 8" 1/8 BEND, M.J. (REF. ARCH PLANS FOR DETAILS ~ 6" 1/8 BEND. M.J. 200 L.F. OF TRUCK HOSE PULL FIRE LANE CB 4712 1 ~ 6" 1/8 BEND, M.J. → 34 L.F.~8" C900 CLASS 200 P FUTURE BLDG #6 FFE = 1187.25 HOSE PULL 60 L.F.~ 6" C900 1 ~ 8" 1/8 BEND, M.J. 1 ~ 8" 1/8 BEND, M.J. 1% EFFECTIVE ZONE "AE" FLOODPLAIN FIRM MAP NO. 48029C00095F. EFFECTIVE DATE SERTEMBER 29, 2010 1 ~ 6" 1/8 BEND, M.J. 180 L.F. OF MANUAL HOSE PULL 11 L.F.~ 8" C900 CLASS 200 PVC 1 ~ 8" X 6" REDUCER, M.J. BLOCK 40 1 ~ 6" GATE VALVE, M.J. 1 ~ 6" VALVE BOX, COMPLETE 1 ~ 8" 1/8 BEND, M.J. ☐ ~ 1/4 ANCHOR BEND, M.J. ~ 6" D.I. NIPPLE 91 L.F.~8" C900 CLASS 200 PVC ~ STANDARD FIRE HYDRAN L.F.~8" C900 CLASS 200 PVC 28 L.F.~ 8" C900 8" DOUBLE CHECK CLASS 200 PVC DETECTOR ASSEMBLY IN VAULT — H DETECTOR ~ 12" GATE VALVE, M.J. 1 ~ 8" GATE VALVE, M.J. 1 ~ 6" VALVE BOX, COMPLETE ~ 8" GATE VALVE, M.J. 1 ~ 6" VALVE BOX, COMPLETE

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

INTERSTATE 10

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:

JUSTIN M. WARREN

TRENCH EXCAVATION SAFETY PROTECTION ONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

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PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

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OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

#### SANITARY SEWER AND WATER SERVICES. (210)-704-7297. 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM

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(VOL. 9661, PGS. 41 - 43, D.P.R.) VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE

#### (3) & CABLE TELEVISION EASEMENT ✓ (VOL. 9661, PGS. 41 - 43, D.P.R.) 28' ELECTRIC EASEMENT

<sup>4</sup> (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE & 5 CABLE TELEVISION EASEMENT

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### (10) 16' SANITARY SEWER EASEMENT

 $\langle 1 \rangle$  25' X 25' SANITARY SEWER TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE

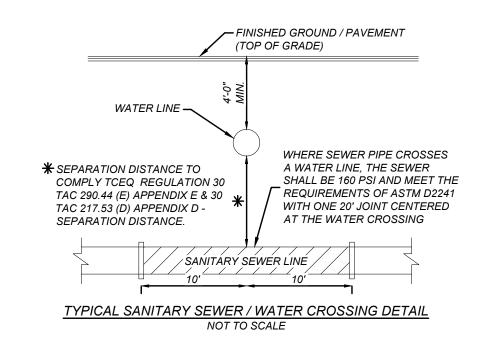
#### $\stackrel{12}{>}$ EASEMENT (0.483 ACRES PERMEABLE) ∨ VARIABLE WIDTH PUBLIC DRAINAGE (13) EASEMENT (0.421 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE 14 EASEMENT (0.278 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE

### 615 EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

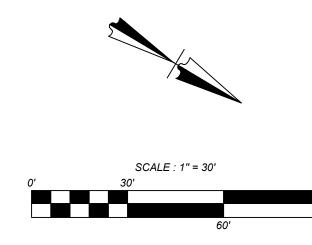




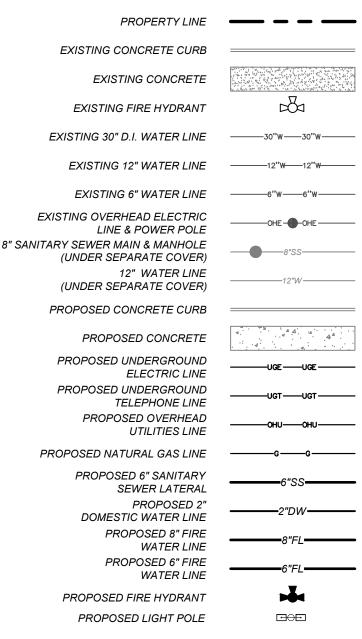
LOCATION MAP NOT-TO-SCALE

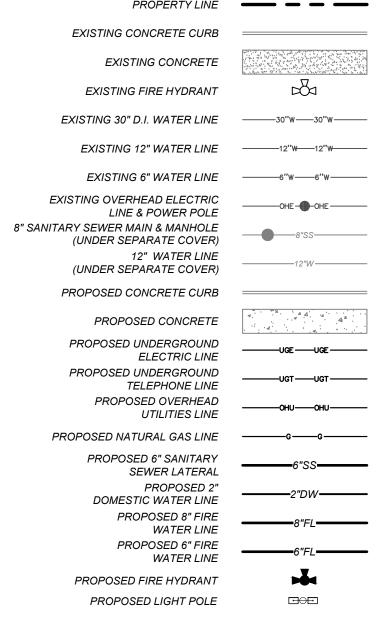
GENERAL NOTE: REFER TO SHEET C6.2 FOR ALL STANDARD PLAN SHEET NOTES AND FOR WATER TAP DETAIL

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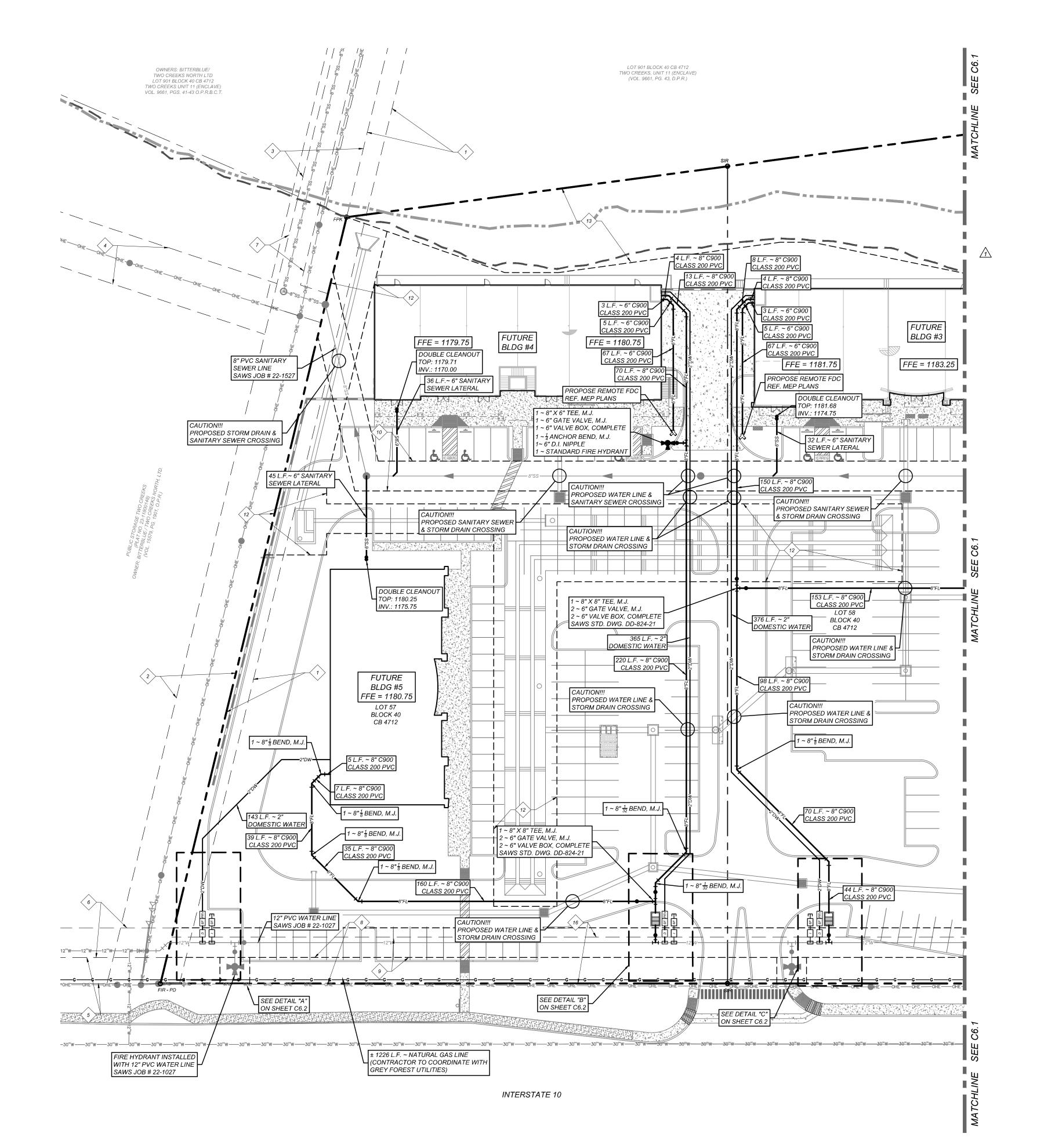
# LEGEND





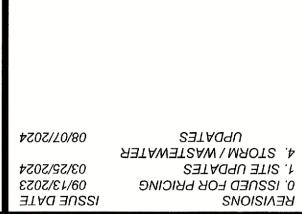
JUSTIN M. WARREN

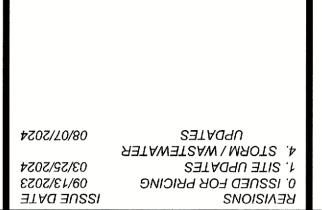
PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:

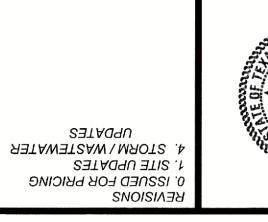


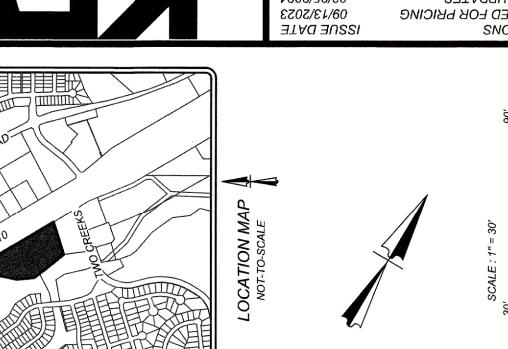
S AO S TAAHS - NAJA YTIJITU JJAAAVO 25839 INTERSTATE 10, SAN ANTONIO, TX 78255 THE CRESCENT



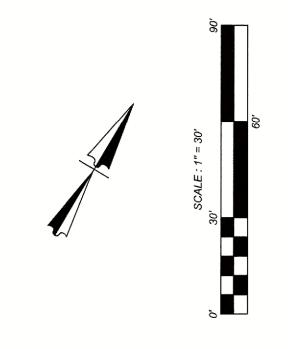


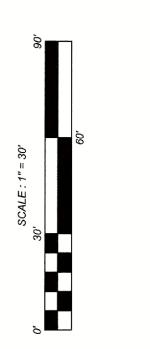


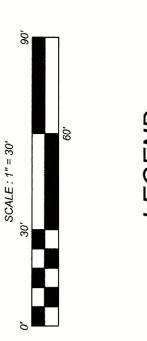


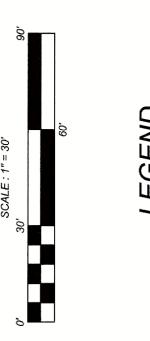


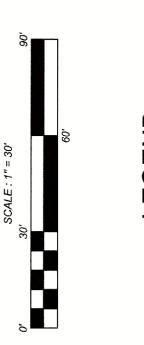
ENGINEERS + SURVEYING
has joined Colliers Engineering & Design
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-8444 • Fax #: (210) 979-8441
TBPE Firm #: 9513 • TBPLS Firm #: 10122300

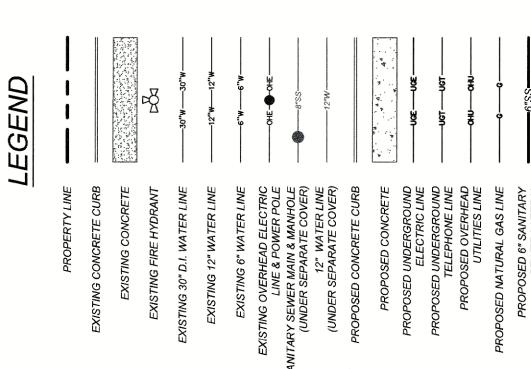


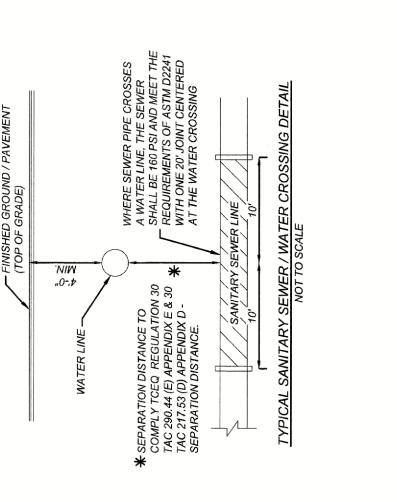






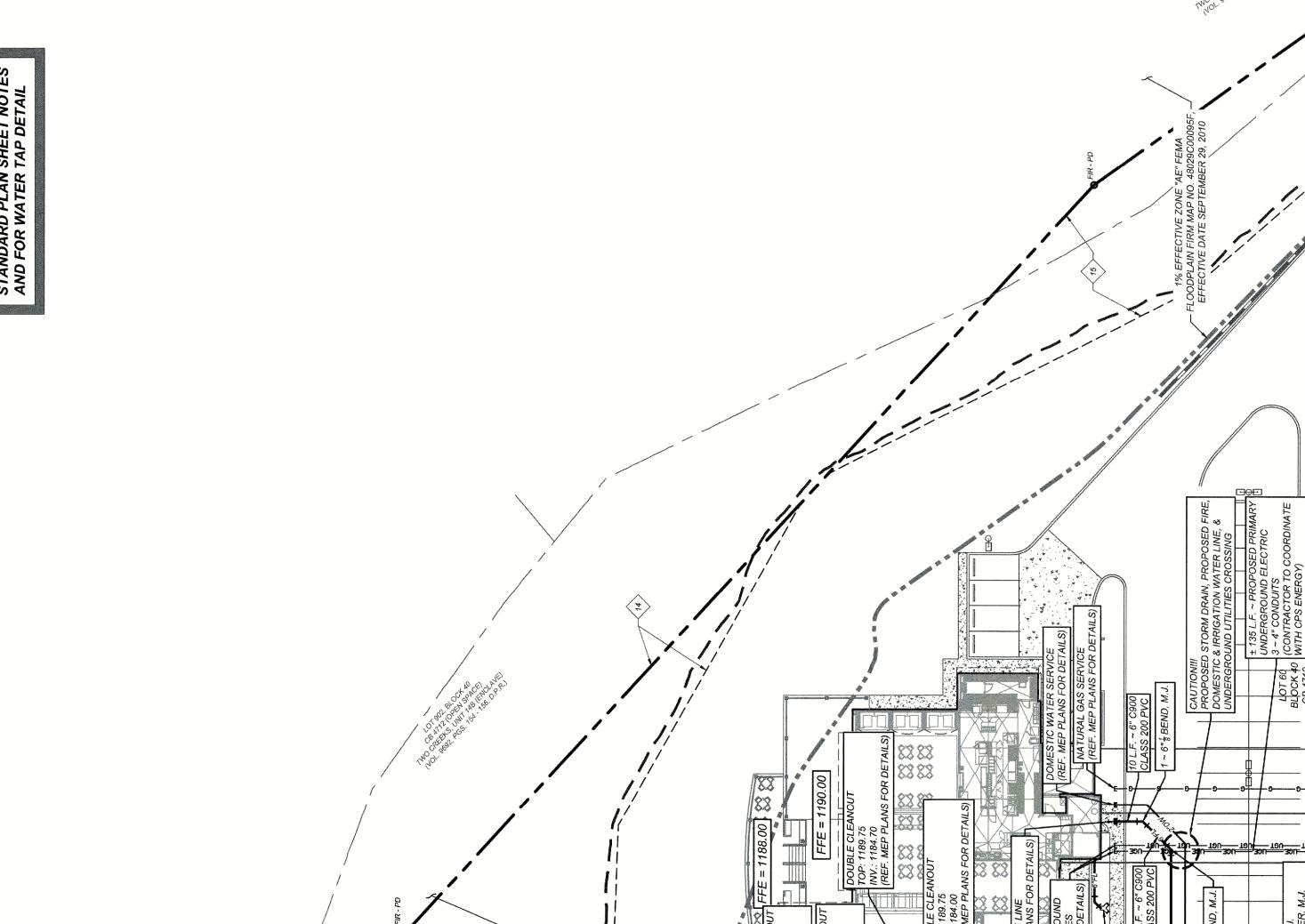


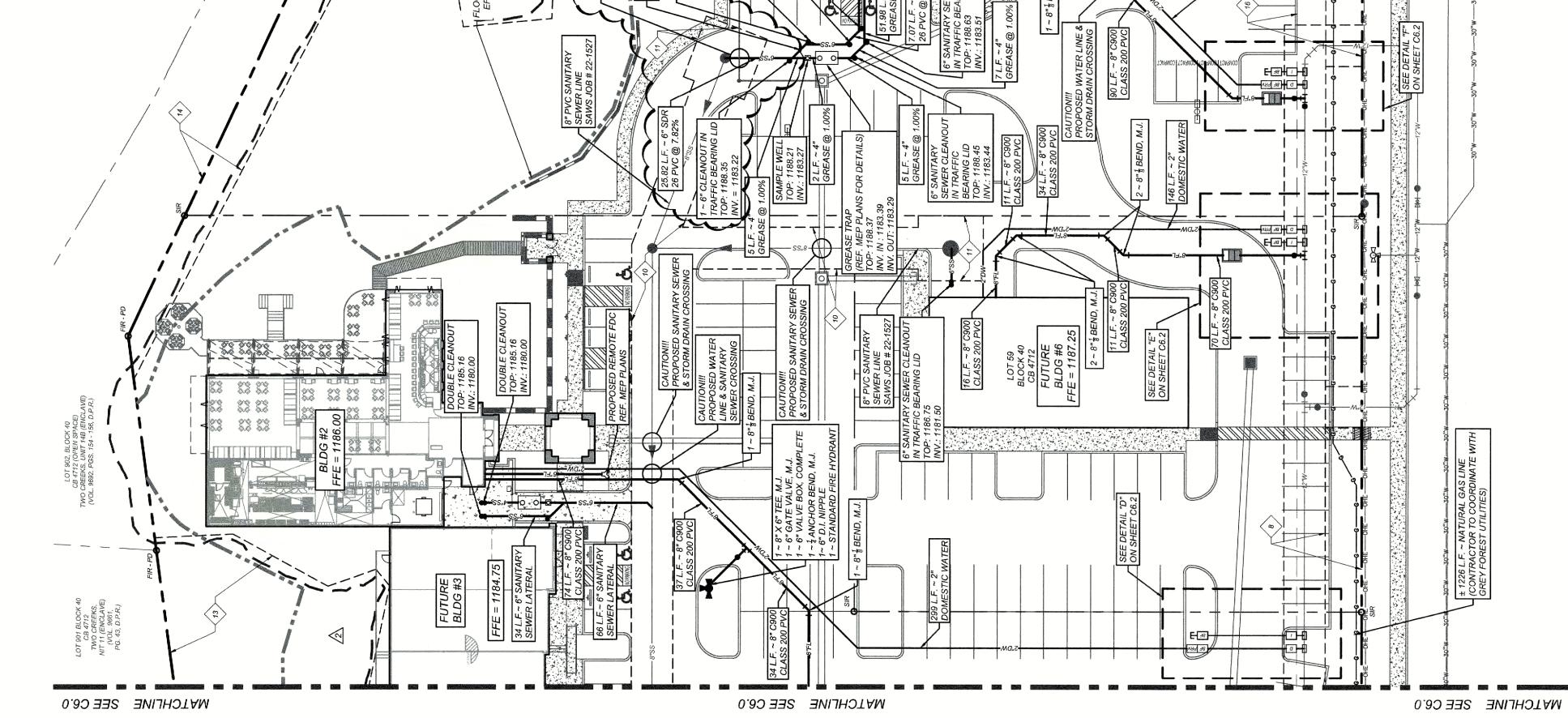


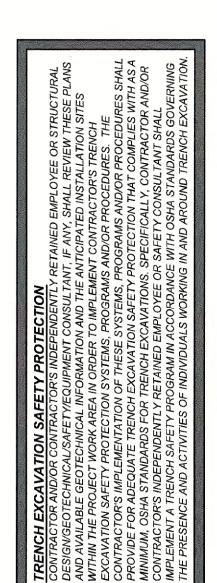


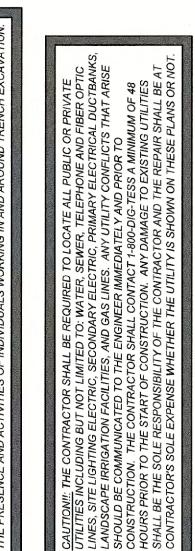


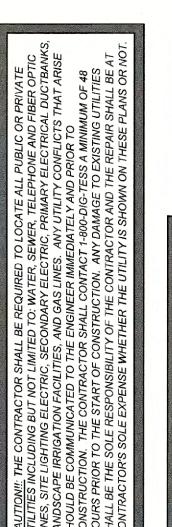


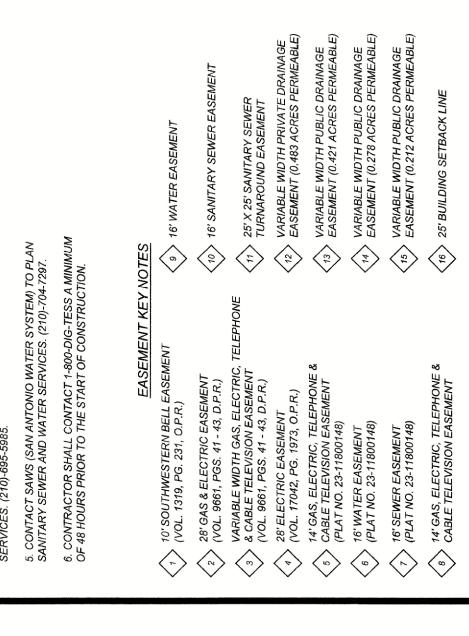












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14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

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(PLAT NO. 23-11800148)

WATER LINE -

COMPLY TCEQ REGULATION 30

TAC 290.44 (E) APPENDIX E & 30

TAC 217 53 (D) APPENDIX D -

 $\frac{INSTALL\ FIRE\ WATER\ SERVICE:}{1\sim12"\ X\ 8"\ TEE,\ M.J.}$ 

~ 12" GATE VALVE, M.J.

2 ~ 6" VALVE BOX. COMPLETI

SAWS STD. DWG DD-824-21

1 ~ 8" GATE VALVE, M.J.

(REF. SHEET C9.3)

8" DOUBLE CHECK

10' COPPER PIPE

SPECIFICATIONS

1 ~ 2" WATER METER

~ STANDARD METER BOX SAWS STD. DWG DD-824-01 (REF. SHEET C9.3)

1 ~ 2" DOMESTIC R/P BACKFLOW

PREVENTION DEVICE PER SAWS'

DETECTOR ASSEMBLY IN

VAULT (REF. SHEET C9.3)

\* SEPARATION DISTANCE TO

SEPARATION DISTANCE.

# 11 25' X 25' SANITARY SEWER

TURNAROUND EASEMENT

\$\leq 9 \rightarrow 16' WATER EASEMENT\$

(10) 16' SANITARY SEWER EASEMENT

VARIABLE WIDTH PRIVATE DRAINAGE  $\stackrel{12}{>}$  EASEMENT (0.483 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE 214 EASEMENT (0.278 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE 215 EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

- FINISHED GROUND / PAVEMENT

WHERE SEWER PIPE CROSSES A WATER LINE, THE SEWER

SHALL BE 160 PSLAND MEET THE

REQUIREMENTS OF ASTM D2241

WITH ONE 20' JOINT CENTERED

1 ~ 2" PRESSURE REDUCING VALVE

SAWS STD. DWG. DD-833-01

(6) 1 ~ 1.5" IRRIGATION WATER METER

1 ~ STANDARD METER BOX

1 ~ 1 5" IRRIGATION DOUBLE CHECK

VALVE PER SAWS' SPECIFICATIONS

SAWS STD. DWG DD-824-01 (REF. SHEET C9.3)

(REF. SHEET C9.3)

10' COPPER PIPE

AT THE WATER CROSSING

(TOP OF GRADE)

/ SAŃITÁRÝ SÉWÉR LÍNÉ /

TYPICAL SANITARY SEWER / WATER CROSSING DETAIL

WATER TAP KEYED NOTES

10

### 13. A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWS CONSTRUCTION INSPECTION DIVISION WATER SECTION

BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.

1. PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS: THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY

SAWS CONSTRUCTION NOTES

EFFECTIVE JANUARY. 2022)

APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE PLANS, SPECIFICATIONS,

A. CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) "DESIGN CRITERIA FOR DOMESTIC

B. CURRENT TXDOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND

D. CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".

2. THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF

THE APPROVED COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP) FROM THE CONSULTANT AND

HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS

HTTP://WWW.SAWS.ORG/BUSINESS\_CENTER/SPECS. UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.

ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS. WORK

COMPLETED BY THE CONTRACTOR WITHOUT AN APPROVED COUNTER PERMIT AND/OR A GCP WILL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE EXPENSE OF THE CONTRACTORS AND/OR THE

4. THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT

UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY

TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING

STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE

ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES.

(210) 233-2973, ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS

5. LOCATION AND DEPTH OF EXISTING UTILITIES AND SERVICE LATERALS SHOWN ON THE PLANS ARE

6. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FENCES, CURBS, STREETS,

DRIVEWAYS, SIDEWALKS, LANDSCAPING AND STRUCTURES TO ITS ORIGINAL OR BETTER CONDITION IF

8. ALL WORK IN TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) AND/OR BEXAR COUNTY RIGHT-OF-WAY

9. THE CONTRACTOR SHALL COMPLY WITH CITY OF SAN ANTONIO OR OTHER GOVERNING MUNICIPALITY'S TREE

10. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST

11. HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED

ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE

12. COMPACTION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTION

REQUIREMENTS ON ALL TRENCH BACKFILL AND FOR PAYING FOR THE TESTS PERFORMED BY A THIRD PARTY

SAWS INSPECTOR AND/OR THE TEST ADMINISTRATOR. PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET

AT A MINIMUM. THIS PROJECT WILL NOT BE ACCEPTED AND FINALIZED BY SAWS WITHOUT THIS REQUIREMENT

COMPACTION TESTS WILL BE DONE AT ONE LOCATION POINT RANDOMLY SELECTED. OR AS INDICATED BY THE

WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION

DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO

SHALL BE DONE IN ACCORDANCE WITH RESPECTIVE CONSTRUCTION SPECIFICATIONS AND PERMIT

THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAWS UTILITY LOCATES: HTTP://WWW.SAWS.ORG/SERVICE/LOCATES

DAMAGES ARE MADE AS A RESULT OF THE PROJECT'S CONSTRUCTION.

HOLIDAYS. REQUEST SHOULD BE SENT TO CONSTWORKREQ@SAWS.ORG.

TEXAS STATE WIDE ONE CALL LOCATOR 1-800-545-6005 OR 811

E. CURRENT CITY OF SAN ANTONIO "UTILITY EXCAVATION CRITERIA MANUAL" (UECM).

3. THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE,

COUNTER PERMIT AND GENERAL CONSTRUCTION PERMIT

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL BE

GENERAL CONDITIONS AND WITH THE FOLLOWING AS APPLICABLE:

DRINKING WATER", TAC TITLE 30 PART 1 CHAPTER 290.

AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.

CONSTRUCTION AT NO COST TO SAWS.

REQUIREMENTS.

CONSTWORKREQ@SAWS.ORG.

UNCOVERED FOR PROPER INSPECTION.

COSA DRAINAGE (210) 207-0724 OR (210) 207-6026

COSA TRAFFIC SIGNAL DAMAGES (210) 207-3951

ORDINANCES WHEN EXCAVATING NEAR TREES.

OBTAINING AN APPROVED FLOOD PLAIN PERMIT.

COSA TRAFFIC SIGNAL OPERATIONS (210) 206-8480

**GENERAL SECTION** 

CONSTRUCTION".

FOR WATER MAINS 12" OR HIGHER: SAWS EMERGENCY OPERATIONS CENTER (210) 233-2014

2. ASBESTOS CEMENT (AC) PIPE, ALSO KNOWN AS TRANSITE PIPE WHICH IS KNOWN TO CONTAIN ASBESTOS-CONTAINING MATERIAL (ACM), MAY BE LOCATED WITHIN THE PROJECT LIMITS. SPECIAL WASTE MANAGEMENT PROCEDURES AND HEALTH AND SAFETY REQUIREMENTS WILL BE APPLICABLE WHEN REMOVAL AND/OR DISTURBANCE OF THIS PIPE OCCURS. SUCH WORK IS TO BE MADE UNDER SPECIAL SPECIFICATION ITEM NO. 3000, "SPECIAL SPECIFICATION FOR HANDLING ASBESTOS CEMENT PIPE".

3. VALVE REMOVAL: WHERE THE CONTRACTOR IS TO ABANDON A WATER MAIN, THE CONTROL VALVE LOCATED ON THE ABANDONING BRANCH WILL BE REMOVED AND REPLACED WITH A CAP/PLUG. (NSPI)

4. SUITABLE ANCHORAGE/THRUST BLOCKING OR JOINT RESTRAINT SHALL BE PROVIDED AT ALL OF THE WASTEWATER SYSTEM", TEXAS ADMINISTRATIVE CODE (TAC) TITLE 30 PART 1 CHAPTER 217 AND "PUBLIC FOLLOWING MAIN LOCATIONS: DEAD ENDS, PLUGS, CAPS, TEES, CROSSES, VALVES, AND BENDS, IN ACCORDANCE WITH THE STANDARD DRAWINGS DD-839 SERIES AND ITEM NO. 839, IN THE SAWS STANDARD SPECIFICATIONS FOR CONSTRUCTION.

C. CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER 5. ALL VALVES SHALL READ "OPEN RIGHT".

> 6. PRVS REQUIRED: CONTRACTOR TO VERIFY THAT NO PORTION OF THE TRACT IS BELOW GROUND ELEVATION OF <u>1245</u> FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS BELOW <u>1245</u> FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO. NO DUAL SERVICES ALLOWED FOR ANY LOT(S) IF \*PRV IS/ARE REQUIRED FOR SUCH LOT(S), ONLY SINGLE SERVICE CONNECTIONS SHALL BE ALLOWED. \*NOTE: A PRESSURE REGULATOR IS ALSO KNOWN AS A PRESSURE REDUCING VALVE (PRV).

7. PIPE DISINFECTION WITH DRY HTH FOR PROJECTS LESS THAN 800 LINEAR FEET. (ITEM NO. 847.3): MAINS SHALL BE DISINFECTED WITH DRY HTH WHERE SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE INSPECTOR, AND SHALL NOT EXCEED A TOTAL LENGTH OF 800 FEET. THIS METHOD OF DISINFECTION WILL ALSO BE FOLLOWED FOR MAIN REPAIRS. THE CONTRACTOR SHALL UTILIZE ALL APPROPRIATE SAFETY MEASURE TO PROTECT HIS PERSONNEL DURING DISINFECTION OPERATIONS.

8. BACKFLOW PREVENTION DEVICES:

ALL IRRIGATION SERVICES WITHIN RESIDENTIAL AREAS ARE REQUIRED TO HAVE BACKFLOW PREVENTION

ALL COMMERCIAL BACKFLOW PREVENTION DEVICES MUST BE APPROVED BY SAWS PRIOR TO

9. FINAL CONNECTION TO THE EXISTING WATER MAIN SHALL NOT BE MADE UNTIL THE WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED, AND SAWS HAS RELEASED THE MAIN FOR TIE-IN AND USE.

10. DIVISION VALVES: DIVISION VALVES SHOWN ON PLANS OR NOT SHOWN ON PLANS BUT FOUND IN THE FIELD SHALL ONLY BE OPERATED BY SAWS DISTRIBUTION AND COLLECTION STAFF AND ONLY WITH PRIOR WRITTEN APPROVAL OF THE SAWS DIRECTOR OF PRODUCTION AND OPERATIONS AND PROPER COORDINATION WITH ALL SAWS DEPARTMENTS. CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO THE INSPECTOR A MINIMUM OF TWO WEEKS IN ADVANCE TO START THE COORDINATION PROCESS AND WILL BE INFORMED BY THE INSPECTOR WHEN THE DIVISION VALVE WILL BE OPERATED BY THE SAWS DISTRIBUTION AND COLLECTION STAFF. THE DIVISION VALVE CAN ONLY BE OPERATED BY SAWS DISTRIBUTION AND COLLECTION STAFF MEMBER NOT THE INSPECTOR OR THE CONTRACTOR OPERATION OF A DIVISION VALVE WITHOUT THE EXPRESS PRIOR WRITTEN APPROVAL OF THE SAWS DISTRIBUTION AND COLLECTION STAFF WILL CONSTITUTE A MATERIAL BREACH OF ANY WRITTEN SAWS CONTRACT OR PERMIT IN ADDITION TO SUBJECTING THE CONTRACTOR TO LIABILITY FOR ANY AND ALL FINES, FEES, OR OTHER DAMAGES, DIRECT OR CONSEQUENTIAL, THAT MAY ARISE FROM OR BE CAUSED BY THE OPERATION OF THE VALVE WITHOUT PRIOR WRITTEN PERMISSION. PLEASE BE INFORMED THAT THE APPROVAL OF THE OPERATION OR OPENING OR CLOSING OF A DIVISION VALVE CAN TAKE SEVERAL WEEKS FOR APPROVAL. DIVISION VALVES WILL ALSO HAVE A VALVE LID LABELED DIVISION VALVE AND A LOCKING MECHANISM INSTALLED WITH A KEY. THE LOCK AND KEY MECHANISM WILL BE PAID FOR BY THE CONTRACTOR BUT WILL BE INSTALLED BY SAWS DISTRIBUTION AND COLLECTION STAFF.

#### **SEWER NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SANITARY SEWER OVERFLOW (SSO) OCCURS AS A RESULT OF THEIR WORK. ALL CONTRACTOR PERSONNEL RESPONSIBLE FOR SSO PREVENTION AND CONTROL SHALL BE TRAINED ON PROPER RESPONSE. SHOULD AN SSO OCCUR, THE CONTRACTOR SHALL:

A. IDENTIFY THE SOURCE OF THE SSO AND NOTIFY SAWS EMERGENCY OPERATIONS CENTER (EOC) IMMEDIATELY AT (210) 233-2014. PROVIDE THE ADDRESS OF THE SPILL AND AN ESTIMATED VOLUME OR B. ATTEMPT TO ELIMINATE THE SOURCE OF THE SSO.

C. CONTAIN SEWAGE FROM THE SSO TO THE EXTENT OF PREVENTING A POSSIBLE CONTAMINATION OF WATERWAYS D. CLEAN UP SPILL SITE (RETURN CONTAINED SEWAGE TO THE COLLECTION SYSTEM IF POSSIBLE) AND

PROPERLY DISPOSE OF CONTAMINATED SOIL/MATERIALS. E. CLEAN THE AFFECTED SEWER MAINS AND REMOVE ANY DEBRIS. F. MEET ALL POST-SSO REQUIREMENTS AS PER THE EPA CONSENT DECREE. INCLUDING LINE CLEANING AND

SHOULD THE CONTRACTOR FAIL TO ADDRESS AN SSO IMMEDIATELY AND TO SAWS SATISFACTION, THEY WILL BE RESPONSIBLE FOR ALL COSTS INCURRED BY SAWS, INCLUDING ANY FINES FROM EPA, TCEQ AND/OR ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES.

NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE FOR THIS WORK. ALL WORK SHALL BE DONE ACCORDING TO GUIDELINES SET BY THE TCEQ AND SAWS.

TELEVISING THE AFFECTED SEWER MAINS (AT SAWS DIRECTION) WITHIN 24 HOURS.

2. IF BYPASS PUMPING IS REQUIRED, THE CONTRACTOR SHALL PERFORM SUCH WORK IN ACCORDANCE WITH SAWS STANDARD SPECIFICATION FOR WATER AND SANITARY SEWER CONSTRUCTION, ITEM NO. 864, "BYPASS

3. PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING FORCE MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-2973 AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS; THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.

4. SEWER PIPE WHERE WATER LINE CROSSES SHALL BE 160 PSI AND MEET THE REQUIREMENTS OF ASTM D2241 TAC 217.53 AND TCEQ 290.44(E)(4)(B). CONTRACTOR SHALL CENTER A 20' JOINT OF 160 PSI PRESSURE RATED PVC AT THE PROPOSED WATER CROSSING.

5. ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ALLOWANCES AND ADJUSTMENTS FOR TOP OF MANHOLES TO MATCH THE FINISHED GRADE OF THE PROJECT'S IMPROVEMENTS. (NSPI)

6. SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER: ALL SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER, RECYCLED WATER, PETROLEUM PRODUCTS, OR CHEMICALS MUST BE REPORTED IMMEDIATELY TO THE SAWS INSPECTOR ASSIGNED TO THE COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP). THIS REQUIREMENT APPLIES TO EVERY SPILL, OVERFLOW, OR DISCHARGE REGARDLESS OF

7. MANHOLE AND ALL PIPE TESTING (INCLUDING THE TV INSPECTION) MUST BE PERFORMED AND PASSED PRIOR TO FINAL FIELD ACCEPTANCE BY SAWS CONSTRUCTION INSPECTION DIVISION, AS PER THE SAWS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.

8. ALL PVC PIPE OVER 14 FEET OF COVER SHALL BE EXTRA STRENGTH WITH MINIMUM PIPE STIFFNESS OF 115

#### **UTILITY GENERAL NOTES:**

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL CONFORM TO ALL USED CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), SAWS SPECIFICATIONS (LATEST EDITION), CITY BUILDING CODE AND REGULATIONS AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS USED TO THE PROJECT AND REQUIREMENTS OF THE FIRE DEPARTMENT. SANITARY SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS AS WELL AS TCEQ RULES (TAC 210 AND TAC 317).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.

3. THE DOMESTIC WATER LINE SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH SAWS REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE SAWS FOR PERMITTING, INSPECTION, AND CONSTRUCTION

4. ALL UTILITY CONNECTIONS TO BUILDING SHALL BE COORDINATED WITH MECHANICAL AND ELECTRIC PLANS. FOR INFORMATION ON GAS, ELECTRIC, AND TELEPHONE UTILITIES, SEE THE MECHANICAL AND ELECTRIC

5. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING CONTROL DEVICES USED OR REQUIRED TO COMPLETE THE WORK.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGES DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEM).

CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS

8. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ALLOWED OR ACCEPTED.

9. ALL BACKFILL MUST BE COMPACTED IN 12-INCH LIFTS. NO WATER JETTING IS ALLOWED.

10. SEWER PIPE IS SDR 26. WATER PIPE IS CLASS 200 PVC, UNLESS NOTED OTHERWISE.

11. THE CONSTRUCTION OF UNDERGROUND PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEMS SHALL BE GOVERNED BY THE ENGINEERING CONSTRUCTION PLANS PREPARED BY CITY PUBLIC SERVICE (CPS). THIS DRAWING SHALL SERVE ONLY AS REFERENCE DOCUMENT TO COORDINATE LOCATION OF THE PROPOSED PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEM. CPS ENERGY CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS SHALL GOVERN.

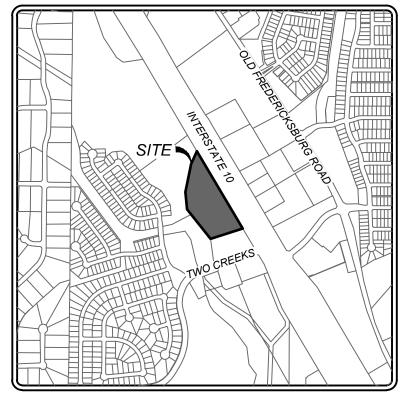
#### **EXISTING UTILITY NOTES:**

1. THIS UTILITY PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.

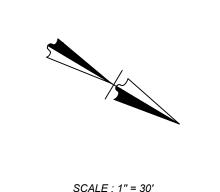
2. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION. (SEE COORDINATION NOTES ON THIS

3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.

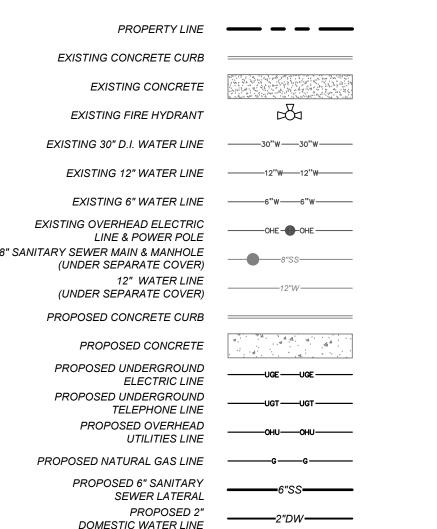
4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE



LOCATION MAP NOT-TO-SCALE





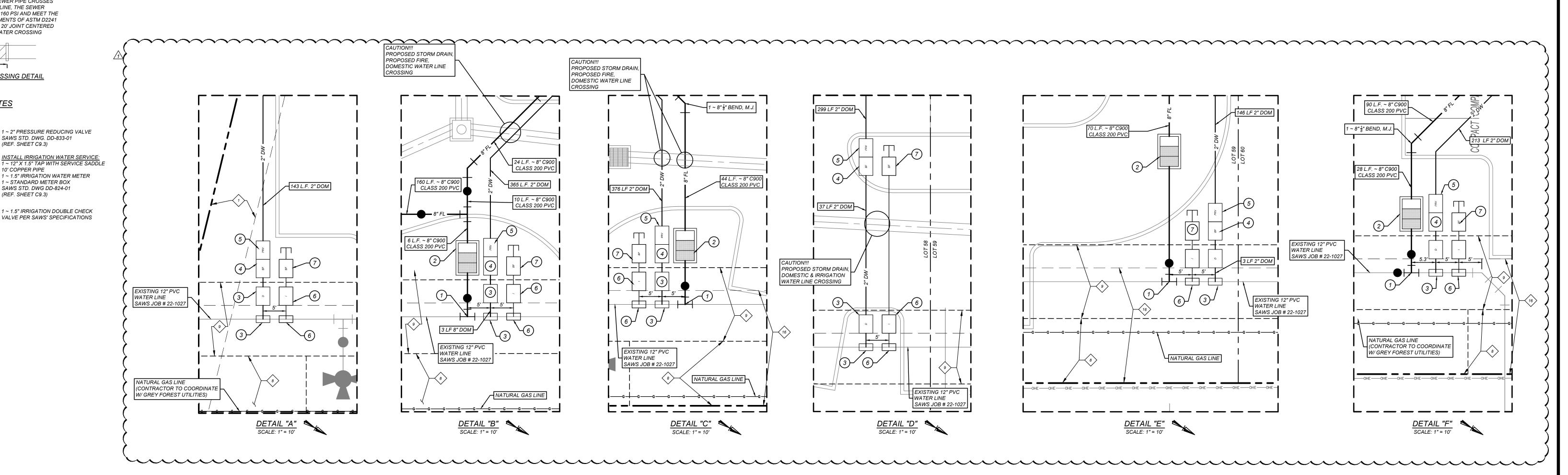


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PROPOSED 8" FIRE WATER LINE PROPOSED 6" FIRE WATER LINE

PROPOSED FIRE HYDRANT

PROPOSED LIGHT POLE



 $\infty$ 

JUSTIN M. WARREN

58.

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.V

SHEET NUMBER:

C6.2

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGAL DESCRIPTION

EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

#### **COORDINATION NOTE:**

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

#### 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

#### EASEMENT KEY NOTES

10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT
- <sup>2</sup>/ (VOL. 9661, PGS. 41 43, D.P.R.) VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE
- √ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- <sup>4</sup> (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE & S CABLE TELEVISION EASEMENT
- ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT
- (PLAT NO. 23-11800148) 16' SEWER EASEMENT
- (PLAT NO. 23-11800148) 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

- √ 9 → 16' WATER EASEMENT (10) 16' SANITARY SEWER EASEMENT
- $\langle 11 \rangle$  25' X 25' SANITARY SEWER 3 > & CABLE TELEVISION EASEMENT
  - TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE  $\stackrel{12}{>}$  EASEMENT (0.483 ACRES PERMEABLE)
    - ∨ VARIABLE WIDTH PUBLIC DRAINAGE (13) EASEMENT (0.421 ACRES PERMEABLE)
    - VARIABLE WIDTH PUBLIC DRAINAGE (14) EASEMENT (0.278 ACRES PERMEABLE) VARIABLE WIDTH PUBLIC DRAINAGE

215 EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

# 1. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS

PRIOR TO THE START OF CONSTRUCTION. 2. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED

SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL

SUBTRACT THICKNESS OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO

POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS

ACHIEVE SUBGRADE ELEVATION.

- NOT TO ALLOW ANY PONDING OF WATER. 4. NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
- 5. CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ± ONE-TENTH (0.10) FOOT.
- 6. ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
- 7. UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S

RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

- 8. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO CITY OF SAN ANTONIO AND BEXAR COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS. UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
- 10. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- 12. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT. PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS. TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- 14. ALL EXCAVATION IS UNCLASSIFIED.
- 15. ALL BACKFILL MUST BE IN COMPACTED 12 INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- 16. ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.

#### 17. SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.

- 18. ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS
- ENCOUNTERED SHOULD ALSO BE REMOVED. REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION GUIDELINES.
- 20. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN. TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING
- PRESERVED ON PROPERTY. MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION, CROSS SLOPES ON SIDEWALKS AND FLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%. SLOPE ALONG THE LENGTH OF

SIDEWALKS SHALL NOT EXCEED 5%.

EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

#### **EXISTING UTILITY NOTES:**

#### THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND

- PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND
- FACILITIES PRIOR TO EXCAVATION. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS
- OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE
- APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

#### **TREE PROTECTION NOTES:**

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING
- CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY

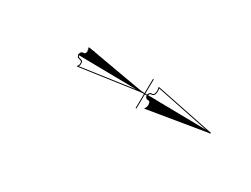
#### AND OAK WOUNDS PAINTED WITHIN 30 MINUTES. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET

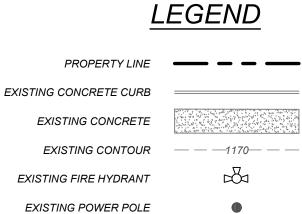
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE
- ROOT PROTECTION ZONE. 6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT
- 7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS
- SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION. 8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- 9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- 10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL



LOCATION MAP NOT-TO-SCALE





PROPOSED CONCRETE CURB PROPOSED CONCRETE PROPOSED HIGHPOINT — HIGH — —

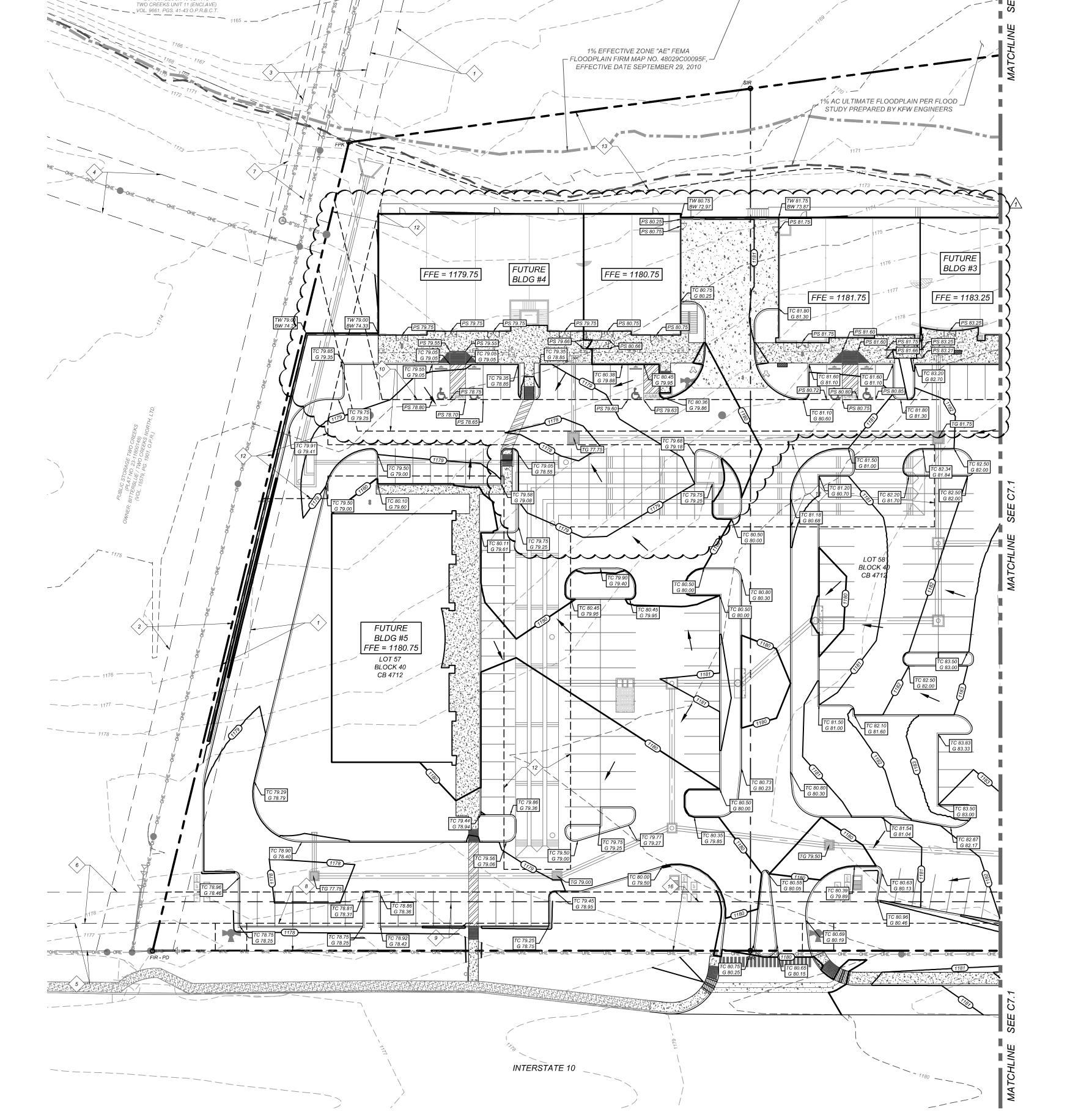
PROPOSED SPOT GRADE (TOP BOTTOM OF WALL) PROPOSED SPOT GRADE (TOP OF CURB & GUTTER) PROPOSED SPOT GRADE PS 85.00





PLAT NO. LAND-PLAT-21-11800516

DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.V. SHEET NUMBER:



THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES. AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGAL DESCRIPTION EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-244-0500.

#### 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

#### EASEMENT KEY NOTES

√ 9 → 16' WATER EASEMENT

(10) 16' SANITARY SEWER EASEMENT

TURNAROUND EASEMENT

VARIABLE WIDTH PRIVATE DRAINAGE (0.483 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE

VARIABLE WIDTH PUBLIC DRAINAGE

214 EASEMENT (0.278 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE

VARIABLE WID IT FODE SOUTH TO SEE SERVICE SOUTH TO SEE SERVICE SERVICE

(16) 25' BUILDING SETBACK LINE

EASEMENT (0.421 ACRES PERMEABLE)

 $\langle 11 \rangle$  25' X 25' SANITARY SEWER

10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE 3 > & CABLE TELEVISION EASEMENT ✓ (VOL. 9661, PGS. 41 - 43, D.P.R.)
- 28' ELECTRIC EASEMENT <sup>4</sup> (VOL. 17042, PG. 1973, O.P.R.)
- 14' GAS, ELECTRIC, TELEPHONE & S CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148)
- 16' WATER EASEMENT (PLAT NO. 23-11800148)
- 16' SEWER EASEMENT (PLAT NO. 23-11800148)
- 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

- 1. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL

SUBTRACT THICKNESS OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO

POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.

ACHIEVE SUBGRADE ELEVATION.

- 4. NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
- 5. CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ± ONE-TENTH (0.10) FOOT.
- 6. ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
- 7. UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S

RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

8. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO CITY OF SAN ANTONIO AND BEXAR COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. 9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR

BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS.

UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO

- SEPARATE PAY ITEM). 10. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR
- MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- 12. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS. TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.

LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF

- 14. ALL EXCAVATION IS UNCLASSIFIED.
- 15. ALL BACKFILL MUST BE IN COMPACTED 12 INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- 16. ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.

#### 17. SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.

- 18. ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS
- ENCOUNTERED SHOULD ALSO BE REMOVED. REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION GUIDELINES.
- 20. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
- TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING PRESERVED ON PROPERTY.
- MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION, CROSS SLOPES ON SIDEWALKS AND FLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%.
- EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

#### **EXISTING UTILITY NOTES:**

#### THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.

- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR
- LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME

DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING

**TREE PROTECTION NOTES:** 

CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY

WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.

A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR

PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN

AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF

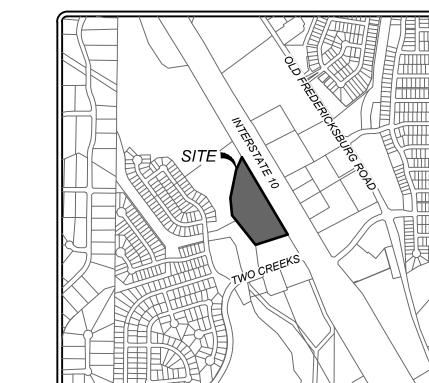
NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN

THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER

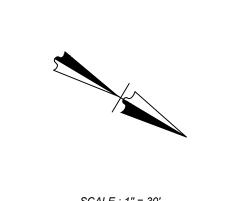
INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE

ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE

- AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY
- USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET
- NO EQUIPMENT. VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- 6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT
- 7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS
- SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION. 8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- 9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- 10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED



LOCATION MAP NOT-TO-SCALE



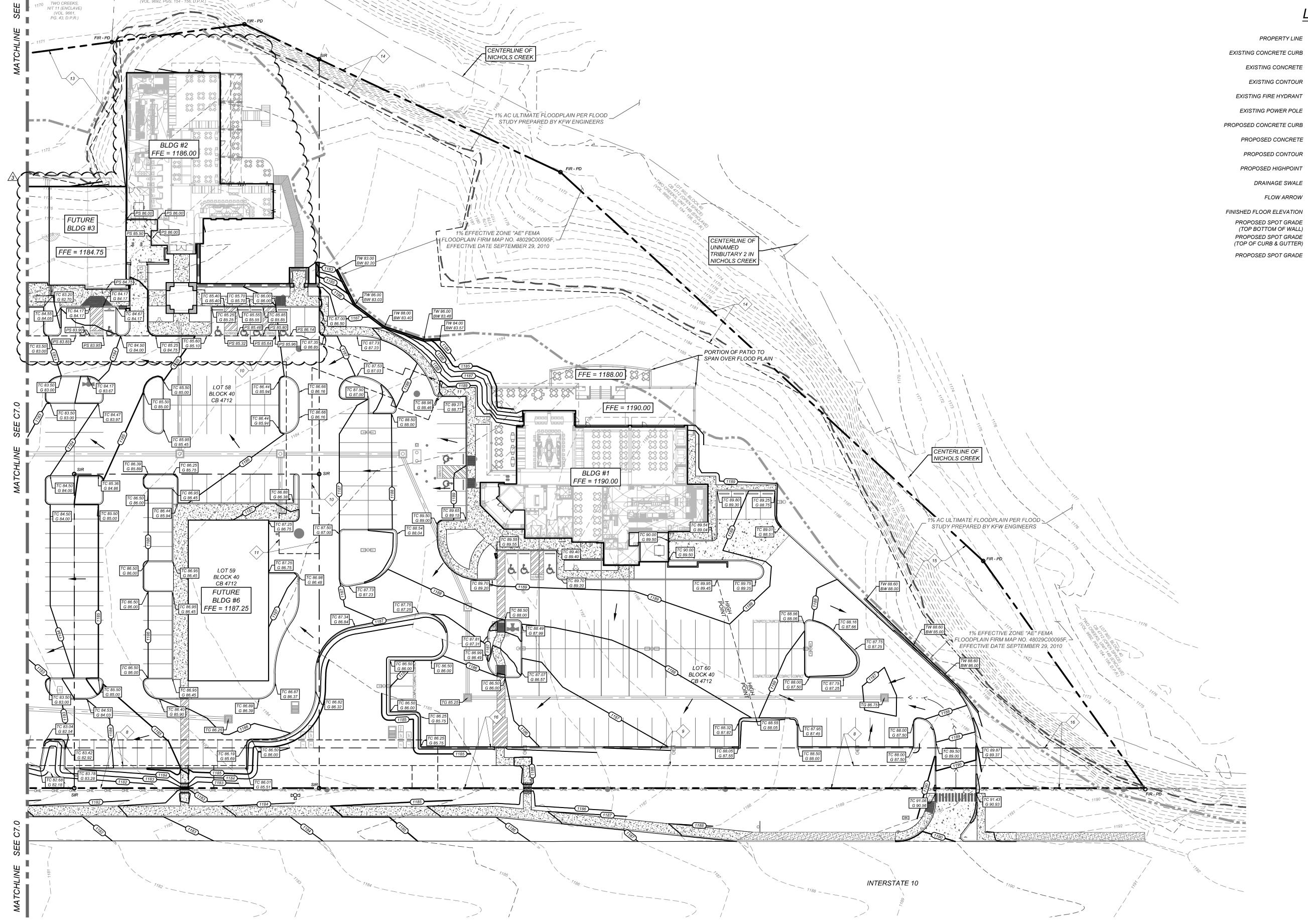


PROPERTY LINE ----EXISTING CONTOUR

PROPOSED CONCRETE PROPOSED HIGHPOINT — HIGH — — DRAINAGE SWALE ----> ---

PROPOSED SPOT GRADE PS 85.00

LEGEND JUSTIN M. WARREN — — —1170— — —



PLAT NO. LAND-PLAT-21-11800516

JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.V SHEET NUMBER:

CAUTION!!: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE ILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGAL DESCRIPTION IG LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

#### **COORDINATION NOTE:**

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#### 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

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#### EASEMENT KEY NOTES

√ 10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE > & CABLE TELEVISION EASEMENT
- / (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- / (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE &
- > CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT

/ (PLAT NO. 23-11800148)

- √ 16' SEWER EASEMENT
- (PLAT NO. 23-11800148) 14' GAS, ELECTRIC, TELEPHONE &

CABLE TELEVISION EASEMENT

√ 9 > 16' WATER EASEMENT

- (10) 16' SANITARY SEWER EASEMENT
  - 11 25' X 25' SANITARY SEWER TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE
  - $\stackrel{12}{>}$  EASEMENT (0.483 ACRES PERMEABLE) VARIABLE WIDTH PUBLIC DRAINAGE (0.421 ACRES PERMEABLE)
  - VARIABLE WIDTH PUBLIC DRAINAGE  $\stackrel{14}{>}$  EASEMENT (0.278 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE)

- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS
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- CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ±
- ONE-TENTH (0.10) FOOT. 6. ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
- 7. UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S
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RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO
- 10. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE

# 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL

- NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- 12. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT. PLACEMENT. OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS. APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- 14. ALL EXCAVATION IS UNCLASSIFIED.
- 15. ALL BACKFILL MUST BE IN COMPACTED 12 INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- 16. ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED. 17. SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.
- 18. ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS
- ENCOUNTERED SHOULD ALSO BE REMOVED. 19. REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND
- CONSTRUCTION GUIDELINES. 20. ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
- 21. TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING PRESERVED ON PROPERTY.
- 22. MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION. CROSS SLOPES ON SIDEWALKS AND FLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%.
- 23. EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

### **EXISTING UTILITY NOTES:**

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- PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

LOT 901 BLOCK 40 CB 4712

## STORM DRAIN GENERAL NOTES:

THE SITE BY THE CONTRACTOR AT HIS EXPENSE.

- 1. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH FINAL PLAN OR RECORD MEASUREMENTS, LOCATIONS, TOPS AND LENGTH OF SERVICE CONNECTIONS AND UNDERGROUND PIPING UPON COMPLETION OF CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO THE START OF CONSTRUCTION.

# 3. ALL GARBAGE OR SPOIL MATERIAL FROM THIS WORK SHALL BE REMOVED FROM

- 4. THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES. SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS. LANDSCAPE IRRIGATION FACILITIES. AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE
- WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT. 5. ALL ONSITE STORM DRAIN PIPES WILL BE PRIVATE AND NOT DEDICATED TO THE CITY OF SAN ANTONIO.
- 6. ALL STORM DRAIN PIPE SHALL BE HDPE N-12 PROLINK ULTRA HDPE PIPE (UNLESS NOTED OTHERWISE) WITH BELLED ENDS AND WITH RUBBER GASKETS. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS AUTHORIZED BY OWNER. 7. ALL LENGTHS OF PIPE ARE TO INSIDE FACE OF STRUCTURES.
- 8. CONTRACTOR SHALL ENSURE PROPER SIZE OF JUNCTION BOXES NEEDED WHERE INDICATED ON PLAN CONTRACTOR SHALL CONNECT STORM DRAIN PIPE TO JUNCTION BOXES PER MANUFACTURERS SPECIFICATIONS. SIZE OF GRATE INLETS ARE REFERENCED FOR PROPER SIZE OF GRATES AND DO NOT REFLECT SIZE OF PROPOSED JUNCTION BOXES ASSOCIATED WITH GRATE COVERS.

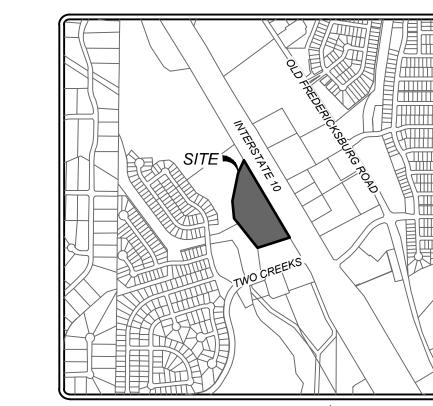
NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PIPE, MANHOLES, JUNCTION BOXES, ADA ACCESSIBLE TRENCH DRAINS, ETC. TO ENGINEER PRIOR TO ORDERING MATERIALS FOR CONSTRUCTION.

### **TREE PROTECTION NOTES:**

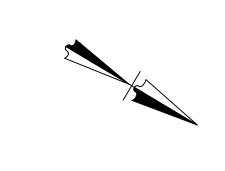
- 1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY
- AND OAK WOUNDS PAINTED WITHIN 30 MINUTES. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY
- USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE. 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED

TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

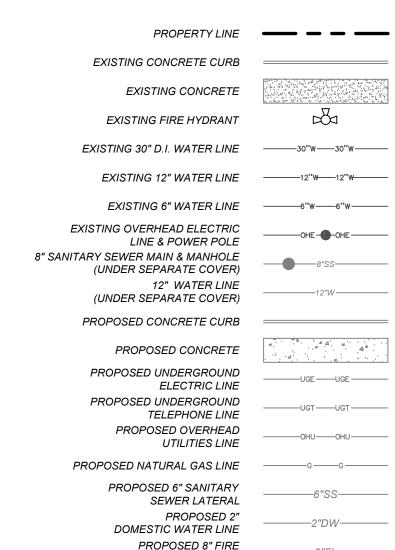


LOCATION MAP NOT-TO-SCALE





## LEGEND



JUSTIN M. WARREN

WATER LINE

PROPOSED 6" FIRE WATER LINE PROPOSED FIRE HYDRANT FINISHED FLOOR ELEVATION |FFE| = 1190.00

PROPOSED STORM DRAIN SYSTEM

PLAT NO. LAND-PLAT-21-11800516

JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.V. SHEET NUMBER:

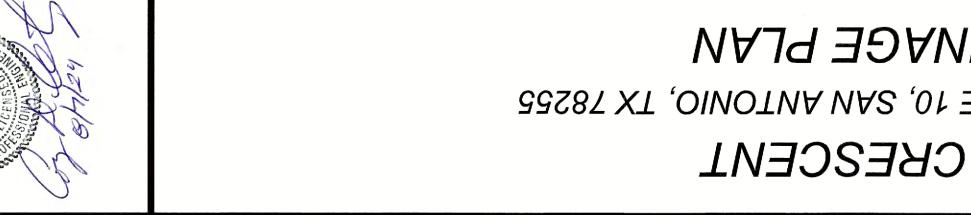
~ \* \* **~** \* \* **~** ~ \* \* **~** \* \* FLARE WING HEADWALL INV. IN (24") = 1169.50 ALL MARKET COS BLDG #3 FFE = 1180.75 | *FFE* = 1179.75 | BLDG #4 FFE = 1183.25 FFE = 1181.75 UTURE USE INV. OUT (24") = 1173.96 STORM WATER DETENTION SYSTEM FUTURE USE INV. OUT (24") = 1175.75 (REF. SHEET C8.3 FOR DETAILS PROPOSED STORM DRAIN & T.O.P. ELEV. = 1176.94 PROPOSED SANITARY INV (IN) =1170.94 INV. OUT = 1170.94 INV. ELEV. (72" CMP) = 1170.94 PROPOSED STORM DRAIN PROPOSED SANITARY SEWER LINE CROSSING ±181 L.F. ~ 30" . — — — HDPE @ 0.3% |-INV. IN(24") 1173.75 INV. OUT (30") = 1173.2 TOP = 1181.75 I**II** INV. IN(30") 1172.66 INV. IN(24") 1175.50 — — ┼||— ┼ — · HDPE @ 0.5% -|— ┼ — || 5' X 5' JUNCTION BOX TOP = 1181.90SPLITTER BOX WITH INTERNAL WEIR PROPOSED STORM INV. IN (30") = 1172.50 WEIR HEIGHT = 1175.22 DRAIN & PROPOSED INV. IN (30") = 1172.50 18" ORIFICE IN WEIR INV = 1170.22 ┤ INV. OUT (36") = 1172.00 ├ WATER LINE CROSS TOP = 1179.00 l INV. IN = 1170.32 INV. OUT = 1170.22 BLOCK 40 CB 4712 PROPOSED STORM 10' CURB INLET DRAIN & PROPOSED TOP = 1179.83 **√** INV. IN (36") = 1171.51 5' X 5' JUNCTION BOX INV. OUT (36") = 1171.5 TOP = 1181.00ROPOSED JFPD0816 WATER **INV. IN (36") = 1171.22** QUALITY TREATMENT UNIT *FUTURE* INV. IN (30") = 1171.72 (REF. SHEET C8.2 FOR DETAILS — HDPE @ 0.4% -BLDG #5 INV. OUT (36") = 1171.22 TOP ELEV. = 1180.60 FFE = 1180.75 5' X 5' JUNCTION BOX INV. IN ELEV. = 1171.15 TOP = 1182.32 INV. OUT ELEV. = 1171.05 INV. IN (36") = 1171.75 BLOCK 40 | INV. OUT (36") = 1171.75 CB 4712 ±30 L.F. ~ 36' HDPE @ 0.3% \_ HDPE @ 0.4% TOP = 1180.41 | INV. IN (36") = 1171.34 | INV. OUT (36") = 1171.34 HDPE @ 0.4% 4' X 4' JUNCTION BOX TOP = 1179.63 H INV. IN (30") = 1172.00 INV. IN (30") = 1172.00 INV. OUT (30") = 1172.00 4' X 4' GRATE INLET 10P = 1179.50INV. IN(30") 1172.75 FUTURE USE INV. OUT (30") = 1172.75 ±209 L.F. ~ 30 INV. OUT (24") = 1173.34 HDPE @ 3.5% 🗍 HDPE @ 0.4% PROPOSED STORM ±120 L.F. ~ 30" 4' X 4' GRATE INLET DRAIN & PROPOSED - + -+ - HDPE @ 0.4% - TOP = 1179.00 TOP = 1177.75 INV. IN(30") 1172.25 → INV. OUT (30") = 1172.25 H | INV. OUT (30") = 1172.75

> PROPOSED STORM DRAIN & PROPOSED

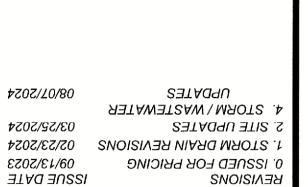
INTERSTATE 10

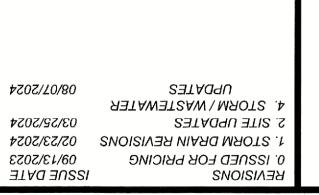
-30"W - 30"W -

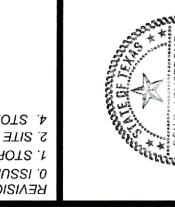
# DRAINAGE PLAN 25839 INTERSTATE 10, SAN ANTONIO, TX 78255 THE CRESCENT

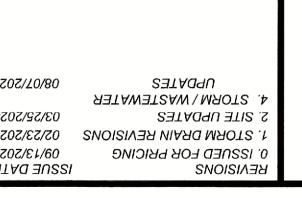


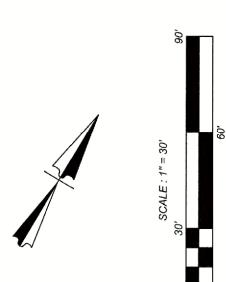


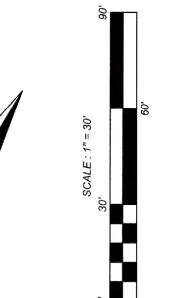


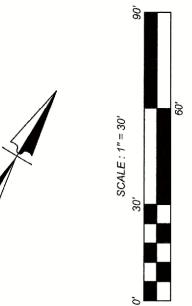


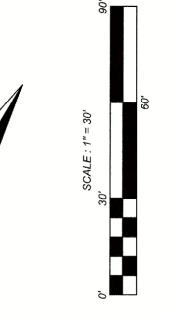


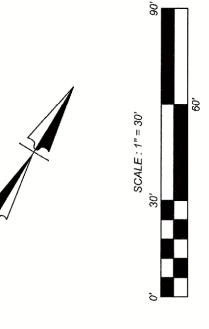


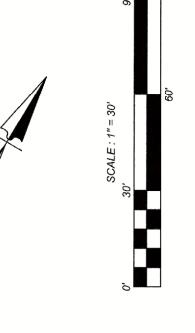


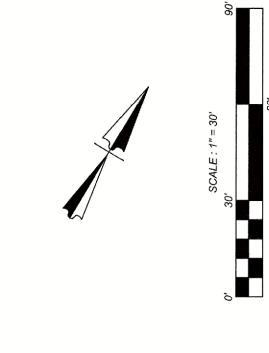


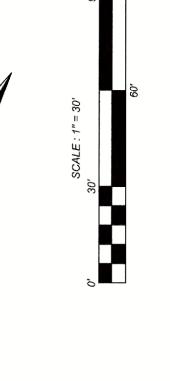


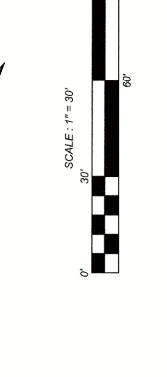


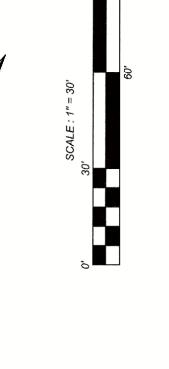


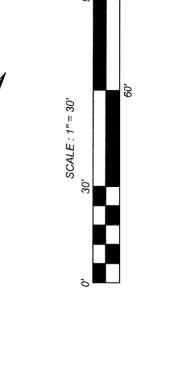


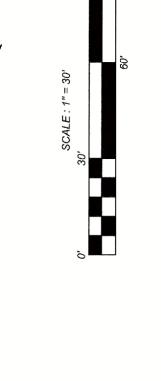


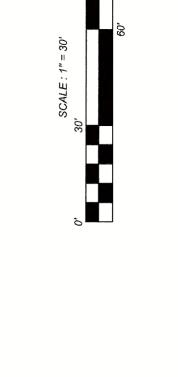


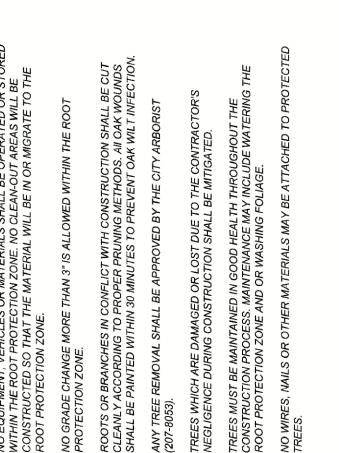


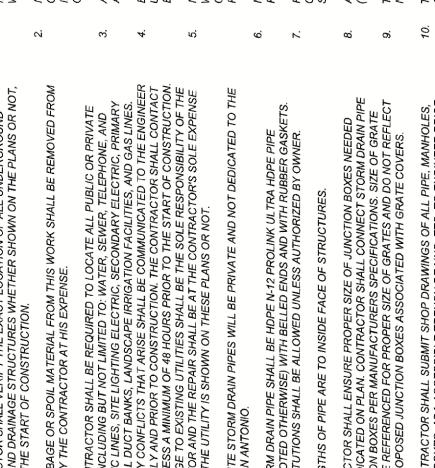


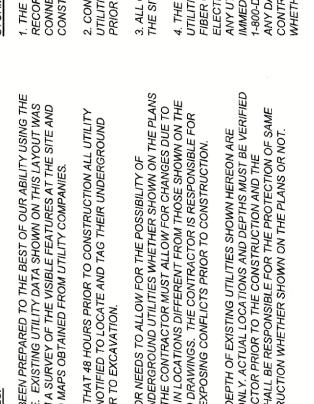




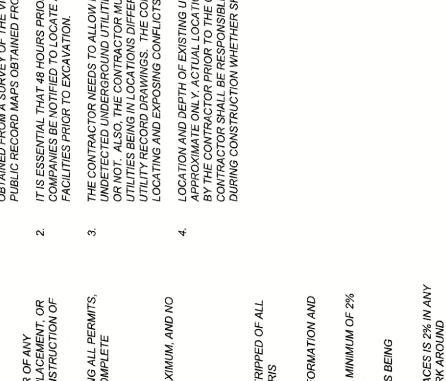


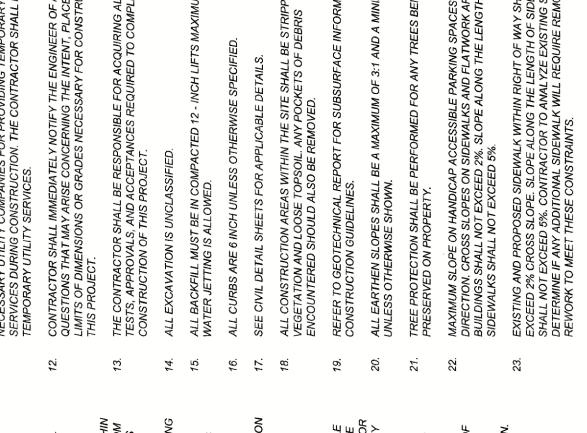


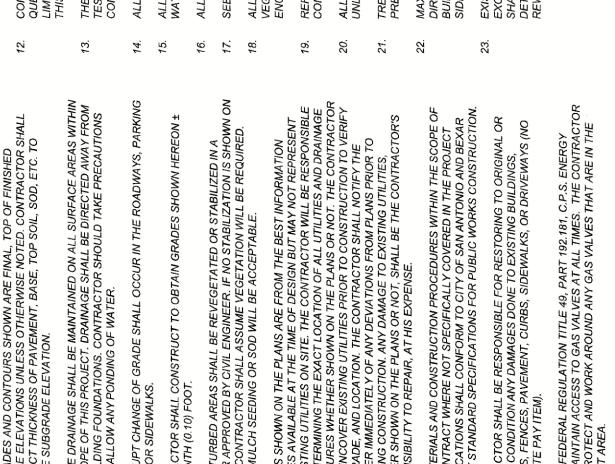


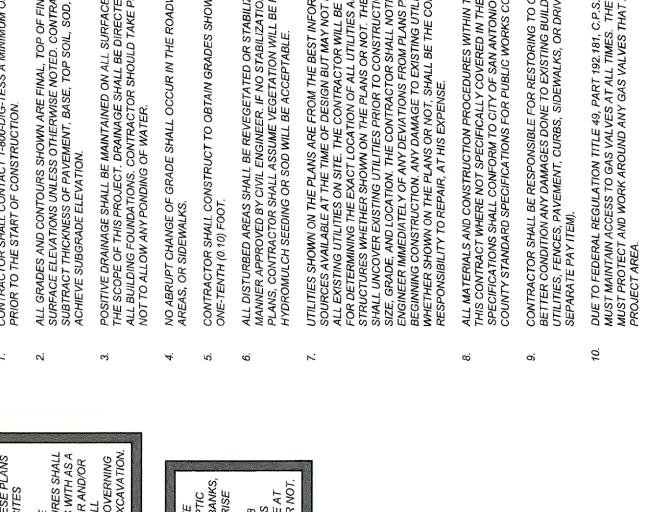


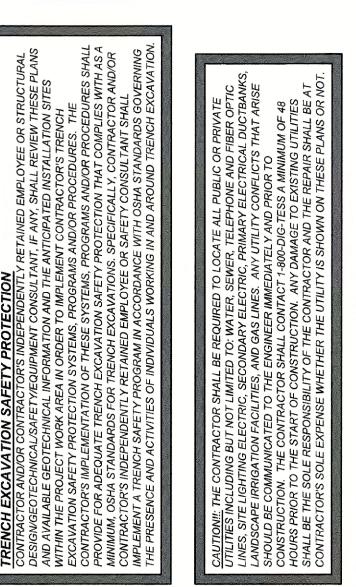
ENGINEERS + SURVEYING
has joined Colliers Engineering & Design
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-8444 • Fax #: (210) 979-8441
TPDE Firm #: 9643 • TPPI S Firm #: 10122300

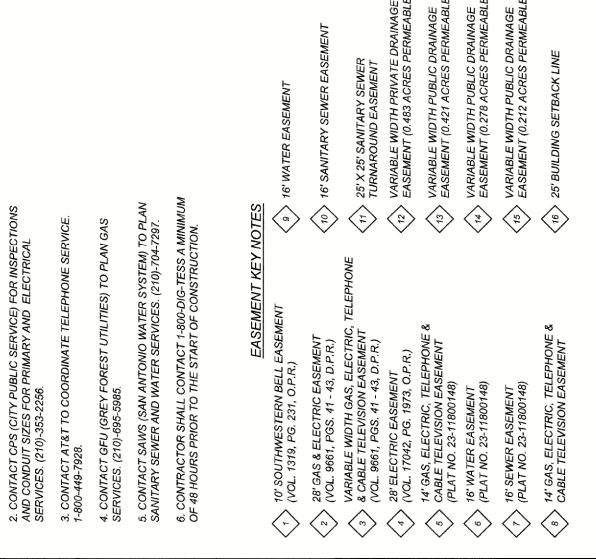


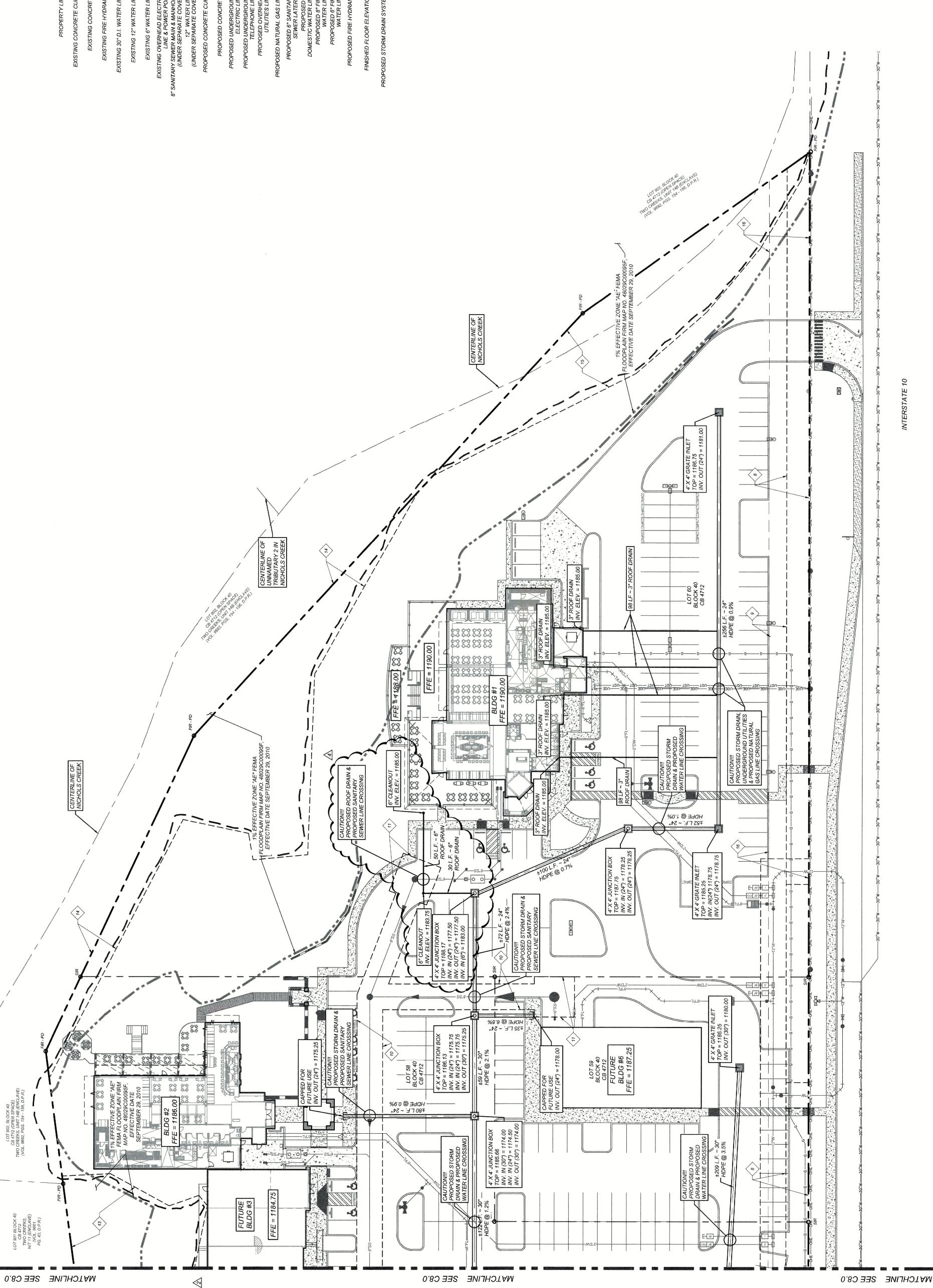






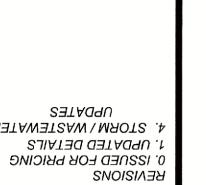


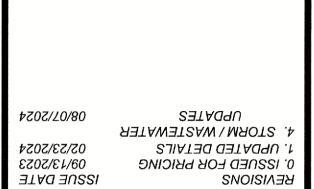


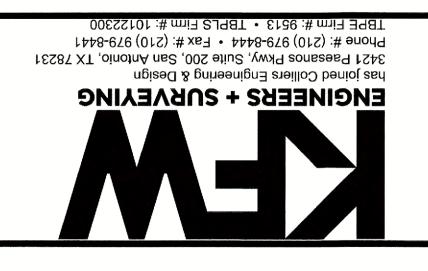


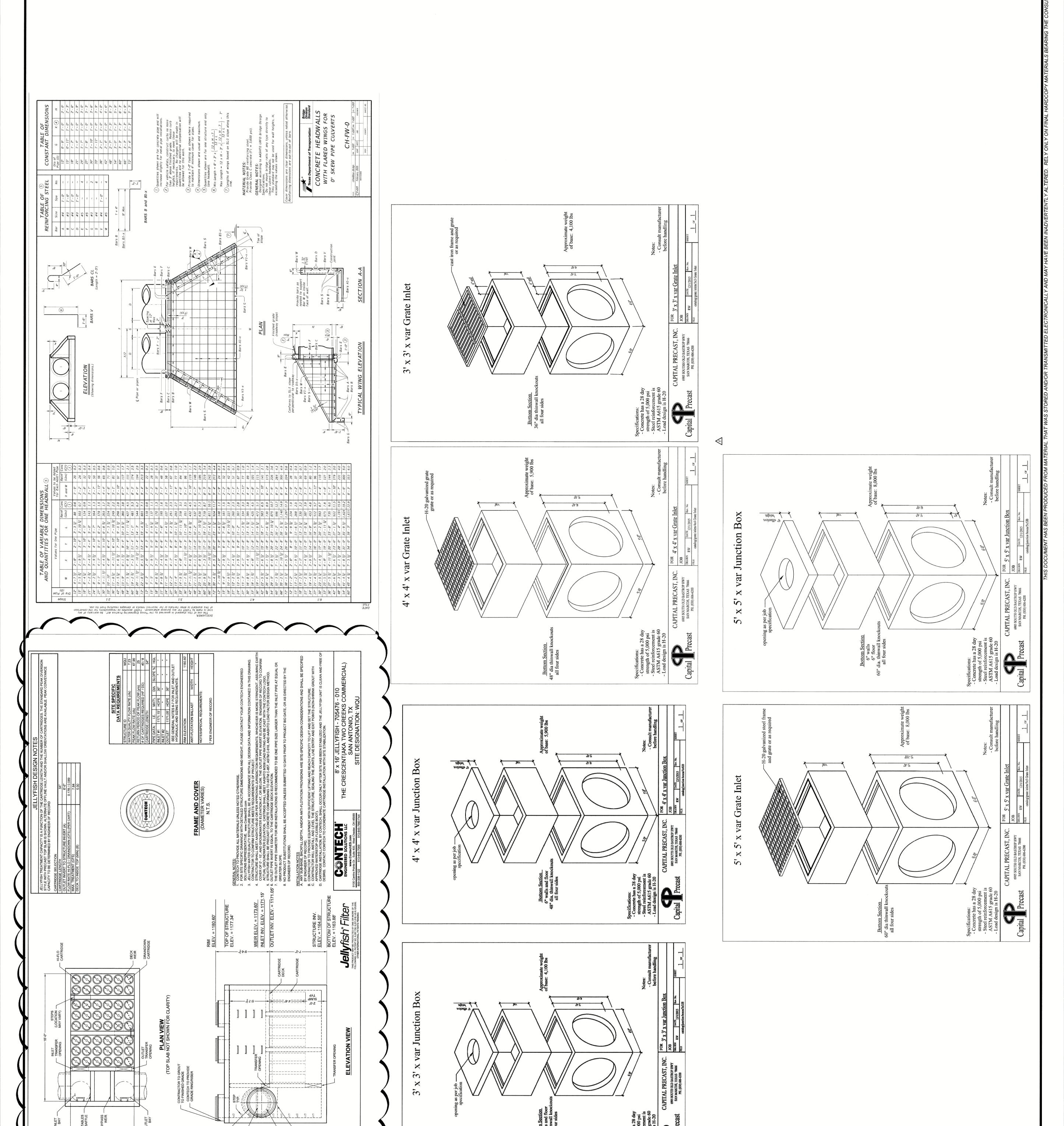
DRAINAGE DETAILS - SHEET 1 OF 2 25839 INTERSTATE 10, SAN ANTONIO, TX 78255 THE CRESCENT

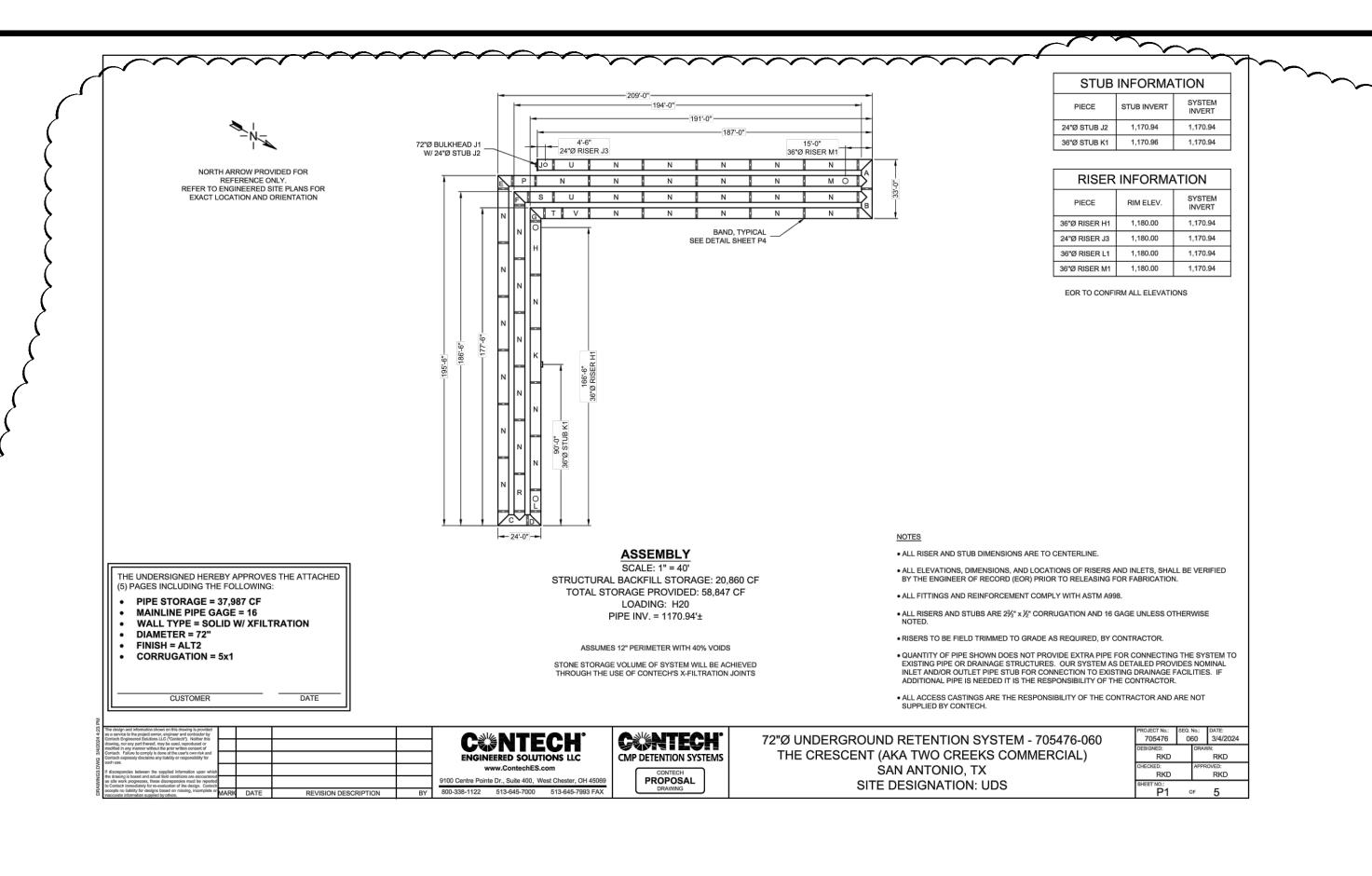


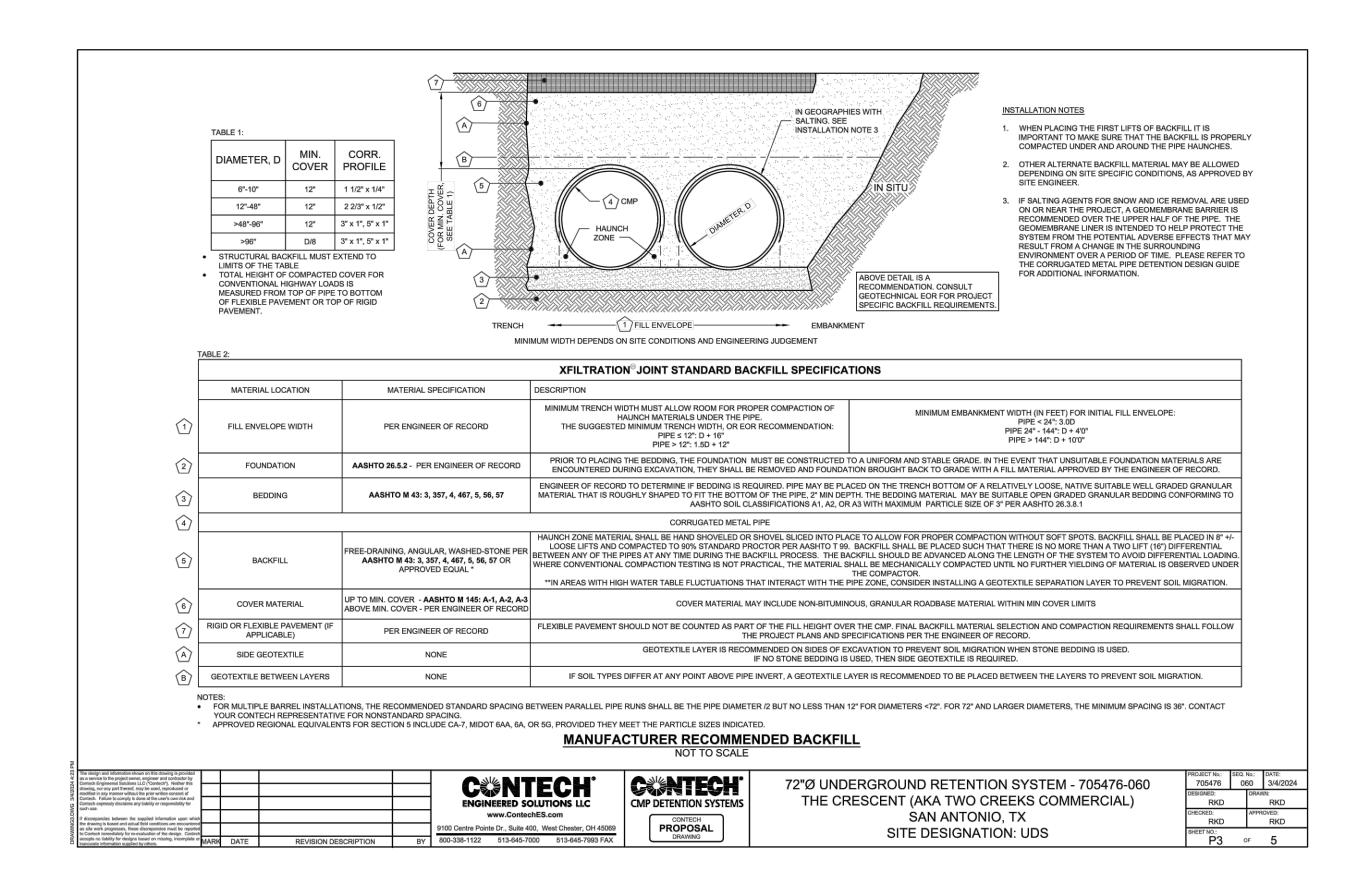


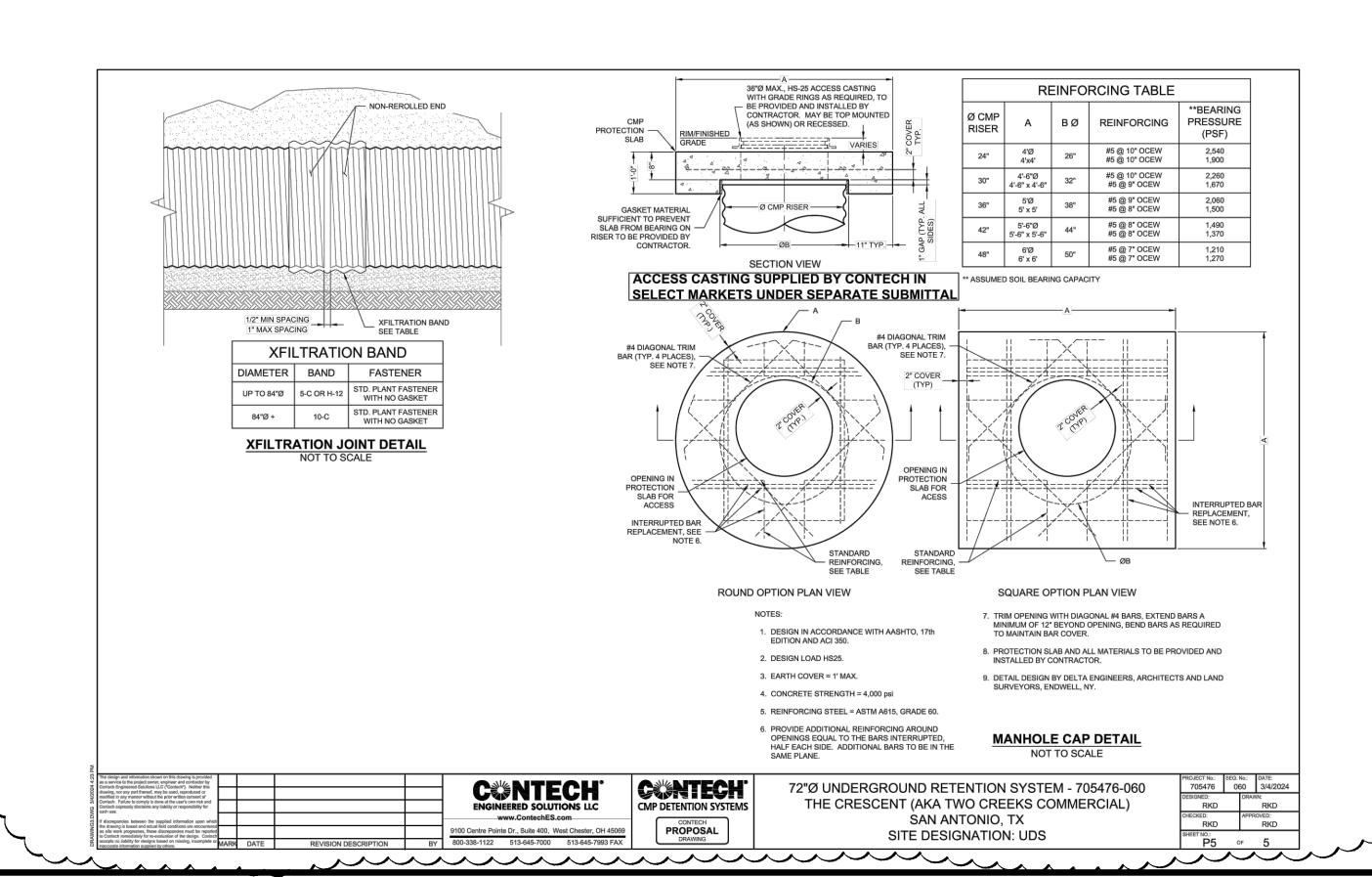


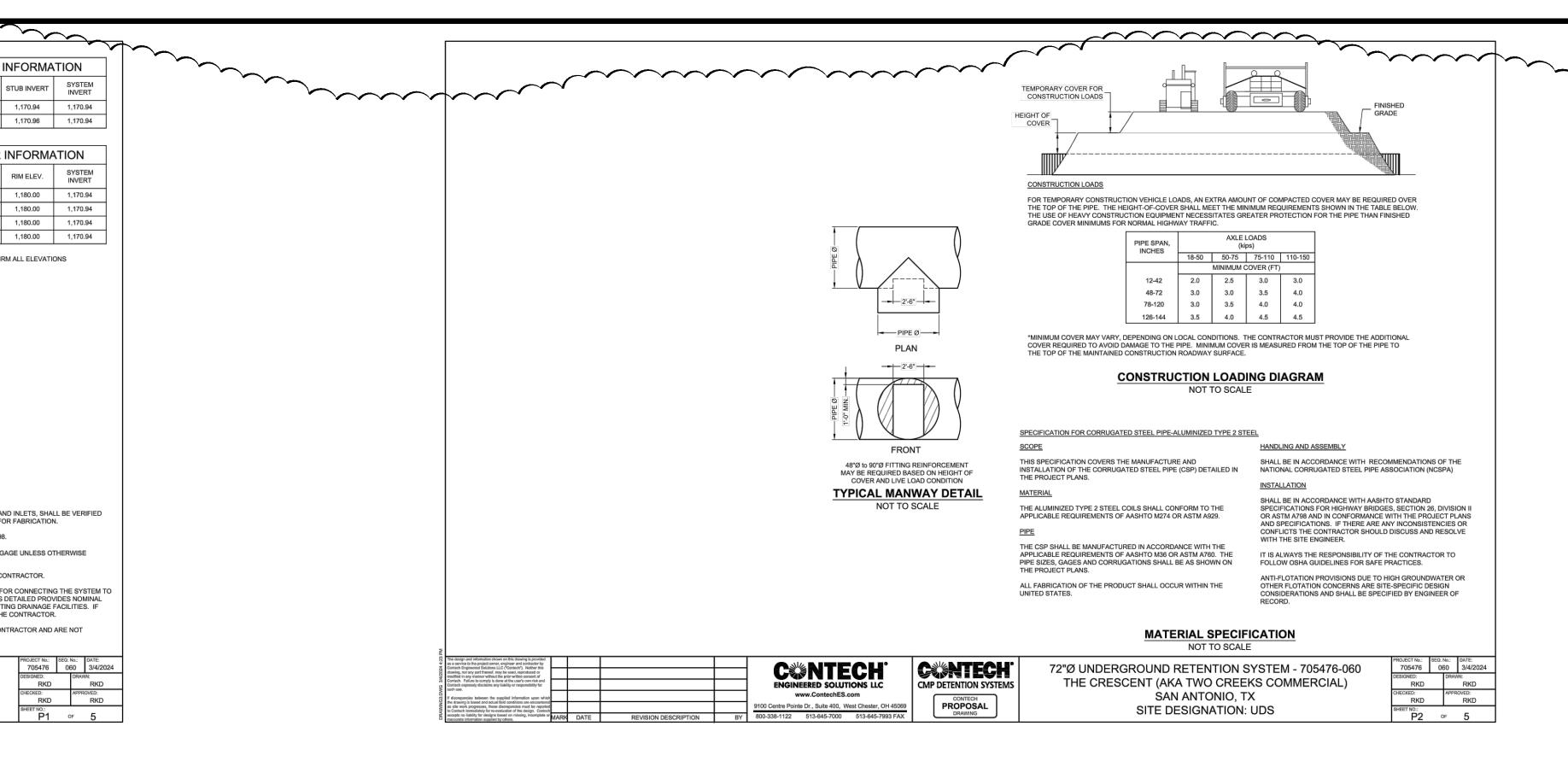


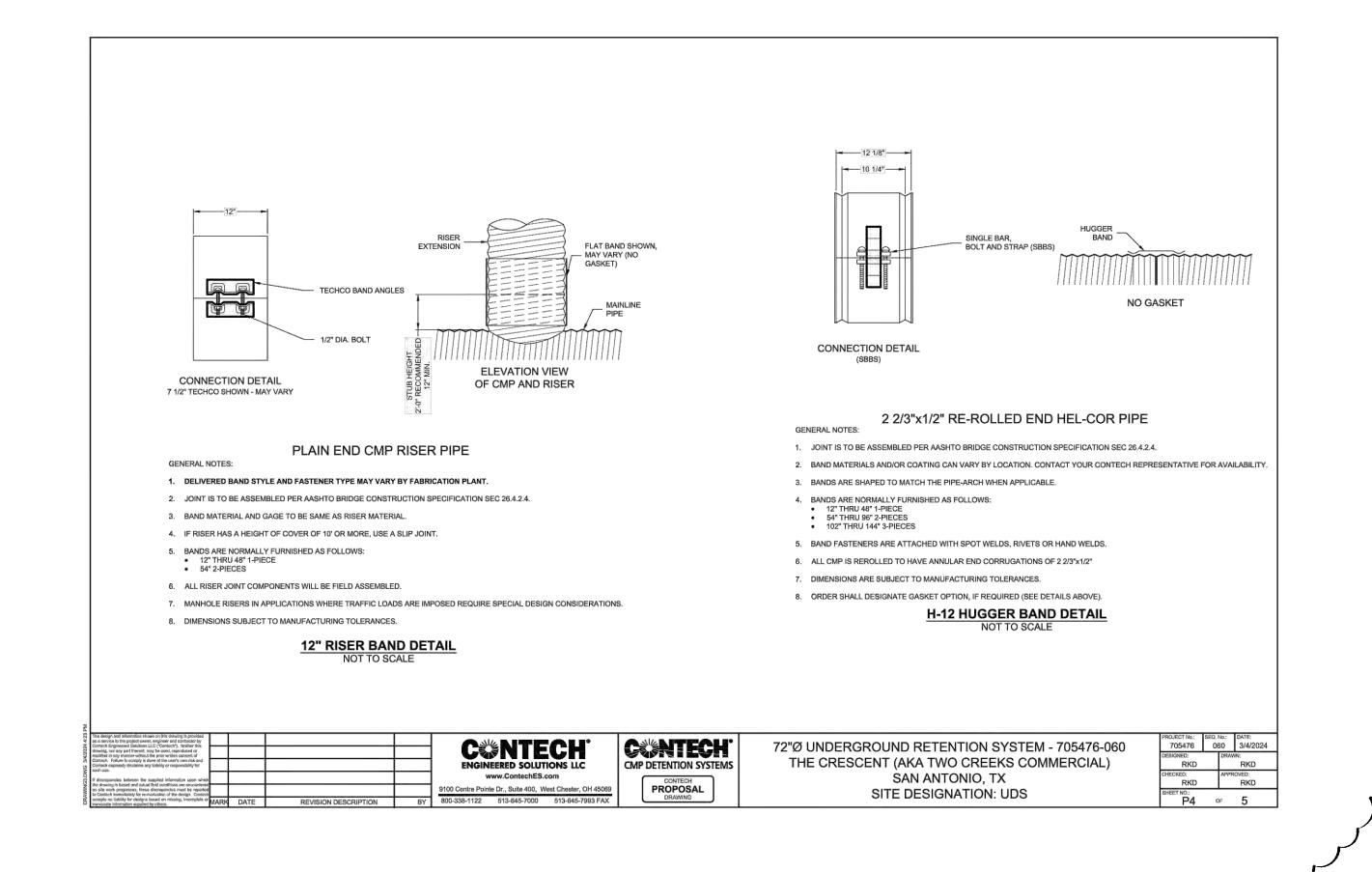












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IONS ISSUE DATE
JED FOR PRICING 09/13/2023
ISED DAINAGE DETAILS 03/06/2024

JUSTIN M. WARREN

3/26/

JUSTIN M. WARREN

839 INTERSTATE 10, SAN ANTONIO, TX

PLAT NO.
LAND-PLAT-21-11800516

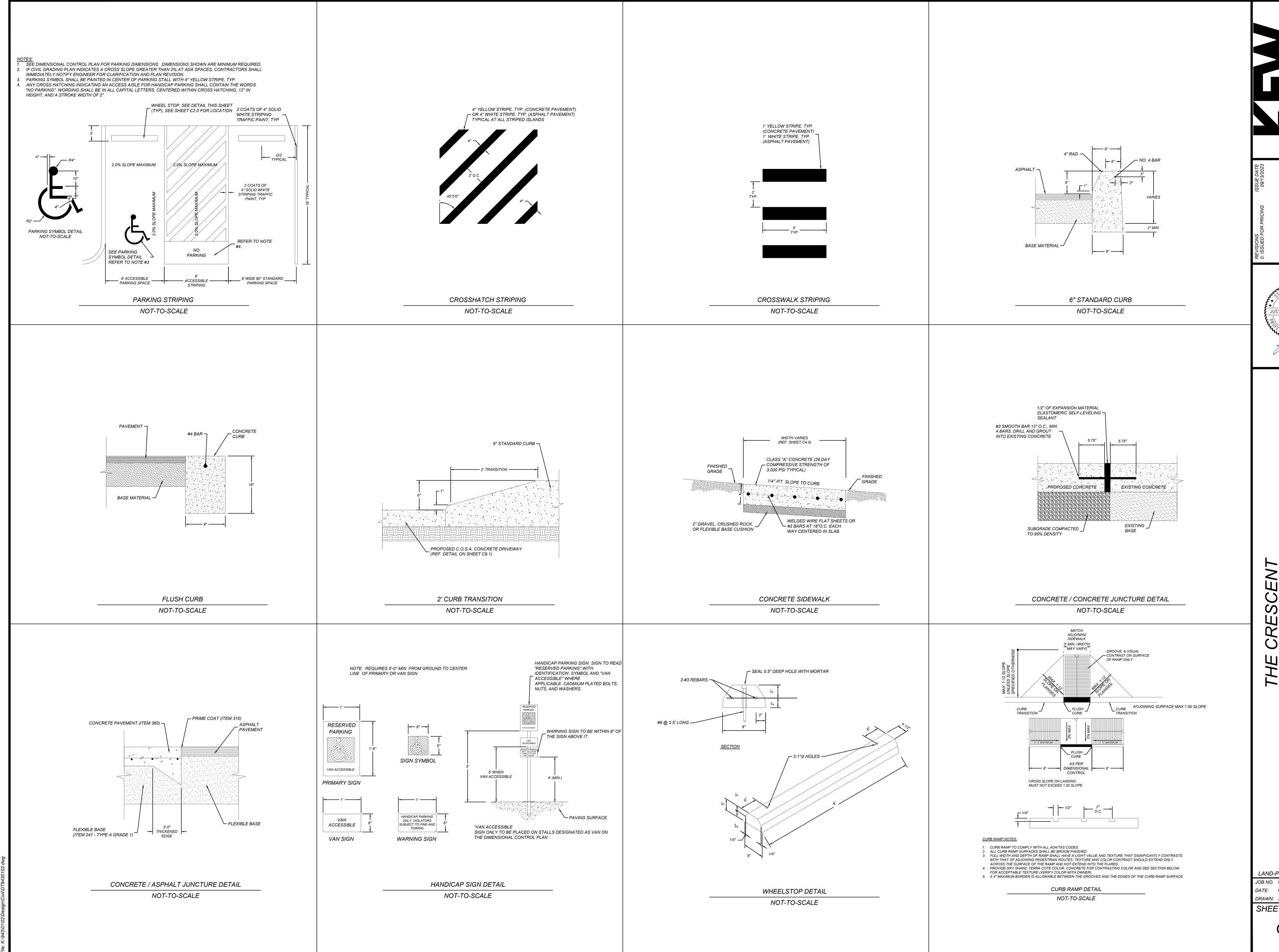
JOB NO. 943-01-02

DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

**C83** 



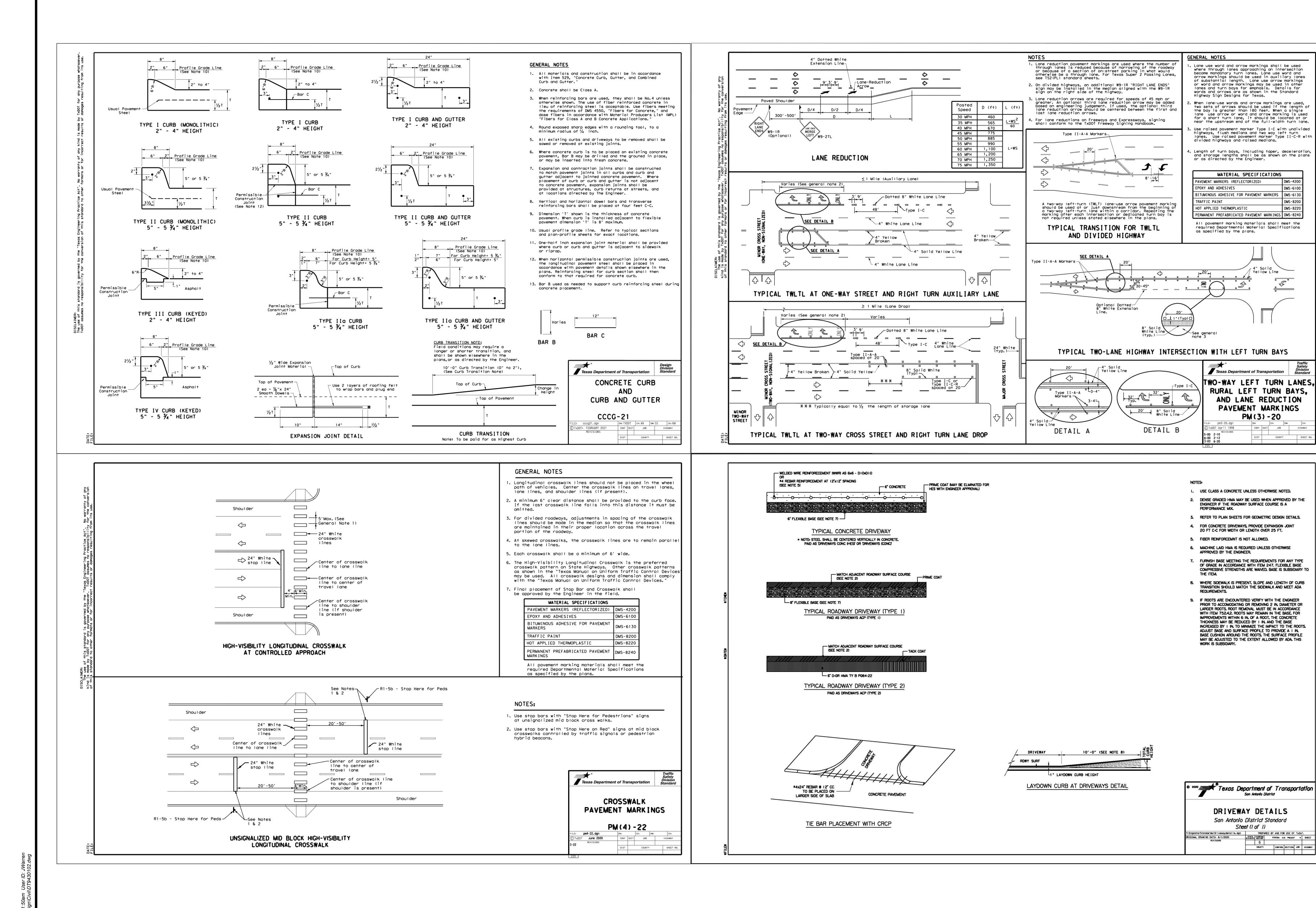
JUSTIN M. WARREN

78255

PLAT NO. LAND-PLAT-21-11800516

JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W SHEET NUMBER:

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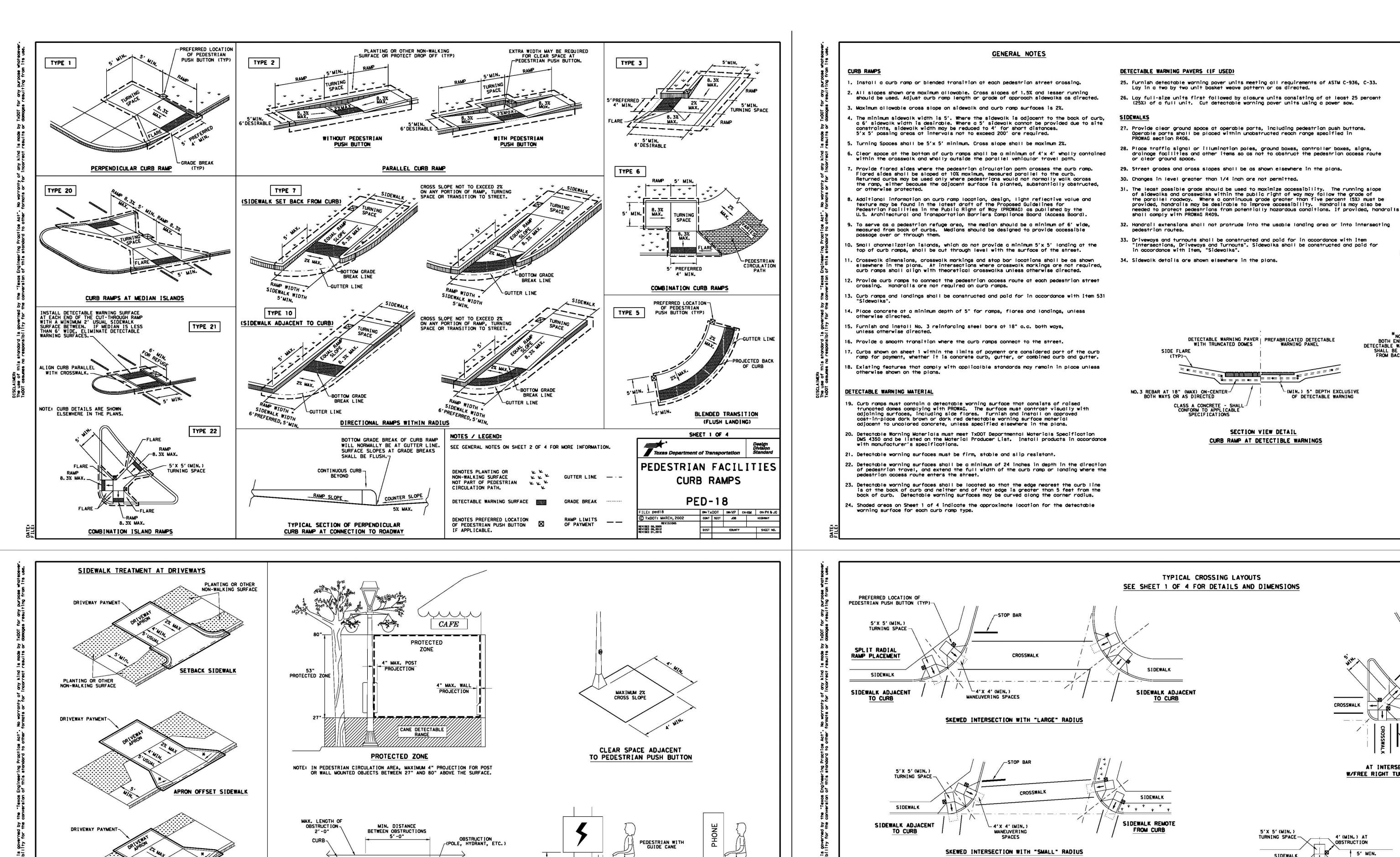


JUSTIN M. WARREN 144030

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PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W SHEET NUMBER:

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WHEN AN OBSTRUCTION OF A HEIGHT GREATER THAN 27" FROM THE SURFACE WOULD CREATE A PROTRUSION OF MORE THAN 4" INTO THE PEDESTRIAN CIRCULATION AREA, CONSTRUCT ADDITIONAL CURB OR FOUNDATION AT THE BOTTOM TO PROVIDE A MAXIMUM 4" OVERHANG.

DETECTION BARRIER FOR

VERTICAL CLEARANCE < 80"

SHEET 3 OF 4

PEDESTRIAN FACILITIES

CURB RAMPS

PED-18

Texas Department of Transportation

4'MIN. AT
5'SIDEWALK OBSTRUCTION

\* WHERE DRIVEWAYS CROSS THE PEDESTRIAN ROUTE, SIDES SHALL BE FLARED AT 10% MAX SLOPE.

\* \* IF CURB HEIGHT IS GREATER THAN 6 INCHES, USE GRADE LESS THAN OR EQUAL TO 5%. HANDRAIL AND DETECTABLE WARNING ARE NOT REQUIRED.

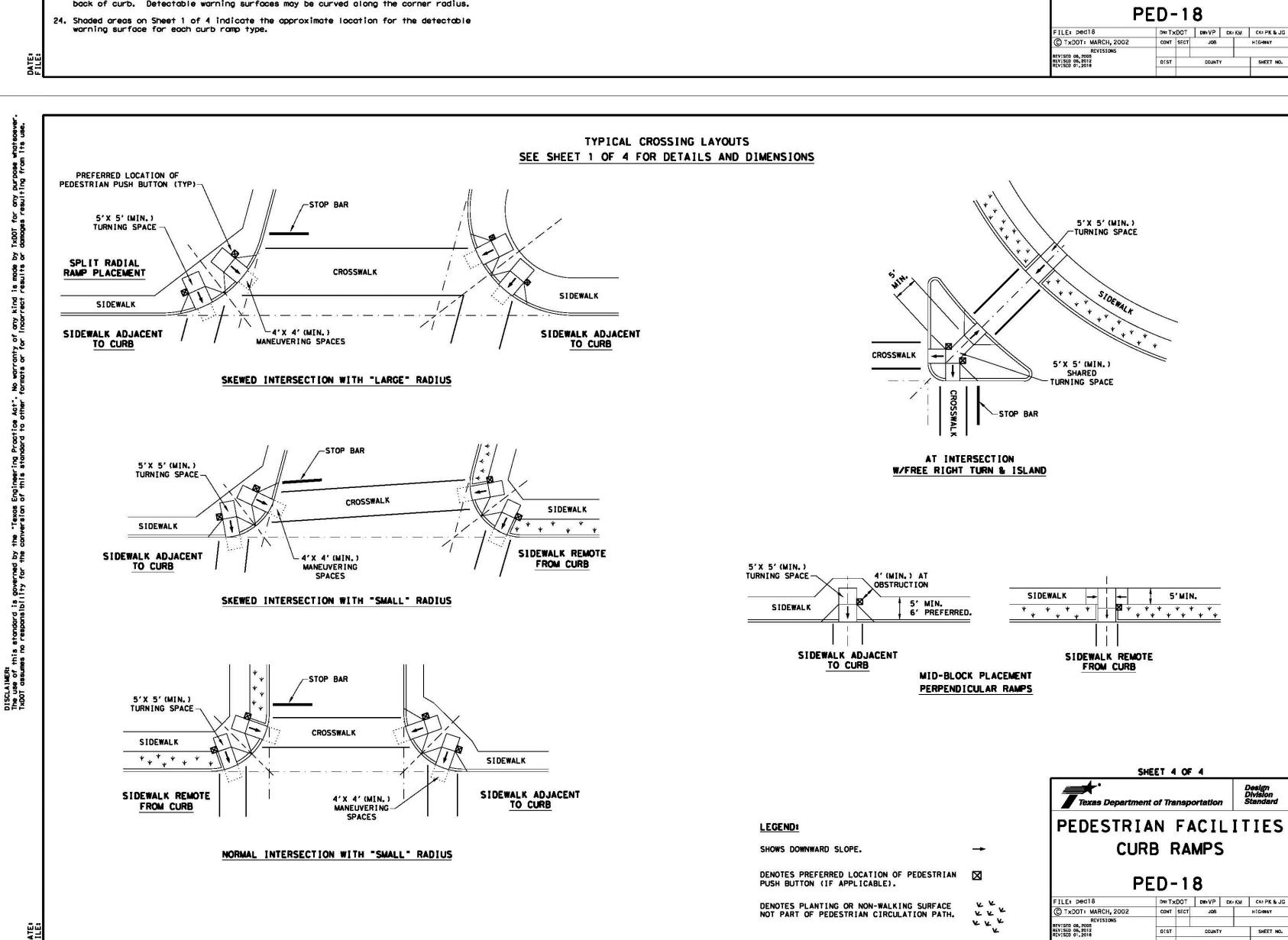
NOTE: ITEMS NOT INTENDED FOR PUBLIC USE.
MINIMUM 4' X 4' CLEAR GROUND SPACE
REQUIRED AT PUBLIC USE FIXTURES.

5'SIDEWALK

OBSTRUCTION

PLAN VIEW

PLACEMENT OF STREET FIXTURES



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DETECTABLE WARNING SURFACE DETAILS

PEDESTRIAN TRAVEL

PARALLEL CURB RAMP

TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON LANDING AT STREET EDGE.

PEDESTRIAN TRAVEL DIRECTION

PERPENDICULAR CURB RAMP

TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.

DIRECTION

DIRECTIONAL CURB RAMP

TYPICAL PLACEMENT OF DETECTABLE WARNING SURFACE ON SLOPING RAMP RUN.

DETECTABLE WARNING

DETECTABLE WARNING

SHEET 2 OF 4

Texas Department of Transportation

Design
Division
Standard

PEDESTRIAN FACILITIES

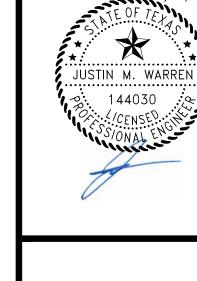
CURB RAMPS

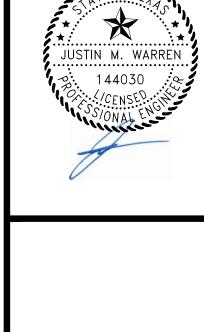
JUSTIN M. WARREN

78255 S

5839

PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W SHEET NUMBER:

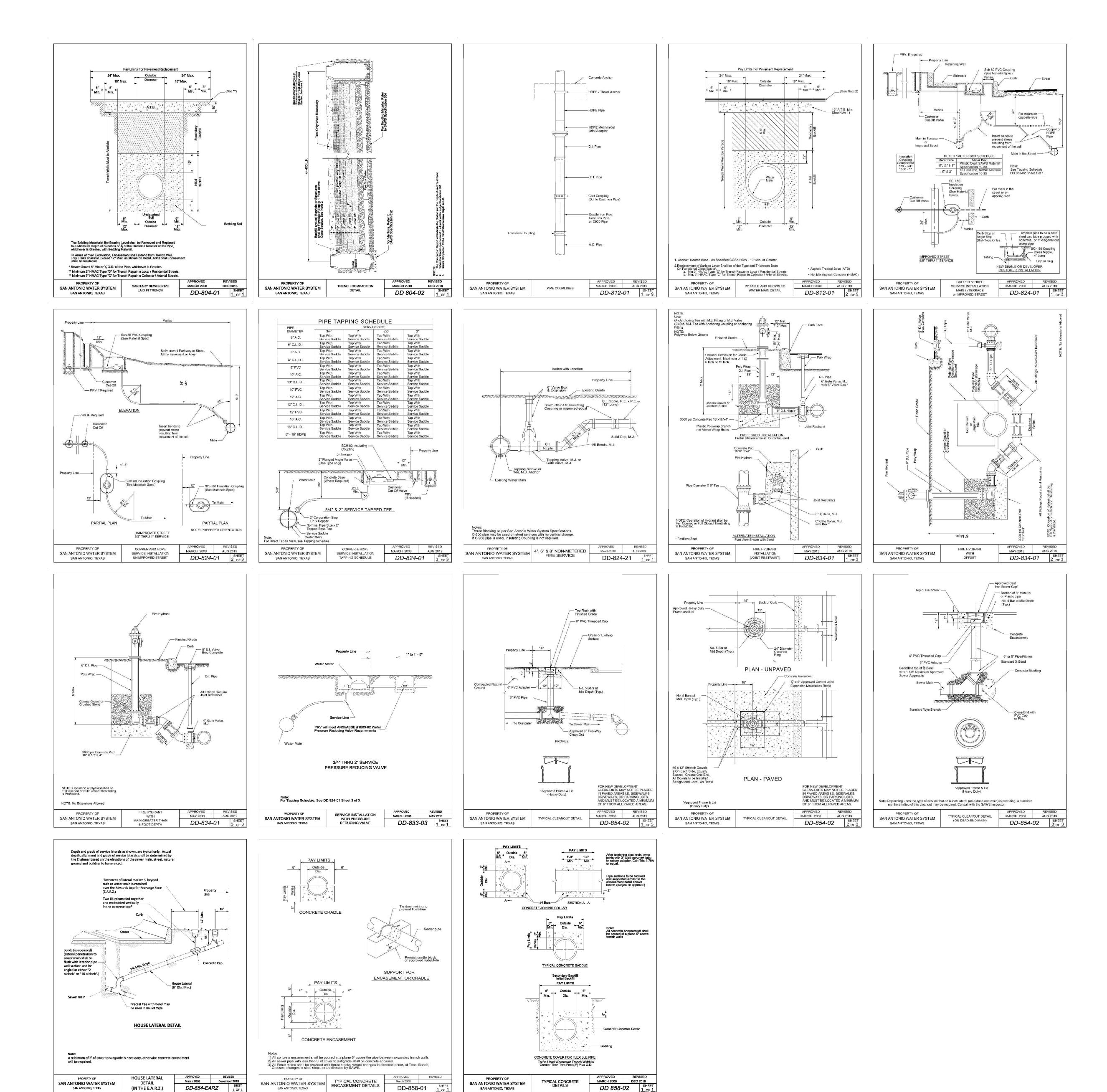






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THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION!!: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE TILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGAL DESCRIPTION EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL

PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

#### **COORDINATION NOTE:**

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

#### 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL

SERVICES. (210)-353-2256. 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

SANITARY SEWER AND WATER SERVICES. (210)-704-7297. 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM

OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN

#### EASEMENT KEY NOTES

√ 9 → 16' WATER EASEMENT

(10) 16' SANITARY SEWER EASEMENT

11 25' X 25' SANITARY SEWER

(16) 25' BUILDING SETBACK LINE

TURNAROUND EASEMENT

VARIABLE WIDTH PRIVATE DRAINAGE

 $\stackrel{12}{>}$  EASEMENT (0.483 ACRES PERMEABLE)

∨ VARIABLE WIDTH PUBLIC DRAINAGE

(0.421 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE

EASEMENT (0.278 ACRES PERMEABLE)

VARIABLE WIDTH PUBLIC DRAINAGE 215 EASEMENT (0.212 ACRES PERMEABLE)

10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)

- 28' GAS & ELECTRIC EASEMENT
- <sup>2</sup>/ (VOL. 9661, PGS. 41 43, D.P.R.) VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE 3 > & CABLE TELEVISION EASEMENT
- √ (VOL. 9661, PGS. 41 43, D.P.R.) 28' ELECTRIC EASEMENT
- <sup>4</sup> / (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE &
- S CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT
- (PLAT NO. 23-11800148) 16' SEWER EASEMENT (PLAT NO. 23-11800148)
- 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

THIS EXHIBIT IS TO BE USED FOR THE PURPOSES OF STORM WATER POLLUTION PREVENTION ONLY. ALL OTHER CIVIL ENGINEERING INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE CONSTRUCTION DOCUMENTS.

- THE PURPOSE OF THE SIGNATURE AND SEAL OF THE ENGINEER ON THIS DOCUMENT IS TO DEMONSTRATE COMPLIANCE WITH THE TPDES STORM WATER POLLUTION PREVENTION PLAN REGULATIONS ONLY.
- ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND

COMPLYING WITH THE REGULATIONS CONTAINED WITHIN IT.

- 4. CITY PUBLIC SERVICE (CPS) ENERGY IS A SECONDARY OPERATOR IN THIS PROJECT. THEY WILL BE INSTALLING THE ELECTRIC UTILITIES.
- 1. ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL
- BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES. 2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED WITHIN THE LIMITS OF THE SITE BOUNDARY.
- CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
- 4. CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IN AREAS DENOTED AS VEGETATED FILTER STRIP. IF INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT BEST MANAGEMENT PRACTICE AND WILL SHOW IT ON THIS PLAN WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

#### **MAINTENANCE AND INSPECTION:**

- CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS PLAN. IF ADDITIONAL VEGETATED AREAS ARE DISTURBED. THEY SHOULD BE PROTECTED WITH APPROPRIATE BEST MANAGEMENT PRACTICES UNTIL THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWPPP. THE AREAS OF THIS ADDITIONAL SOIL DISTURBANCE AND THE MEASURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE
- MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROLS AS NECESSARY TO PREVENT SEDIMENT RUNOFF. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN
- AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY. LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND EQUIPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS
- SHALL BE UPDATED ON THIS PLAN. **PROJECT COMPLETION:**

REMOVAL OF ANY BMP'S AND/OR PRIOR TO FILING A NOTICE OF

- ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER THE SWPPP AND PROJECT SPECIFICATIONS PRIOR TO
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADIENT AREAS HAVE BEEN STABILIZED PER SWPPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
- CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWPPP BEFORE FILING A NOTICE OF TERMINATION (NOT).

#### **TREE PROTECTION NOTES:**

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE
  - WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
  - ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
  - 4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET
  - NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE
  - NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT

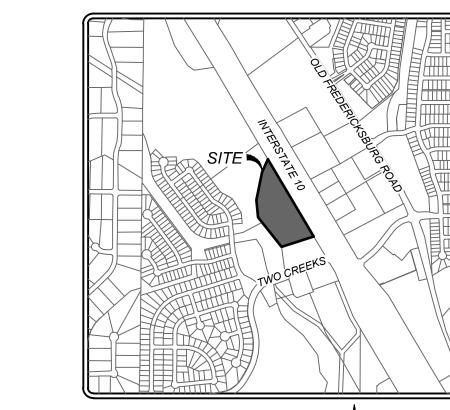
ROOT PROTECTION ZONE.

- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- 8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- 9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- 10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED

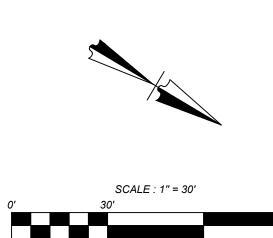
# SW3P MODIFICATIONS

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL

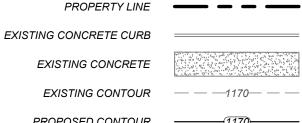
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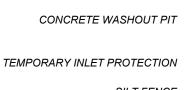
LOCATION MAP NOT-TO-SCALE

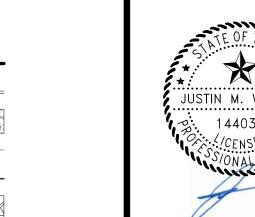


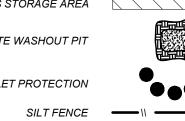


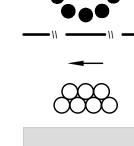


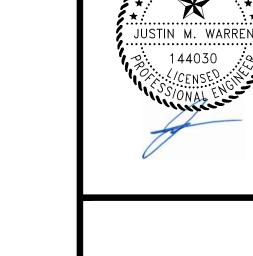
STABILIZED CONSTRUCTION ENTRANCE / EXIT CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA





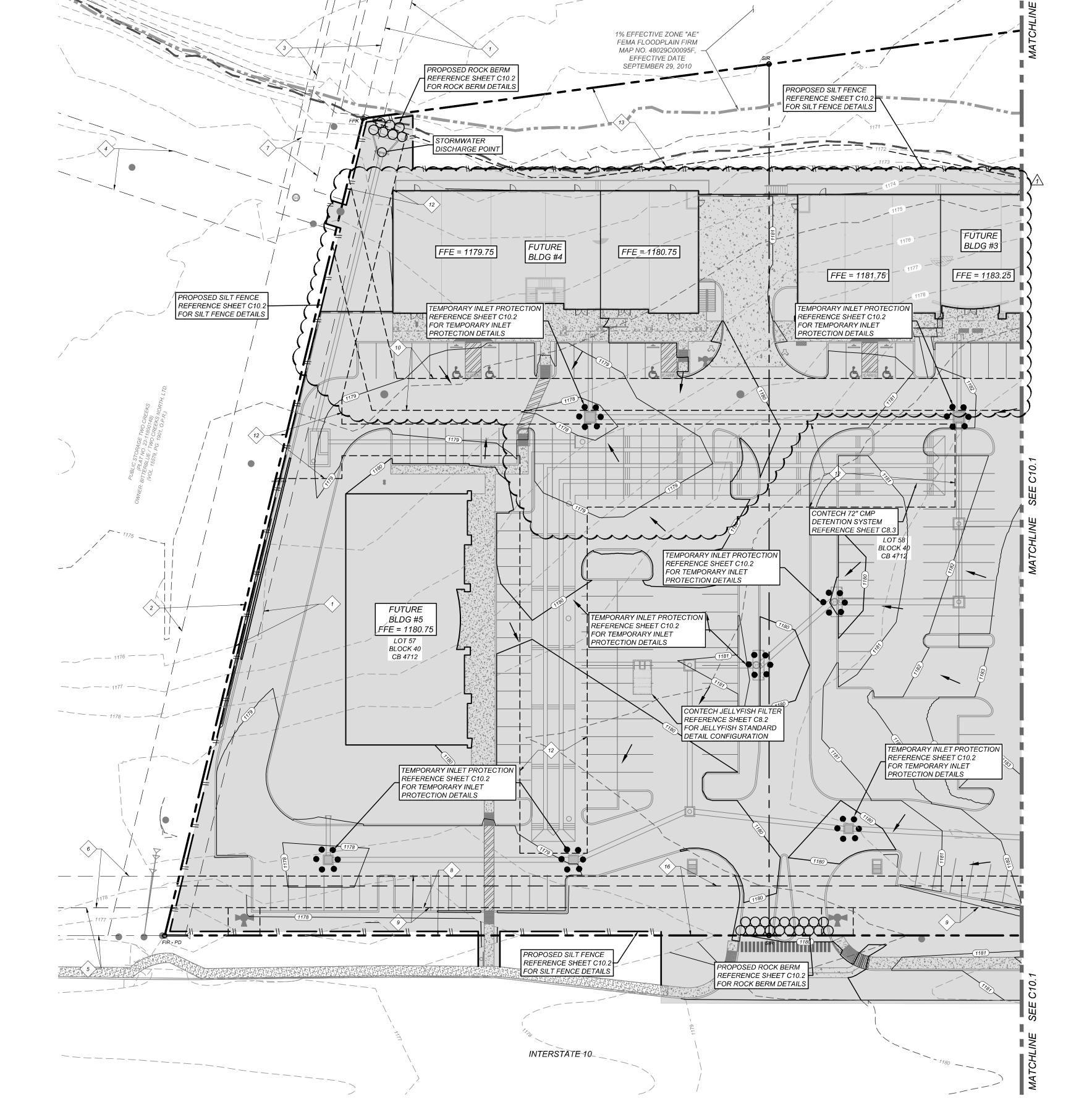






PLAT NO. LAND-PLAT-21-11800516 JOB NO. 943-01-02

DATE: March 26, 2024 DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:



C10.0

THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

<u>CAUTION!!:</u> THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

#### LEGAL DESCRIPTION

EING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE.

#### 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL

SERVICES. (210)-353-2256. 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE.

4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS

SERVICES. (210)-695-5985.

5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

#### EASEMENT KEY NOTES

- 10' SOUTHWESTERN BELL EASEMENT / (VOL. 1319, PG. 231, O.P.R.)
- 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41 - 43, D.P.R.)
- 3 > & CABLE TELEVISION EASEMENT √ (VOL. 9661, PGS. 41 - 43, D.P.R.)
- 28' ELECTRIC EASEMENT
- <sup>4</sup> (VOL. 17042, PG. 1973, O.P.R.) 14' GAS, ELECTRIC, TELEPHONE &
- S CABLE TELEVISION EASEMENT ✓ (PLAT NO. 23-11800148) 16' WATER EASEMENT
- (PLAT NO. 23-11800148) 16' SEWER EASEMENT
- 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT

(PLAT NO. 23-11800148)

√ 9 → 16' WATER EASEMENT

- (10) 16' SANITARY SEWER EASEMENT
- VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE
  - $\langle 11 \rangle$  25' X 25' SANITARY SEWER TURNAROUND EASEMENT VARIABLE WIDTH PRIVATE DRAINAGE
    - (0.483 ACRES PERMEABLE) ∨ VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE)
    - VARIABLE WIDTH PUBLIC DRAINAGE 214 EASEMENT (0.278 ACRES PERMEABLE)
    - ∨ VARIABLE WIDTH PUBLIC DRAINAGE 215 EASEMENT (0.212 ACRES PERMEABLE)

(16) 25' BUILDING SETBACK LINE

*∠B*LDG #2

FFE = 1186.00

BLOÇK 40

CB 4712

BLOCK 40

FUTURE

BLDG #6

FFE = 1187.25

REFERENCE SHEET C10.2

FOR TEMPORARY INLET

PROTECTION DETAILS

REFERENCE SHEET C10.2 FOR TEMPORARY INLET

- THIS EXHIBIT IS TO BE USED FOR THE PURPOSES OF STORM WATER POLLUTION PREVENTION ONLY. ALL OTHER CIVIL ENGINEERING INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE CONSTRUCTION DOCUMENTS.
- THE PURPOSE OF THE SIGNATURE AND SEAL OF THE ENGINEER ON THIS DOCUMENT IS TO DEMONSTRATE COMPLIANCE WITH THE TPDES STORM WATER POLLUTION PREVENTION PLAN REGULATIONS ONLY. ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING
- THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND COMPLYING WITH THE REGULATIONS CONTAINED WITHIN IT. 4. CITY PUBLIC SERVICE (CPS) ENERGY IS A SECONDARY OPERATOR IN THIS
- PROJECT. THEY WILL BE INSTALLING THE ELECTRIC UTILITIES.
- 1. ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES. 2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED
- WITHIN THE LIMITS OF THE SITE BOUNDARY. CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH

THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

4. CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IN AREAS DENOTED AS VEGETATED FILTER STRIP. IF INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT BEST MANAGEMENT PRACTICE AND WILL SHOW IT ON THIS PLAN WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

BLDG #3

FFE = 1184.75

#### **MAINTENANCE AND INSPECTION:**

RESPONSIBLE PARTY.

RESPONSIBLE PARTY.

- CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS PLAN. IF ADDITIONAL VEGETATED AREAS ARE DISTURBED, THEY SHOULD BE PROTECTED WITH APPROPRIATE BEST MANAGEMENT PRACTICES UNTIL THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWPPP. THE AREAS OF THIS ADDITIONAL SOIL DISTURBANCE AND THE MEASURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROLS AS NECESSARY TO PREVENT SEDIMENT RUNOFF. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
- LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT,
- AND EQUIPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS SHALL BE UPDATED ON THIS PLAN.

REMOVAL OF ANY BMP'S AND/OR PRIOR TO FILING A NOTICE OF

- **PROJECT COMPLETION:** ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER THE SWPPP AND PROJECT SPECIFICATIONS PRIOR TO
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADIENT AREAS HAVE BEEN STABILIZED PER SWPPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE
- CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWPPP BEFORE FILING A NOTICE OF TERMINATION (NOT).

#### **TREE PROTECTION NOTES:**

Ħ FLOODPLAIN FIRM MAP NO. 48029C00095F, ┵ EFFECTIVE DATE SEPTEMBER 29, 2010

FOR SILT FENCE DETAILS

FFE = 1188.00

FFE = 1190.00

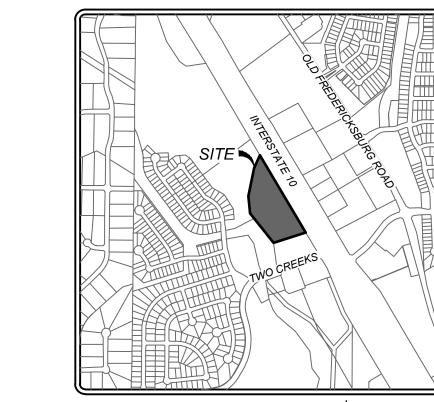
FFE = 1190.00

REFERENCE SHEET C10.2

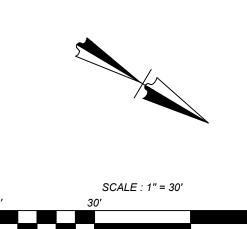
- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5 ') OF THE TREE. A 10-INCH DIAMETER TREE
- WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING
- CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
- 4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE
- ROOT PROTECTION ZONE. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. All OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- 8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- 9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- 10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- 11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED

#### SW3P MODIFICATIONS

| DATE | SIGNATURE | DESCRIPTION |
|------|-----------|-------------|
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LOCATION MAP NOT-TO-SCALE



LEGEND

EXISTING CONCRETE CURB EXISTING CONCRETE

EXISTING CONTOUR — — —1170— — STABILIZED CONSTRUCTION ENTRANCE / EXIT CONSTRUCTION EQUIPMENT,

CONCRETE WASHOUT PIT

PROPERTY LINE ----

VEHICLE & MATERIALS STORAGE AREA

JUSTIN M. WARREN

PLAT NO.

BLOCK 40

PROPOSED STABILIZED CONSTRUCTION ENTRANCE / EXIT REFERENCE SHEET C10.2 FOR STABILIZED CONSTRUCTION ENTRANCE / EXIT DETAILS

INTERSTATE 10

NICHOLS CREEK

TRUCK WASHOUT PIT

REFERENCE SHEET C10.2

FOR CONCRETE TRUCK WASHOUT PIT DETAILS

> REFERENCE SHEET C10.2 FOR SILT FENCE DETAILS

1% EFFECTIVE ZONE "AE" FEMA

FLOODPLAIN FIRM MAP NO. 48029C00095F, —

PROPOSED CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA

CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE DETAILS

REFERENCE SHEET C10.2 FOR

UNNAMED

NICHOLS CREEK

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TEMPORARY INLET PROTECTION

REFERENCE SHEET C10.2 FOR TEMPORARY INLET PROTECTION DETAILS

TEMPORARY INLET PROTECTION

LAND-PLAT-21-11800516 JOB NO. 943-01-02 DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W. SHEET NUMBER:

**CROSS SECTION** 

1) Silt fence material should be polypropylene, polyethylene or polyamide woven or nonwoven fabric. The fabric width should be 36 inches, with a minimum unit weight of 4.5 oz / yd, mullen burst strength exceeding 190 lb/in2, (2) Fence posts should be made of hot rolled steel, at least 4 feet long with Tee or Y-bar cross section, surface *AGGREGATE* painted or galvanized, minimum nominal weight 1.25 lb / fl2, and Brindell hardness exceeding 140. Rebar (either #5

(1) The aggregate should consist of 4 to 8 inch washed stone over a stable foundation as specified in the plan. (2) The aggregate should be placed with a minimum thickness of 8 inches. (3) The geotextile fabric should be designed specifically for use as a soil filtration media with an approximate weight of 6 oz/yd2, a mullen burst rating of 140 lb/in2, and an equivalent opening size greater than a number

(4) If a washing facility is required, a level area with a minimum of 4 inch diameter washed stone or commercial rack should be included in the plans. Divert wastewater to a sediment trap or basin.

nstallation: (North Carolina, 1993)

CONSTRUCTION ENTRANCE/EXIT

GEOTEXTILE FABRIC

TO STABILIZE FOUNDATION

(1) Avoid curves on public roads and steep slopes. Remove vegetation and other objectionable material from the foundation area. Grade crown foundation for positive drainage. (2) The minimum width of the entrance/exit should be 12 feet or the full width of exit roadway, whichever is

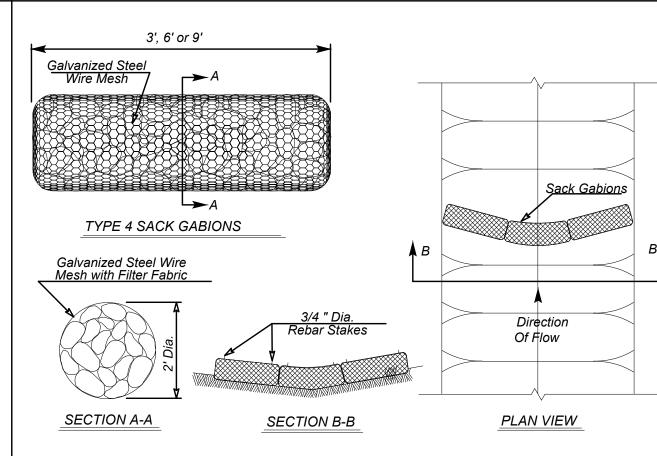
(3) The construction entrance should be at least 50 feet long. (4) If the slope toward the road exceeds 2%, construct a ridge, 6 to 8 inches high with 3:1 (H:V) side slopes, across the foundation approximately 15 feet from the entrance to divert runoff away from the public road. height not less than 24 inches. Clean, open graded 3 - 5" diameter rock should be used, except in areas where high (5) Place geotextile fabric and grade foundation to improve stability, especially where wet conditions are

(6) Place stone to dimensions and grade shown on plans. Leave surface smooth and slope for drainage. 7) Divert all surface runoff and drainage from the stone pad to a sediment trap or basin. (8) Install pipe under pad as needed to maintain proper public road drainage.

Inspection and Maintenance Guidelines: 1) The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair andlor cleanout of any measures used to trap sediment. (2) All sediment spilled, dropped, washed or tracked onto public rights-of-way should be removed immediately

(3) When necessary, wheels should be cleaned to remove sediment prior to entrance onto public right-of-way. (4) When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin. (5) All sediment should be prevented from entering any storm drain, ditch or water course by using approved

STABILIZED CONSTRUCTION ENTRANCE / EXIT



**GENERAL NOTES** 

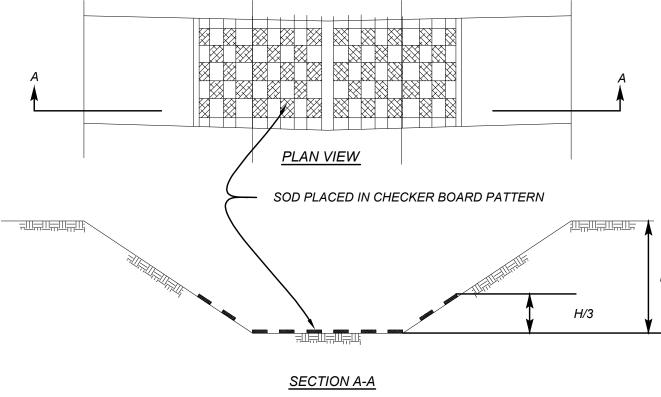
THE TOP OF THE SACK GABIONS SHOULD BE LEVEL AND ORIENTED PERPENDICULAR TO THE DIRECTION OF

FILTER FABRIC MATERIAL SHALL BE FASTENED TO WOVEN WIRE SUPPORT.

FILTER FABRIC MATERIAL SHOULD MEET THE FOLLOWING SPECIFICATIONS: RESISTANT TO ULTRAVIOLET LIGHT, FABRIC SHOULD BE NON-WOVEN GEOTEXTILE WITH MINIMUM WEIGHT OF 3.5 OUNCES PER SQUARE YARD, MINIMUM MULLEN BURST STRENGTH OF 200 POUNDS PER SQUARE INCH AND A FLOW THRU RATE OF 120 GALLONS PER MINUTE PER SQUARE FOOT OF FRONTAL AREA.

STONE SIZE: ±4"-8" OPEN GRADED CRUSHED LIMESTONE.

INSPECT WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACE AS NEEDED. WHEN SILT REACHES A DEPTH OF 6 INCHES OR MORE ABOVE NATURAL GROUND, SILT SHALL BE REMOVED AND DISPOSED IN AN APPROVED MANNER THAT WILL NOT CONTRIBUTE TO RESILTATION. CONTAMINATED SEDIMENT MUST BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE



 CHANNEL TO BE STABILIZED WITH SOD PLACED IN A CHECKER BOARD PATTERN TON THE CHANNEL BOTTOM AND ON THE SIDES UP TO 1/3 THE DEPTH OF

WOVEN WIRE

SHEATHING

INCHES

CROSS SECTION

ISOMETRIC PLAN VIEW

or #6) may also be used to anchor the berm.

mesh with 1-inch openings.

Section 2.4.3.

approved manner.

ultraviolet stability exceeding 70%, and minimum apparent opening size of U.S. Sieve No. 30.

minimum wire diameter of 20 gauge galvanized and should be secured with shoat rings.

velocities or large volumes of flow are expected, where 5 to 8 inch diameter rock may be used.

volumes of flow are expected, where 5- to 8-inch diameter rocks may be used.

least 2 inches, and the berm retains its shape when walked upon.

streambeds, additional daily inspections should be made on rock berm.

remain in place as a permanent BMP if drainage is adequate.

(4) The berm should be reshaped as needed during inspection.

the rocks, washout, construction traffic damage, etc.

CONSTRUCTION

**EQUIPMENT** 

& VEHICLE

STORAGE

AND

*MAINTENANCE* 

AREA

CONSTRUCTION

AND WASTE

MATERIAL

STORAGE

AREA

Inspection and Maintenance Guidelines:

(3) Repair any loose wire sheathing.

(3) Woven wire backing to support the fabric should be galvanized 2" x 4" welded wire, 12 gauge minimum.

(4) The berm structure should be secured with a woven wire sheathing having maximum opening of 1 inch. and a

(5) Clean, open graded 3 to 5 inch diameter rock should be used, except in areas where high velocities or large

(1) Lay out the woven wire sheathing perpendicular to the flow line. The sheathing should be 20 gauge woven wire

(2) Install the silt fence along the center of the proposed berm placement, as with a normal silt fence described in

(3) Place the rock along the sheathing on both sides of the silt fence as shown in the diagram (figure 1-29), to a

(4) Wrap the wire sheathing around the rock and secure with tie wire so that the ends of the sheathing overlap at

(5) The high service rock berm should be removed when the site is revegetated or otherwise stabilized or it may

(2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt of in an

(5) The berm should be replaced when the structure ceases to function as intended due to silt accumulation among

HIGH SERVICE ROCK BERM

FIELD

OFFICE

**ENTRANCE** /EXIT

TYPICAL CONSTRUCTION STAGING AREA

(6) The rock berm should be left in place until all upstream areas are stabilized and accumulated silt removed.

1) Inspection should be made weekly and after each rainfall by the responsible party. For installations in

(1) Steel posts, which support the silt fence, should be installed on a slight angle toward the anticipated runoff source. Post must be embedded a minimum of 1- foot deep and spaced not more than 8 feet on center. Where water concentrates, the maximum spacing should be 6 feet. (2) Lay out fencing down-slope of disturbed area, following the contour as closely as possible. The fence should be sited so that the maximum drainage area is 1/4 acre/i 00 feet

(1) Silt fence material should be polypropylene, polyethylene or polyamide woven or nonwoven fabric. The fabric width should be 36 inches, with a minimum unit weight of 4.5 oz/yd, mullen burst strength exceeding 190 lb/in2, ultraviolet stability exceeding 70%, and

(2) Fence posts should be made of hot rolled steel, at least 4 feet long with Tee or Y-bar cross section, surface painted or galvanized, minimum nominal weight 1.25 lb/fl2, and

(3) Woven wire backing to support the fabric should be galvanized 2" x 4" welded

minimum apparent opening size of U.S. Sieve No.

Brindell hardness exceeding 140.

Inspection and Maintenance Guidelines:

(1) Inspect all fencing weekly, and after any rainfall.

(2) Remove sediment when buildup reaches 6 inches.

may be preferable to a silt fence at common vehicle access points.

wire, 12 gauge minimum.

of fence. (3) The toe of the silt fence should be trenched in with a spade or mechanical trencher, so that the down- slope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g., pavement or rock outcrop), weight fabric flap with 3 inches of pea gravel on uphill side to prevent flow from seeping under fence. (4) The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material. (5) Silt fence should be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel fence post. There should be a 3-foot overlap,

securely fastened where ends of fabric meet. (6) Silt fence should be removed when the site is completely stabilized so as not to block or impede stone flow or drainage.

(3) Replace any torn fabric or install a second line of fencing parallel to the torn section.

activity. If a section of fence is obstructing vehicular access, consider relocating it to a spot

where it will provide equal protection, but will not obstruct vehicles. A triangular filter dike

(5) When construction is complete, the sediment should be disposed of in a manner that

will not cause additional siltation and the prior location of the silt fence should be

revegetated. The fence itself should be disposed of in an approved landfill.

(4) Replace or repair any sections crushed or collapsed in the course of construction

(1) Lay out the woven wire sheathing perpendicular to the flow line. The sheathing should be 20 gauge woven wire mesh with 1 inch openings. (2) Berm should have a top width of 2 feet minimum with side slopes being 2:1 (H:V) or flatter. (3) Place the rock along the sheathing as shown in the diagram Figure 1-28), to a height not less

ISOMETRIC PLAN VIEW

(4) Wrap the wire sheathing around the rock and secure with tie wire so that the ends of the sheathing overlap at least 2 inches, air the berm retains its shape when walked upon. (5) Berm should be built along the contour at zero percent grade or as near as possible.

(1) The berm structure should be. secured with a woven wire sheathing having maximum opening of 1

(2) Clean, open graded 3 to 5 inch diameter rock should be used, except in areas where high velocities

inch and a minimum wire diameter of 20 gauge galvanized and should be secured with shoat rings.

or large volumes of flow are expected, where 5 to 8 inch diameter rocks may be used.

(6) The ends of the berm should be tied into existing upslope grade and the berm should be buried in a trench approximately 3 to 4 inches deep to prevent failure of the control. Inspection and Maintenance Guidelines:

(1) Inspection should be made weekly and after each rainfall by the responsible party. For installations

in streambeds, additional daily inspections should be made. (2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt in an approved manner that will not cause any additional siltation. (3) Repair any loose wire sheathing. (4) The berm should be reshaped as needed during inspection.

(5) The berm should be replaced when the structure ceases to function as intended due to silt accumulation among the rocks, washout, construction traffic damage, etc. (6) The rock berm should be left in place until all upstream areas are stabilized and accumulated silt

ROCK BERM

SILT FENCE SECTION A-A

√ WIRE MESH

ACCEPTABLE

ISOMETRIC PLAN VIEW

SILT FENCE \

(MIN HEIGHT

EXIST. GROUND)

COMPACTED EARTH

OR ROCK BACKFILL

10 MIL PLASTIC

LINING FREE OF HOLES, TEARS, OR

OTHER DEFECTS

10 MIL PLASTIC

OTHER DEFECTS

GENERAL NOTES

DEPENDING ON EXPECTED FREQUENCY OF USE.

DRAINS, OPEN DITCHES, STREETS, OR STREAMS.

PLAN VIEW

24" ABOVE

**BACKING SUPPORT** 

*4X4-W1.4xW1.4 MINIMUM* 

ALLOWABLE, TYP. CHAIN

STEEL FENCE POST

MAX. 6' SPACING MIN.

EMBEDMENT = 1'

LINK FENCE FABRIC IS

SUBGRADE OR BASE \ FILTERED RUNOFF SECTION A-A WOOD FRAME SECURELY ENTIRE PERIMETER WITH **GENERAL NOTES:** SECTION B-B

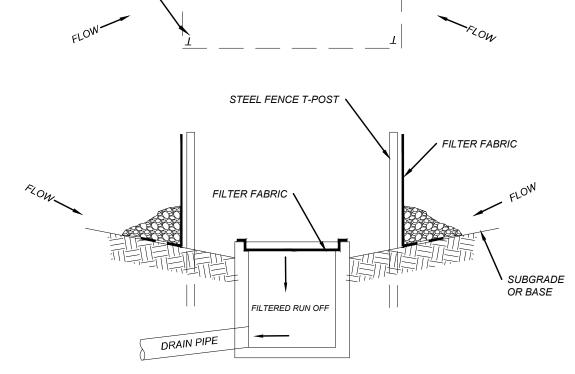
ALL STORM DRAINAGE SYSTEMS INLETS SHOULD FILTER RUNOFF BEFORE THE WATER IS DISCHARGED INTO STREAMS OR ONTO ADJACENT PROPERTIES, UNLESS TREATMENT IS PROVIDED ELSEWHERE. IF NO ADDITIONAL DOWNSTREAM TREATMENT EXISTS, THE MAXIMUM DRAINAGE

AREA TRIBUTARY TO AN AREA DRAIN INSTALLED WITH A GRAVEL FILTER SHOULD ALL CURB INLET GRAVEL FILTERS SHOULD BE INSPECTED AND REPAIRED AFTER EACH RUNOFF EVENT. SEDIMENT SHOULD BE REMOVED WHEN MATERIAL IS WITHIN THREE INCHES OF THE TOP OF THE CONCRETE BLOCKS. PERIODICALLY, THE

CURB INLET PROTECTION GRAVEL FILTER BAGS

GRAVEL SHOULD BE RAKED TO INCREASE INFILTRATION AND FILTERING OF RUNOFF

STEEL FENCE T-POST



CROSS-SECTION A-A

 ALL MATERIALS AND ERECTION PROCEDURES WILL BE THE SAME AS DESCRIBED IN THE STANDARD SILT FENCE REQUIREMENTS.

GRATE INLET PROTECTION (ALTERNATE)

SECTION A-A 12" to 18"

TYPE "ABOVE GRADE"

DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE

WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF AND AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM

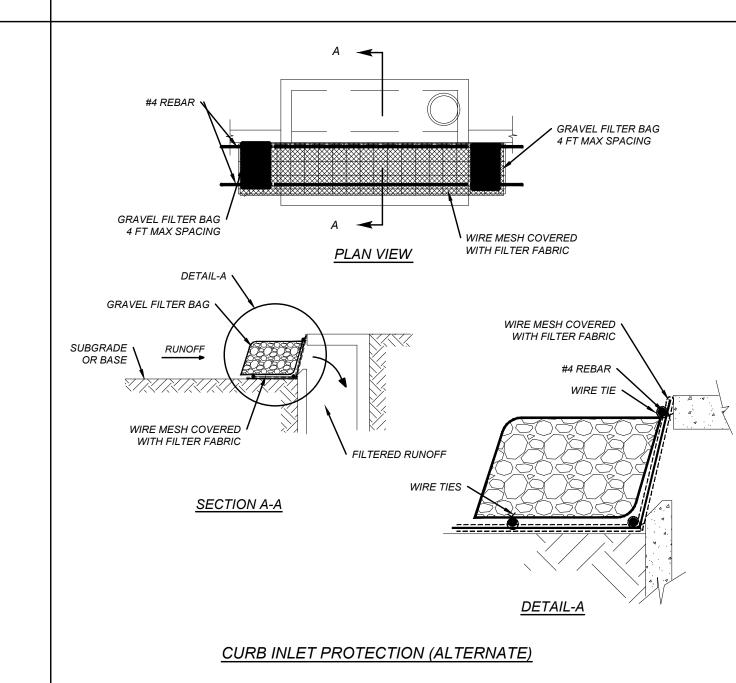
CONCRETE TRUCK WASHOUT PIT

WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO

 THE FILTER BAG MATERIAL SHALL BE MADE OF POLYPROPYLENE. POLYETHYLENE OR POLYAMIDE WOVEN FABRIC, MIN UNIT WEIGHT OF 4 OUNCES/SY, MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70%.

 THE FILTER BAG SHALL BE FILLED WITH CLEAN, MEDIUM TO COARSE GRAVEL (0.31 TO 0.75 INCH DIAMETER).

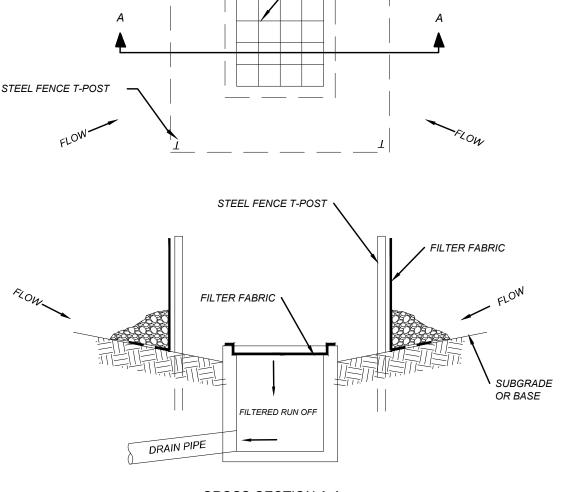
GRAVEL FILTER BAG DETAIL



✓ ROCK BERM WRAPPED MINIMUM 18" HIGH ROCK BERM WRAPPED WITH . GEOTEXTILE AND WOVEN WIRE CROSS-SECTION A-A **GENERAL NOTES:** USE OPEN GRADED CLEAN STONE.

THE ROCK SHOULD BE ENCLOSED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 1 INCH OPENING AND MINIMUM WIRE DIAMETER OF 20 GAUGE AND WRAPPED IN

GEOTEXTILE WITH 300 PSI BURST STRENGTH FILTER FABRIC INSPECTION SHOULD BE MADE FREQUENTLY ON SEVERE SERVICE ROCK BERMS; SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 4 INCHES OR MORE. WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT



**GENERAL NOTES:** 

C10.2

PLAT NO.

LAND-PLAT-21-11800516

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

JOB NO. 943-01-02 DATE: March 26, 2024

JUSTIN M. WARREN

SHOULD BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER. GRATE INLET PROTECTION

——— SILT FENCE - FLOW ARROWS TYPE 4 SACK GABIONS

CHANNEL LINING

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL