

THE CRESCENT

25839 INTERSTATE 10, SAN ANTONIO, TEXAS 78255



LOCATION MAP
NOT-TO-SCALE

OWNER/DEVELOPER:
OWNER: MORI BAGHERI
60 HIGH CRESCENT
SAN ANTONIO, TEXAS 78257
PHONE: (210) 843 - 8340

SHEET INDEX

| DESCRIPTION | SHEET NO. |
|---------------------------------------|-----------|
| COVER SHEET | C0.0 |
| EXISTING CONDITIONS & DEMOLITION PLAN | C1.0 |
| EXISTING CONDITIONS & DEMOLITION PLAN | C1.1 |
| OVERALL SITE PLAN | C2.0 |
| OVERALL SITE PLAN | C2.1 |
| DIMENSIONAL CONTROL PLAN | C3.0 |
| DIMENSIONAL CONTROL PLAN | C3.1 |
| PAVING PLAN | C4.0 |
| PAVING PLAN | C4.1 |
| FIRE PROTECTION PLAN | C5.0 |
| FIRE PROTECTION PLAN | C5.1 |
| OVERALL UTILITY PLAN - SHEET 1 OF 3 | C6.0 |
| OVERALL UTILITY PLAN - SHEET 2 OF 3 | C6.1 |
| OVERALL UTILITY PLAN - SHEET 3 OF 3 | C6.2 |
| GRADING PLAN | C7.0 |
| GRADING PLAN | C7.1 |
| DRAINAGE PLAN | C8.0 |
| DRAINAGE PLAN | C8.1 |
| DRAINAGE DETAILS - SHEET 1 OF 2 | C8.2 |
| DRAINAGE DETAILS - SHEET 2 OF 2 | C8.3 |
| CIVIL DETAILS | C9.0 |
| TXDOT STANDARD DETAILS | C9.1 |
| TXDOT WHEELCHAIR RAMP DETAILS | C9.2 |
| UTILITY DETAILS | C9.3 |
| EROSION CONTROL PLAN | C10.0 |
| EROSION CONTROL PLAN | C10.1 |
| EROSION CONTROL PLAN DETAILS | C10.2 |

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION!! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
SINGLE LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

- COORDINATION NOTE:**
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0900.
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 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7828.
 4. CONTACT GFL (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985.
 5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
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| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
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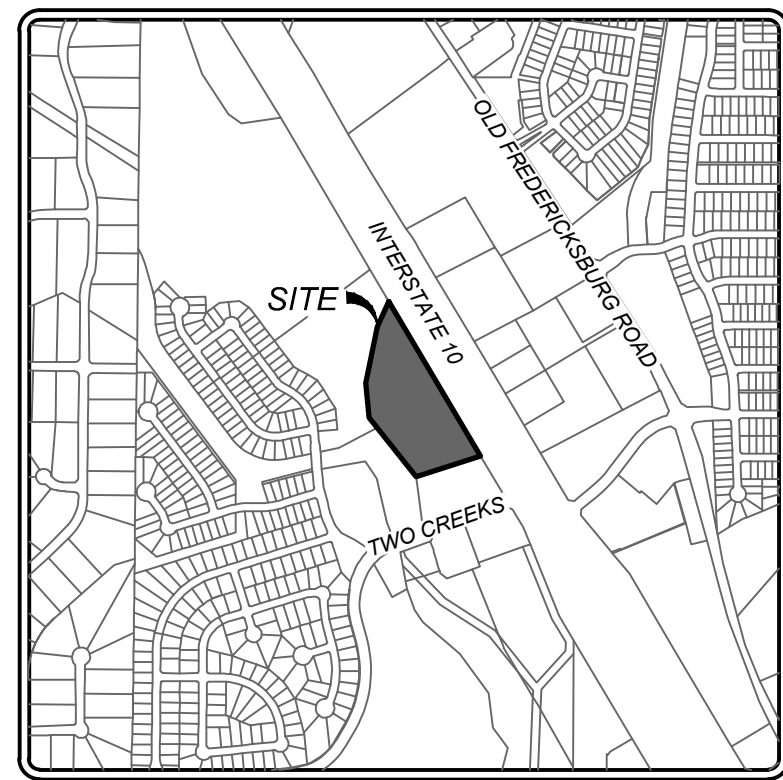
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2. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND TAGGING UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION.
4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

DEMOLITION NOTES:

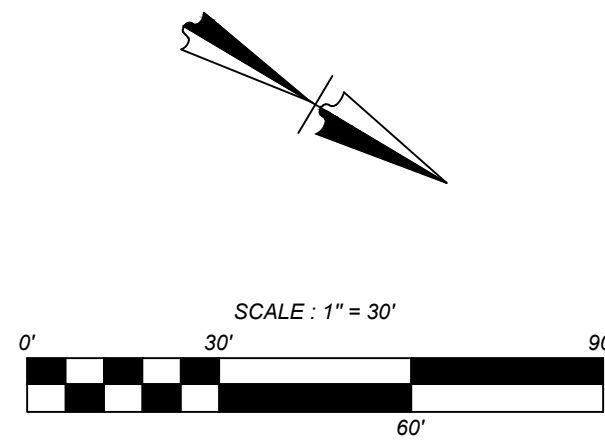
1. LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
2. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPEDE THE BUILDING CONSTRUCTION PROCESS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. PUBLIC MAINS OR POWER POLES TO BE REMOVED. VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED, AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
4. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT THEIR EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
6. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, GREY FOREST UTILITIES MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
7. ALL EXISTING ELECTRIC SERVICES TO BE REMOVED ARE TO BE BY ELECTRIC COMPANY AT OWNERS EXPENSE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY AND OWNER AS REQUIRED BEFORE REMOVAL OF ANY ELECTRIC FACILITIES. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED. ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
8. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE PLANS AND OWNER FOR ANY TREE REMOVAL AND/OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO CONSTRUCTION.
9. CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL THE STORM WATER POLLUTION PREVENTION PLAN IS COMPLETED AND EROSION CONTROL MEASURES INSTALLED.
10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL, OF ALL DEMOLISHED OR UNWANTED MATERIAL.
11. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
12. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL NOT DEMOLISH ANY OFFSITE WATER OR SANITARY SEWER LINE WITHOUT SAN ANTONIO WATER SYSTEMS APPROVAL.
14. THE CONTRACTOR SHALL SAW CUT AT THE EDGE OF EXISTING PAVEMENT, CURBS AND SIDEWALKS CALLED TO BE REMOVED. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT, CURBS, OR SIDEWALK WILL BE ALLOWED OR ACCEPTED.

TREE PROTECTION NOTES:

1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
3. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.



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LEGEND

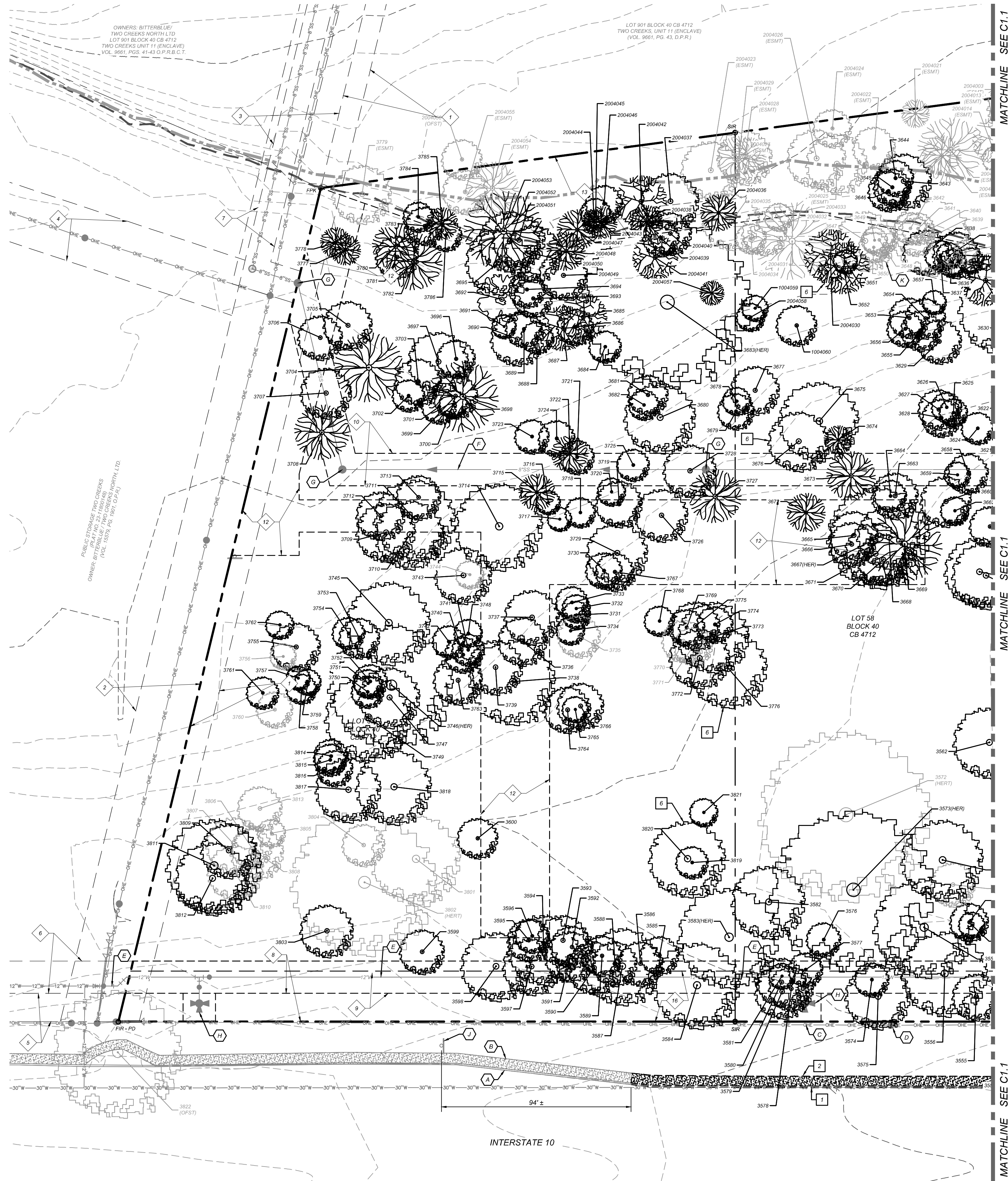
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- EXISTING TREE TO BE REMOVED

ITEMS TO BE REMOVED

- | | |
|----------------------|------------------------|
| 1. CONCRETE CURB | 4. BARBED WIRE FENCE |
| 2. CONCRETE SIDEWALK | 5. WOODEN UTILITY POLE |
| 3. ASPHALT PAVEMENT | 6. TREE (TYP.) |

ITEMS TO REMAIN

- | | |
|--------------------------------------|---|
| 4. CONCRETE CURB | 7. SEWER MANHOLE (UNDER SEPARATE COVER) |
| 5. CONCRETE SIDEWALK | 8. FIRE HYDRANT |
| 6. OVERHEAD ELECTRIC LINE | 9. WATER LINES |
| 7. POWER POLE | 10. INTERSTATE 10 SIGN |
| 8. WATER LINE (UNDER SEPARATE COVER) | 11. TREE (TYP.) |
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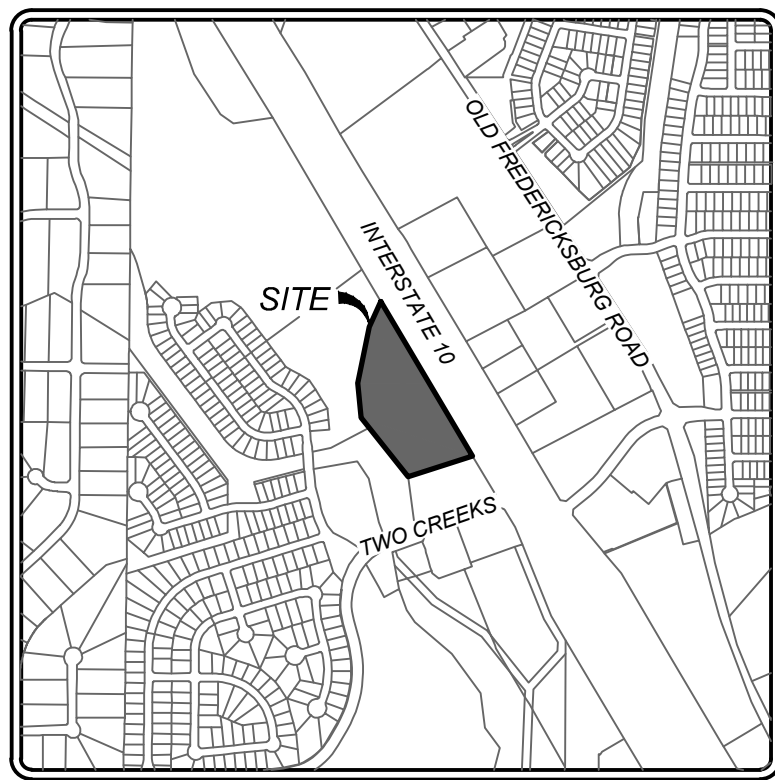
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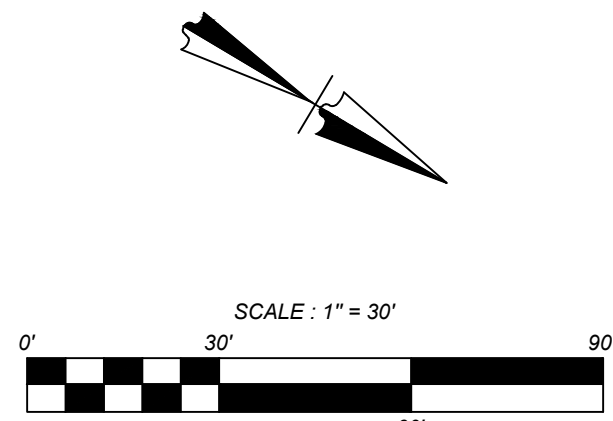
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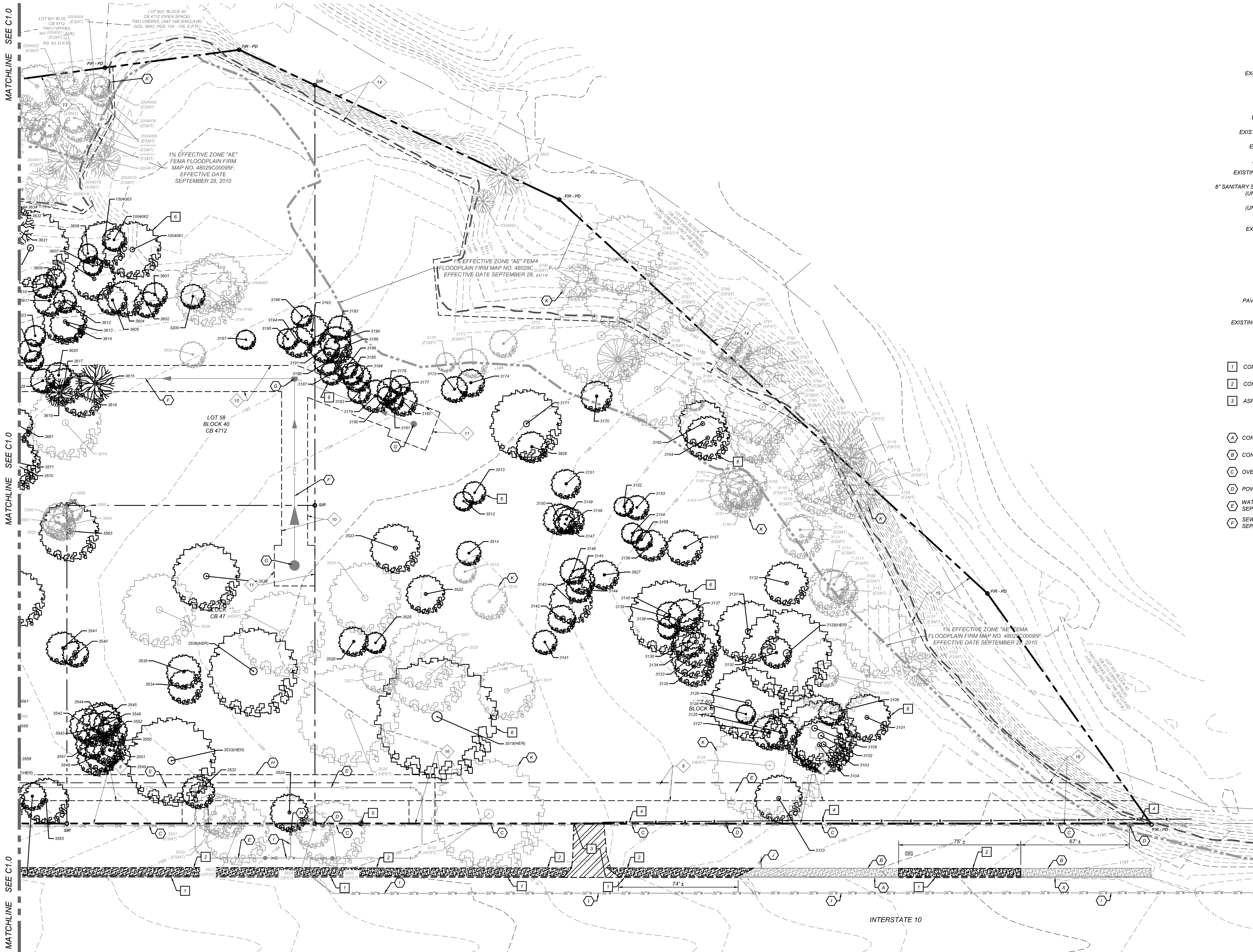
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ITEMS TO BE REMOVED

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| 2 CONCRETE SIDEWALK | 2 WOODEN UTILITY POLE |
| 3 ASPHALT PAVEMENT | 3 TREE (TYP.) |

ITEMS TO REMAIN

- | | |
|-------------------------------------|--|
| A CONCRETE CURB | D SEWER MANHOLE (UNDER SEPARATE COVER) |
| B CONCRETE SIDEWALK | E FIRE HYDRANT |
| C OVERHEAD ELECTRIC LINE | F WATER LINES |
| D POWER POLE | G INTERSTATE 10 SIGN |
| H WATER LINE (UNDER SEPARATE COVER) | I TREE (TYP.) |
| J SEWER LINE (UNDER SEPARATE COVER) | |

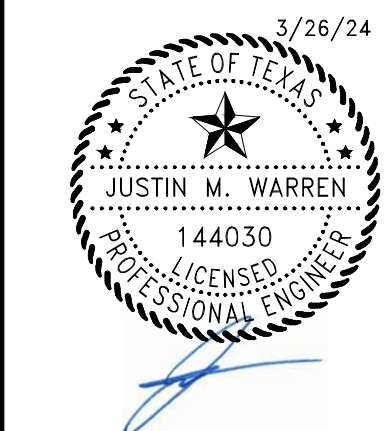


THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
EXISTING CONDITIONS & DEMOLITION PLAN

ENGINEERS + SURVEYING
has joined Collins Engineering & Design
3421 Palisades Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-9444 • Fax #: (210) 979-9441
1525 E. Palm St., Suite 100, San Antonio, TX 78205

ISSUE DATE
09/12/2023

REVISIONS
0. ISSUED FOR PRICING



PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C1.1

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
BEING LOT #1, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

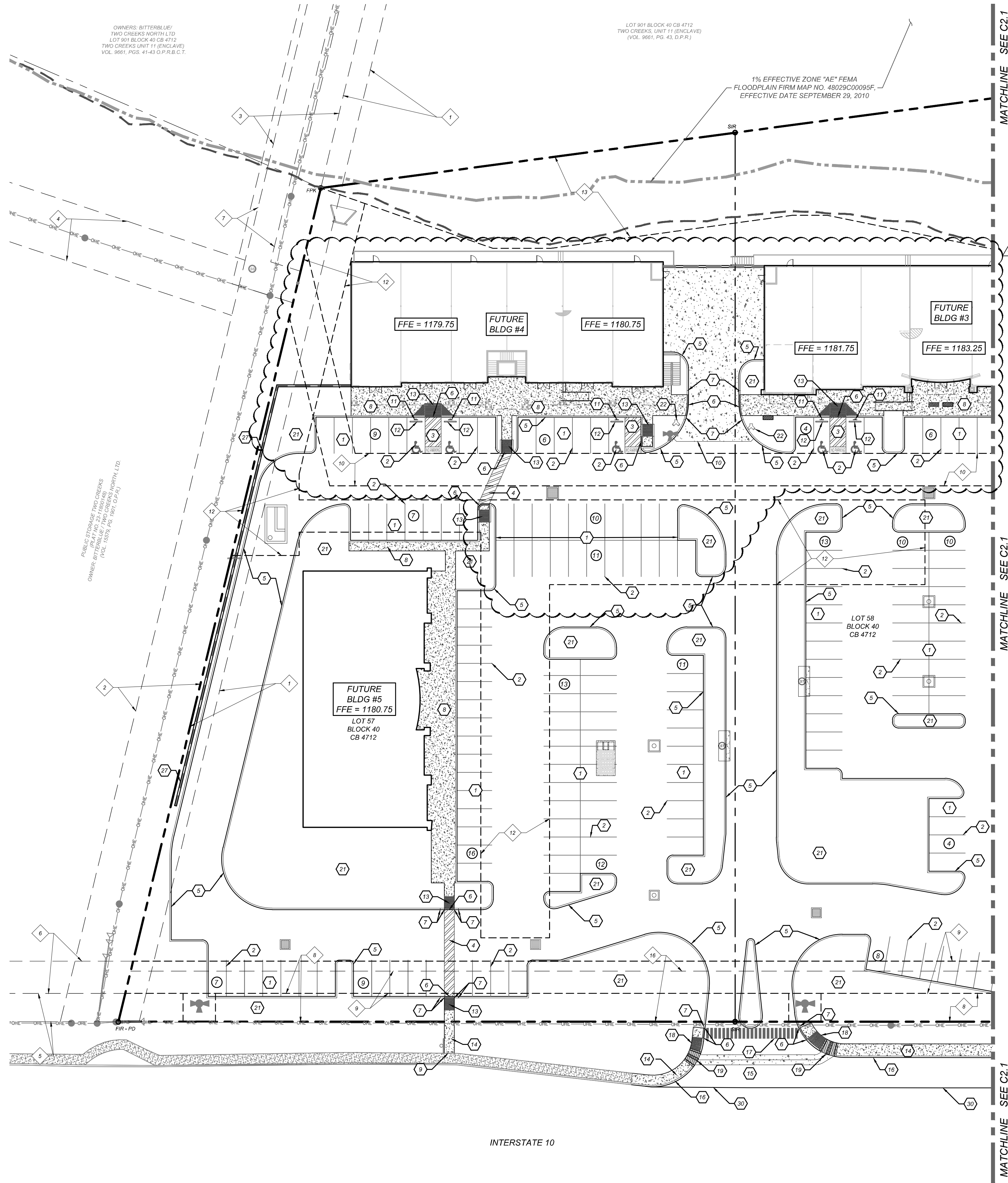
COORDINATION NOTE:

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0900
2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210) 353-2256
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7268
4. CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985
5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 2' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

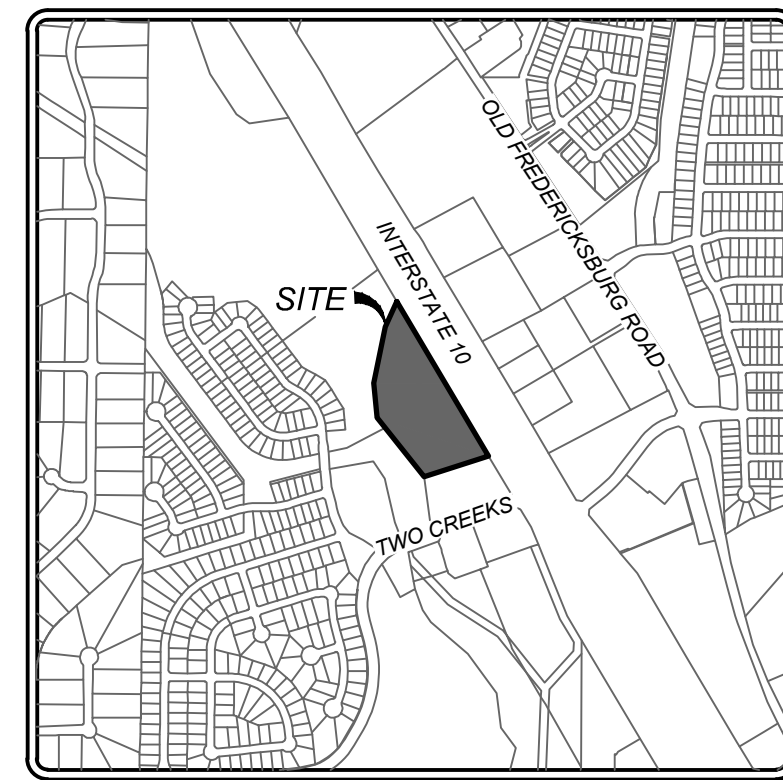
- NOTE:**
1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
 2. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING.
 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
 5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
 6. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH TXDOT INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, TXDOT, CITY OF SAN ANTONIO, AND BEXAR COUNTY DESIGN STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN R.O.W. PRIOR TO CONSTRUCTION IN R.O.W.



| | |
|------------------------|-----|
| TOTAL PARKING PROVIDED | 302 |
|------------------------|-----|

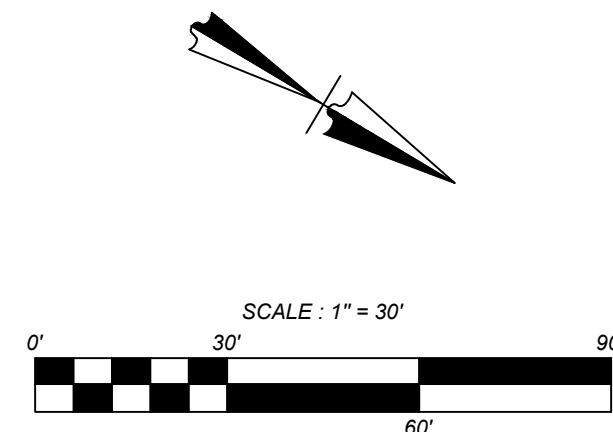
KEYED NOTES

- | | |
|--|--|
| 1. PARKING SPACES | 19. TXDOT STANDARD CURB (REF. SHEET C9.1) |
| 2. PARKING STRIPING (REF. SHEET C9.0) | 17. TXDOT CROSSWALK STRIPING (REF. SHEET C9.1) |
| 3. CROSSHATCH STRIPING (REF. SHEET C9.0) | 18. TXDOT WHEELCHAIR RAMP (REF. SHEET C9.2) |
| 4. CROSSWALK STRIPING (REF. SHEET C9.0) | 19. 2 - 2' WIDE SIDEWALK BOX DRAINS (REF. APPROVED TXDOT DRIVEWAY PLANS) |
| 5. 6" CONCRETE CURB (REF. SHEET C9.0) | 20. AREA LIGHT POLE AND BASE (REF. LIGHTING PLANS) |
| 6. FLUSH CURB (REF. SHEET C9.0) | 21. LANDSCAPE AREA (REF. LANDSCAPE PLANS) |
| 7. 2' CURB TRANSITION (REF. SHEET C9.0) | 22. FIRE RISER ACCESS (REF. ARCHITECTURAL PLANS) |
| 8. CONCRETE SIDEWALK (REF. SHEETS C3.1 & C9.0) | 23. COVERED PATIO (REF. ARCHITECTURAL PLANS) |
| 9. CONCRETE / CONCRETE JUNCTURE DETAIL (REF. SHEET C9.0) | 24. UNCOVERED / GARDEN PATIO (REF. ARCHITECTURAL PLANS) |
| 10. CONCRETE / ASPHALT JUNCTURE DETAIL (REF. SHEET C9.0) | 25. DUMPSTER ENCLOSURE (REF. ARCHITECTURAL PLANS) |
| 11. HANDICAP SIGN (REF. SHEET C9.0) | 26. SCREENING WALL (REF. ARCHITECTURAL PLANS) |
| 12. WHEELSTOP (REF. SHEET C9.0) | 27. LANDSCAPE WALL (REF. LANDSCAPE PLANS) |
| 13. CURB RAMP (REF. SHEET C9.0) | 28. COMPACT PARKING (REF. DETAIL ON THIS SHEET) |
| 14. 6' TXDOT SIDEWALK (REF. SHEET C9.0) | 29. 'DO NOT ENTER' SIGN (REF. APPROVED TXDOT DRIVEWAY PLANS) |
| 15. TXDOT STANDARD DRIVEWAY (REF. SHEET C9.1) | 30. ASPHALT / ASPHALT JUNCTURE DETAIL (REF. DETAIL ON THIS SHEET) |



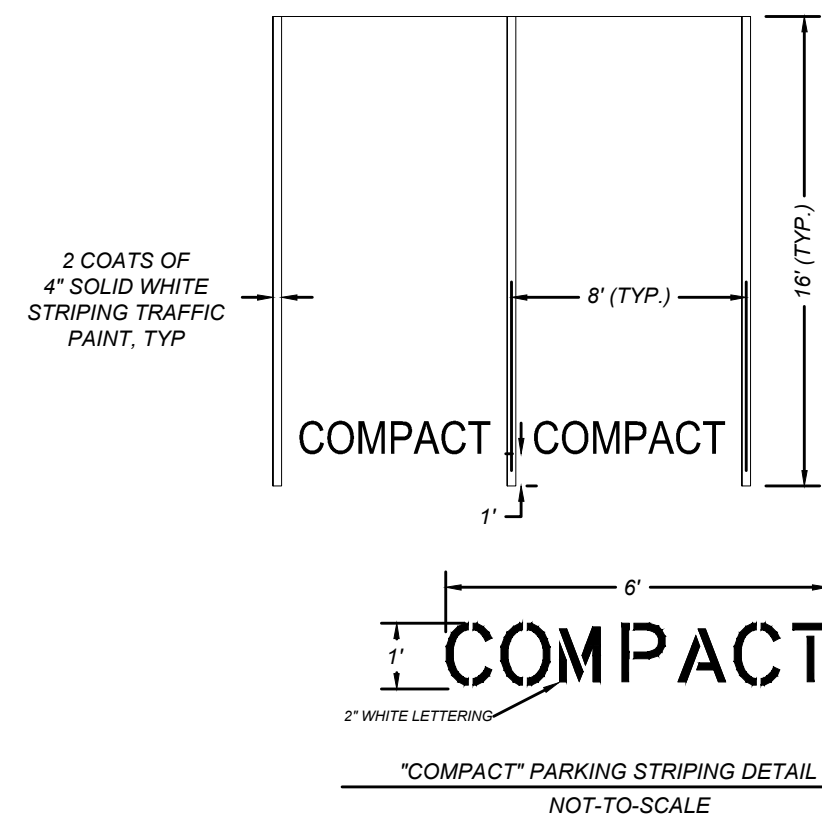
LOCATION MAP

NOT-TO-SCALE



LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING CONCRETE
- EXISTING FIRE HYDRANT
- EXISTING OVERHEAD ELECTRIC LINE & POWER POLE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE
- PROPOSED FIRE HYDRANT
- PROPOSED PARKING COUNT



COMPACT

2" WHITE LETTERING

"COMPACT" PARKING STRIPING DETAIL "A"

NOT-TO-SCALE

ISSUE DATE
09/12/2023
03/25/2024

REVISIONS
0. ISSUED FOR PRICING
1. SITE UPDATES



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
OVERALL SITE PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C2.0

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTORS' TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTORS' IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
BEING LOT 61, BLOCK 4, CB 4712, OF THE TO COMMERCIAL PLAT RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

- COORDINATION NOTE:**
- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0900
 - CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES (210) 353-2256
 - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-440-7828
 - CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES (210) 695-5985
 - CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297
 - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1379, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.451 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

| Curve # | LENGTH | RADIUS | DELTA | CHORD BRG | CHORD DIST |
|---------|--------|--------|------------|-------------|------------|
| C41 | 8.89' | 25.00' | 020°22'28" | S49°00'23"W | 8.84' |
| C42 | 12.15' | 10.00' | 069°37'32" | S04°00'23"W | 11.42' |
| C43 | 4.71' | 3.00' | 090°00'00" | S75°48'23"E | 4.24' |
| C44 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C45 | 4.71' | 3.00' | 090°00'00" | S75°48'23"E | 4.24' |
| C46 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C47 | 15.71' | 10.00' | 090°00'00" | N75°48'23"W | 14.14' |
| C48 | 26.48' | 15.00' | 101°07'56" | S08°37'40"W | 23.77' |
| C49 | 41.75' | 30.00' | 079°44'27" | S80°56'09"E | 38.48' |
| C50 | 47.12' | 30.00' | 090°00'00" | S75°48'23"E | 42.43' |
| C51 | 4.71' | 3.00' | 090°00'00" | S75°48'23"E | 4.24' |
| C52 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C53 | 4.19' | 3.00' | 080°01'23" | S70°49'04"E | 3.88' |
| C54 | 5.23' | 3.00' | 099°58'37" | S19°10'56"W | 4.60' |
| C55 | 41.89' | 25.00' | 096°00'54" | S78°48'49"E | 37.16' |
| C56 | 36.62' | 25.00' | 083°55'48" | N11°12'50"E | 33.43' |
| C57 | 19.71' | 5.88' | 192°12'03" | S30°43'15"E | 11.68' |
| C58 | 5.86' | 2.00' | 167°48'06" | N30°43'19"W | 3.96' |
| C59 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24' |
| C60 | 7.85' | 5.00' | 090°00'00" | S75°48'23"E | 7.07' |

| Curve # | LENGTH | RADIUS | DELTA | CHORD BRG | CHORD DIST |
|---------|--------|--------|------------|-------------|------------|
| C101 | 4.71' | 3.00' | 090°00'00" | N75°48'23"E | 4.24' |
| C102 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C103 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24' |
| C104 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24' |
| C105 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24' |
| C106 | 15.71' | 10.00' | 090°00'00" | S75°48'23"E | 14.14' |
| C107 | 15.71' | 10.00' | 090°00'00" | S14°11'37"W | 14.14' |
| C108 | 15.56' | 10.00' | 089°09'25" | S13°46'20"W | 14.04' |
| C109 | 4.76' | 3.00' | 090°50'35" | N76°13'40"W | 4.27' |
| C110 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C111 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24' |
| C112 | 4.71' | 3.00' | 090°00'00" | S14°11'37"W | 4.24' |
| C113 | 4.71' | 3.00' | 090°00'00" | N75°48'23"W | 4.24' |
| C114 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24' |
| C115 | 5.50' | 1.75' | 180°00'00" | N30°48'18"W | 3.50' |
| C116 | 4.71' | 3.00' | 090°00'00" | S75°48'23"E | 4.24' |
| C117 | 4.71' | 3.00' | 090°00'00" | N14°11'37"E | 4.24' |
| C118 | 15.51' | 25.00' | 035°32'15" | N76°37'49"E | 15.28' |
| C119 | 34.11' | 55.00' | 035°32'15" | N76°37'45"E | 33.57' |
| C120 | 15.71' | 10.00' | 090°00'00" | S75°48'23"E | 14.14' |

| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L1 | 8.16' | N24°20'41"W |
| L2 | 26.69' | S85°22'38"W |
| L3 | 43.50' | S47°44'34"E |
| L4 | 13.49' | S30°48'23"E |
| L5 | 15.00' | N59°11'37"E |
| L6 | 86.00' | S30°48'23"E |
| L7 | 16.00' | S59°11'37"W |
| L8 | 5.00' | S30°48'23"E |
| L9 | 16.00' | N59°11'37"E |
| L10 | 63.00' | S30°48'23"E |
| L11 | 25.00' | S59°11'37"W |
| L12 | 15.28' | S30°48'23"E |
| L13 | 40.00' | S59°11'37"W |
| L14 | 178.96' | S72°50'36"W |
| L15 | 5.67' | N30°57'42"W |
| L16 | 14.89' | S59°11'37"W |
| L17 | 89.00' | N30°48'23"W |
| L18 | 15.00' | S59°11'37"E |
| L19 | 5.00' | N30°48'23"W |
| L20 | 15.00' | S59°11'37"W |

| Line # | LENGTH | DIRECTION |
|--------|--------|-------------|
| L21 | 61.00' | N30°48'23"W |
| L22 | 14.53' | N59°11'37"E |
| L23 | 17.24' | S59°11'37"W |
| L24 | 4.50' | S30°48'23"E |
| L25 | 41.83' | S59°11'37"E |
| L26 | 50.00' | N30°48'23"W |
| L27 | 45.58' | N59°11'37"E |
| L28 | 4.50' | S30°48'23"E |
| L29 | 13.49' | N59°11'37"E |
| L30 | 15.00' | S30°48'23"E |
| L31 | 43.00' | N30°48'23"W |
| L32 | 15.00' | N59°11'37"E |
| L33 | 40.00' | S59°11'37"W |
| L34 | 15.00' | S59°11'37"W |
| L35 | 54.00' | N30°48'23"W |
| L36 | 15.00' | N59°11'37"E |
| L37 | 5.00' | N30°48'23"W |
| L38 | 15.00' | S59°11'37"W |
| L39 | 34.00' | N30°48'23"W |
| L40 | 15.00' | N59°11'37"E |

| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L41 | 0.83' | N30°48'23"W |
| L42 | 39.74' | S59°11'37"W |
| L43 | 39.74' | N59°11'37"E |
| L44 | 31.78' | N30°48'23"W |
| L45 | 15.00' | S59°11'37"W |
| L46 | 67.00' | N30°48'23"W |
| L47 | 15.00' | N59°11'37"E |
| L48 | 20.50' | N30°48'23"W |
| L49 | 17.27' | N30°48'23"W |
| L50 | 77.00' | N59°11'37"E |
| L51 | 15.00' | S30°48'23"E |
| L52 | 9.08' | N59°11'37"E |
| L53 | 9.21' | N30°48'23"W |
| L54 | 15.00' | S59°11'37"W |
| L55 | 37.00' | N30°48'23"W |
| L56 | 15.00' | N59°11'37"E |
| L57 | 121.11' | N30°48'23"W |
| L58 | 45.22' | S30°48'13"E |
| L59 | 27.25' | N30°48'10"W |
| L60 | 28.08' | S59°11'30"W |

| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L61 | 36.00' | N30°48'10"W |
| L62 | 15.11' | N59°11'50"E |
| L63 | 143.67' | N11°47'34"E |
| L64 | 36.78' | N59°11'37"E |
| L65 | 31.51' | N30°49'54"W |
| L66 | 36.81' | S59°11'37"W |
| L67 | 15.00' | N59°11'37"E |
| L68 | 72.00' | S30°48'23"E |
| L69 | 15.00' | S59°11'37"W |
| L70 | 30.75' | N30°48'23"W |
| L71 | 15.00' | N59°11'37"E |
| L72 | 198.00' | S30°48'23"E |
| L73 | 15.00' | S59°11'37"W |
| L74 | 16.00' | S30°48'23"E |
| L75 | 32.00' | S59°11'37"W |
| L76 | 25.77' | N30°48'23"W |
| L77 | 4.51' | S59°11'37"W |
| L78 | 40.57' | S42°07'29"E |
| L79 | 10.75' | N59°11'37"E |
| L80 | 9.85' | S30°48'23"E |

| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L81 | 15.00' | N59°11'37"E |
| L82 | 113.00' | S30°48'23"E |
| L83 | 15.00' | N59°11'37"E |
| L84 | 7.08' | S30°48'23"W |
| L85 | 14.77' | N30°10'15"E |
| L86 | 72.00' | S20°49'45"E |
| L87 | 13.99' | S69°10'15"W |
| L88 | 11.06' | S30°48'23"E |
| L89 | 11.03' | N53°10'44"E |
| L90 | 385.16' | N30°45'04"W |
| L91 | 150.78' | N25°02'50"W |
| L92 | 98.89' | N30°45'25"W |
| L93 | 104.60' | S30°48'23"E |
| L94 | 155.39' | S72°50'36"W |
| L95 | 14.88' | N30°48'23"E |
| L96 | 63.00' | N30°48'23"W |
| L97 | 15.00' | S59°11'37"W |
| L98 | 3.00' | S30°48'23"W |
| L99 | 37.00' | N30°48'23"W |
| L100 | 16.22' | S30°48'23"E |

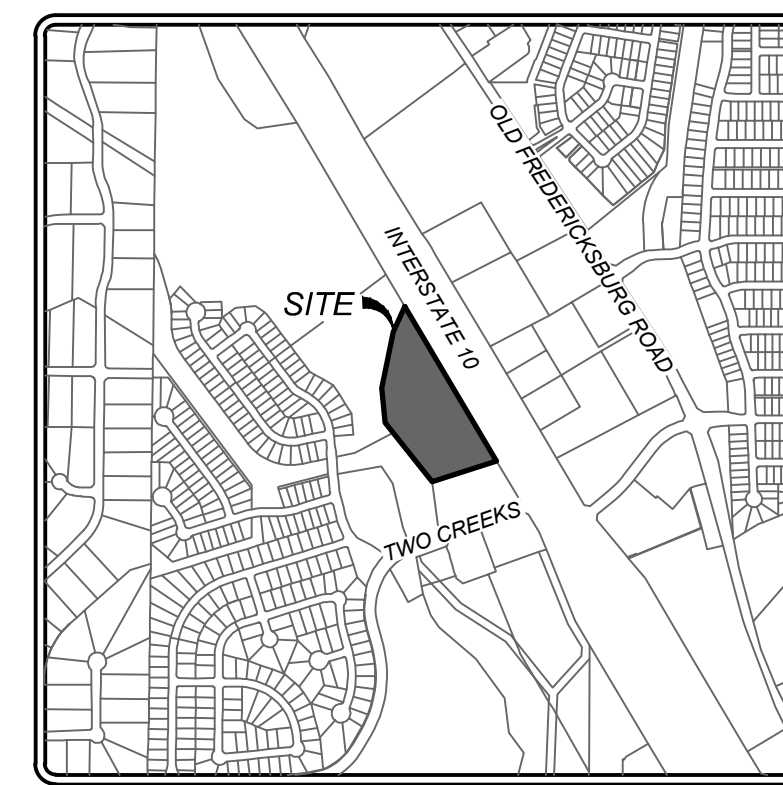
| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L101 | 144.00' | N59°11'37"E |
| L102 | 15.00' | N30°48'23"W |
| L103 | 6.00' | N59°11'37"W |
| L104 | 15.00' | N30°48'23"W |
| L105 | 15.00' | N30°48'23"W |
| L106 | 1.68' | N59°11'37"E |
| L107 | 27.18' | S47°44'49"E |
| L108 | 0.80' | S59°11'37"W |
| L109 | 6.25' | S59°11'37"W |
| L110 | 15.00' | N30°48'23"W |
| L111 | 12.54' | S30°48'23"E |
| L112 | 15.88' | N65°22'38"E |
| L113 | 97.54' | S30°48'23"E |
| L114 | 89.00' | S59°11'37"W |
| L115 | 14.19' | N30°48'23"W |
| L116 | 15.00' | S30°48'23"E |
| L117 | 30.00' | N30°48'23"W |
| L118 | 3.00' | S59°11'37"W |
| L119 | 16.00' | N30°48'23"W |
| L120 | 6.97' | S30°48'23"E |

| Line # | LENGTH | DIRECTION |
|--------|---------|-------------|
| L121 | 15.00' | S59°11'37"W |
| L122 | 8.95' | S30°48'23"E |
| L123 | 14.62' | S59°08'36"W |
| L124 | 6.00' | N59°11'37"E |
| L125 | 4.56' | N30°48'23"W |
| L126 | 8.00' | N59°11'37"E |
| L127 | 15.00' | N30°48'23"W |
| L128 | 117.00' | N59°11'37"E |
| L129 | 15.00' | N30°48'23"W |
| L130 | 51.00' | N30°48'23"W |
| L131 | 14.32' | S30°48'23"E |
| L132 | 36.00' | N59°11'37"E |
| L133 | 14.87' | N30°48'23"W |
| L134 | 25.90' | S20°49'45"E |
| L135 | 31.85' | S30°48'23"E |
| L136 | 30.00' | S30°48'23"E |
| L137 | 30.00' | N30°48'23"W |
| L138 | 1.00' | S59°11'37"W |
| L139 | 1.00' | S59°11'37"W |
| L140 | 16.00' | N30°48'23"W |

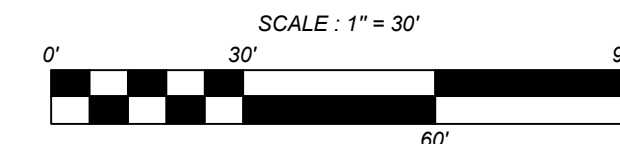
| Line # | LENGTH | DIRECTION |
|--------|--------|-------------|
| L141 | 1.00' | N59°11'37"E |
| L142 | 30.00' | S30°48'23"W |
| L143 | 1.00' | S59°11'37"W |
| L144 | 16.00' | N30°48'23"W |
| L145 | 30.00' | S30°48'23"W |
| L146 | 4.00' | N59°11'37"E |
| L147 | 24.67' | N59°11'37"W |
| L148 | 30.00' | N30°48'23"W |
| L149 | 12.00' | N59°11'37"E |
| L150 | 30.00' | S30°48'23"W |
| L151 | 12.00' | S59°11'37"W |
| L152 | 30.00' | N30°48'23"W |
| L153 | 16.00' | S30°48'23"E |
| L154 | 62.10' | S30°48'23"E |
| L155 | 15.00' | N30°48'23"W |
| L156 | 54.00' | S59°11'37"W |
| L157 | 15.00' | S30°48'23"W |
| L158 | 13.00' | S59°11'37"W |
| L159 | 15.00' | N30°48'23"W |
| L160 | 45.00' | S59°11'37"W |

| Line # | LENGTH | DIRECTION |
|--------|--------|-------------|
| L161 | 15.00' | S30°48'23"E |
| L162 | 3.10' | S59°11'37"W |
| L163 | 15.50' | N30°48'23"W |
| L164 | 15.00' | N59°11'37"E |
| L165 | 72.00' | N30°48'23"W |
| L166 | 16.25' | S59°11'37"W |
| L167 | 24.67' | N59°11'37"E |
| L168 | 15.99' | S30°48'23"E |
| L169 | 15.99' | N30°48'23"W |
| L170 | 13.33' | N59°11'37"E |
| L171 | 5.75' | N59°11'37"E |
| L172 | 30.00' | N30°48'16"W |
| L173 | 6.05' | N59°11'41"E |
| L174 | 10.05' | S41°56'18"E |
| L175 | 27.81' | S59°11'42"W |
| L176 | 14.53' | S30°48'10"E |
| L177 | 9.00' | S59°22'11"W |
| L178 | 15.00' | S59°11'37"W |
| L179 | 1.34' | S59°11'37"W |
| L180 | 1.00' | N30°48'23"W |

| Line # | LENGTH | DIRECTION |
|--------|--------|-------------|
| L181 | 15.00' | N59°11'37"E |
| L182 | 29.96' | S59°11'37"E |
| L183 | 29.96' | N59°11'37"E |
| L184 | 16.00' | S59°11'37"W |
| L185 | 7.45' | N30°48'23"W |
| L186 | 30.00' | N59°11'37"E |
| L187 | 7.45' | S30°48'23"E |
| L188 | 7.77' | S59°11'37"W |
| L189 | 6.83' | N59°11'37"E |
| L190 | 16.00' | S59°11'37"W |
| L191 | 17.79' | N11°47'34"E |
| L192 | 21.23' | S30°48'23"E |
| L193 | 29.91' | S59°11'37"W |
| L194 | 36.26' | S65°22'38"E |
| L195 | 36.26' | N63°10'44"E |
| L196 | 2.00' | N59°11'37"E |
| L197 | 3.00' | N59°11'37"W |
| L198 | 1.00' | S59°11'37"W |
| L199 | 7.77' | S59°11'37"W |
| L200 | 6.83' | N59°11'37"E |



LOCATION MAP
NOT-TO SCALE



LEGEND

- | | |
|--|-----|
| PROPERTY LINE | --- |
| EXISTING CONCRETE CURB | --- |
| EXISTING CONCRETE | --- |
| EXISTING FIRE HYDRANT | --- |
| EXISTING OVERHEAD ELECTRIC LINE & POWER POLE | --- |
| PROPOSED CONCRETE CURB | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED FIRE HYDRANT | --- |
| PROPOSED LIGHT POLE | --- |

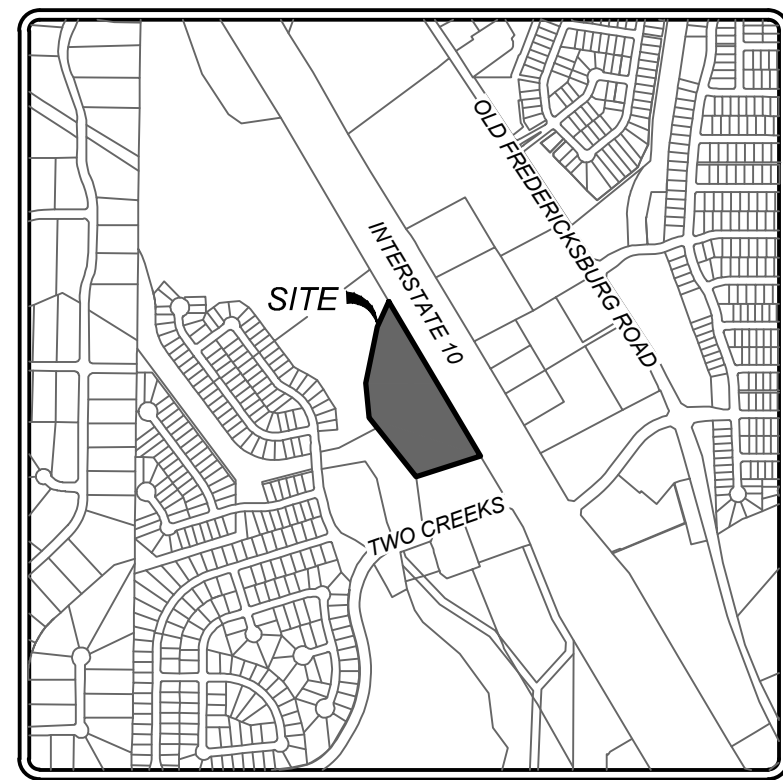
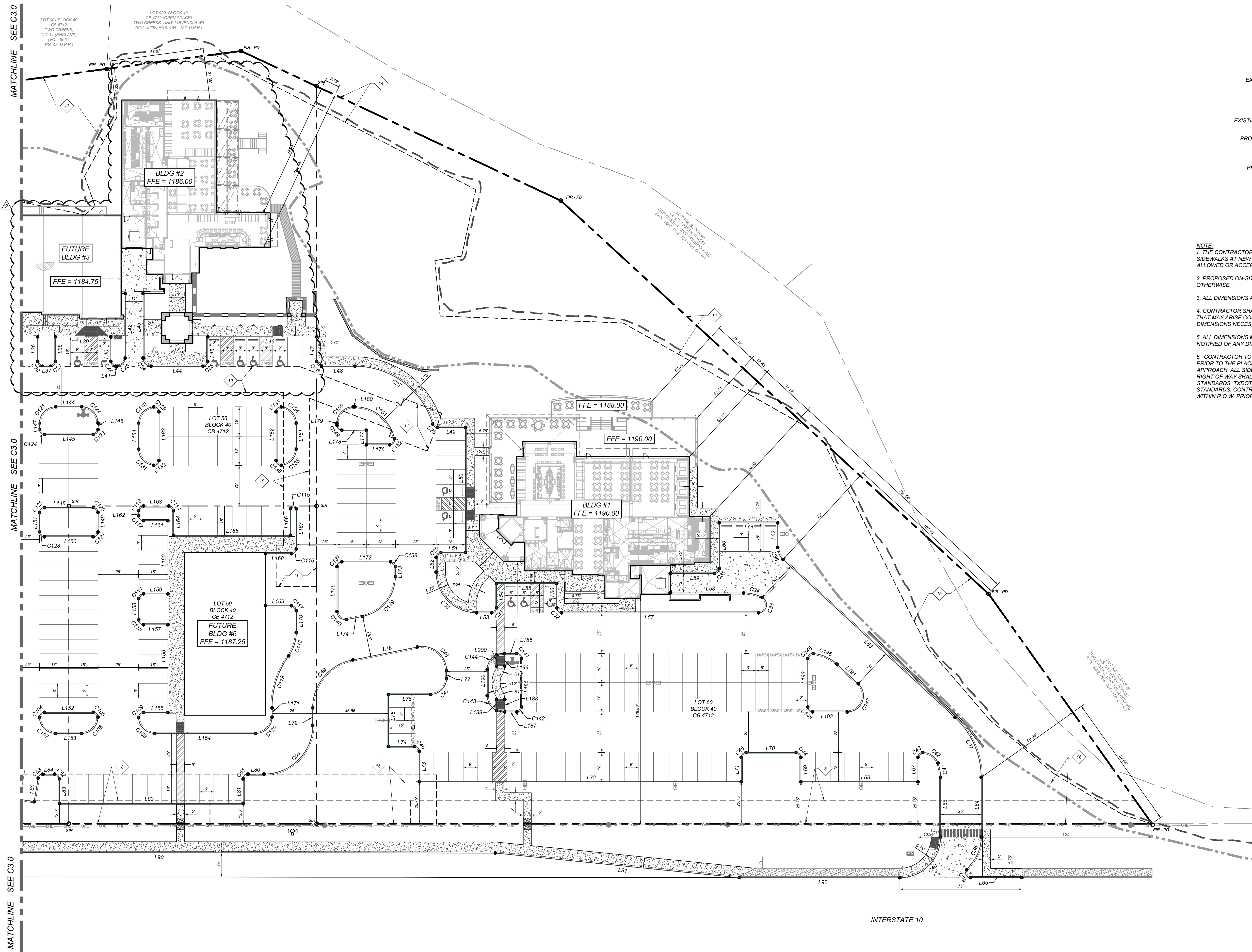
TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

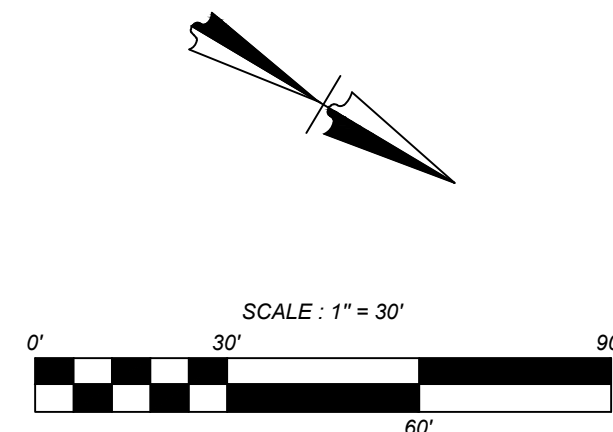
LEGAL DESCRIPTION
BEING LOT #1, BLOCK #4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

- COORDINATION NOTE:**
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0900.
 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210) 353-2256.
 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-440-7828.
 4. CONTACT SFU (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985.
 5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|--|--|
| 1. 10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16. WATER EASEMENT |
| 2. 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 17. 18" SANITARY SEWER EASEMENT |
| 3. VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 18. 28" X 28" SANITARY SEWER TURNAROUND EASEMENT |
| 4. 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | 19. VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 5. 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | 20. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 6. 16' WATER EASEMENT (PLAT NO. 23-11800148) | 21. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 7. 16' SEWER EASEMENT (PLAT NO. 23-11800148) | 22. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 8. 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 23. 25' BUILDING SETBACK LINE |



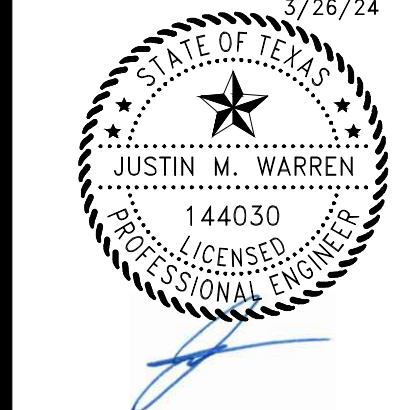
LOCATION MAP
NOT-TO SCALE



LEGEND

- PROPERTY LINE** (---)
- EXISTING CONCRETE CURB** (---)
- EXISTING CONCRETE** (---)
- EXISTING FIRE HYDRANT** (---)
- EXISTING OVERHEAD ELECTRIC LINE & POWER POLE** (---)
- PROPOSED CONCRETE CURB** (---)
- PROPOSED CONCRETE** (---)
- PROPOSED FIRE HYDRANT** (---)
- PROPOSED LIGHT POLE** (---)

- NOTE:**
1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
 2. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING.
 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
 5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
 6. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH TxDOT INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, TxDOT, CITY OF SAN ANTONIO, AND BEXAR COUNTY DESIGN STANDARDS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK WITHIN R.O.W. PRIOR TO CONSTRUCTION IN R.O.W.



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
DIMENSIONAL CONTROL PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C3.1

Date: Mar 26, 2024, 11:48am User: D:\JWarren
File: K:\9430102\Design\Civil\PA430102.dwg

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

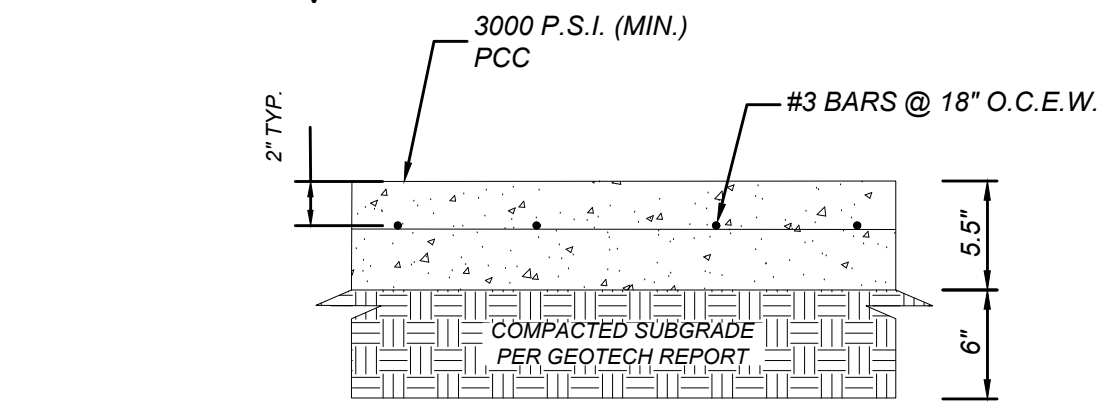
LEGAL DESCRIPTION
BEING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

COORDINATION NOTE:

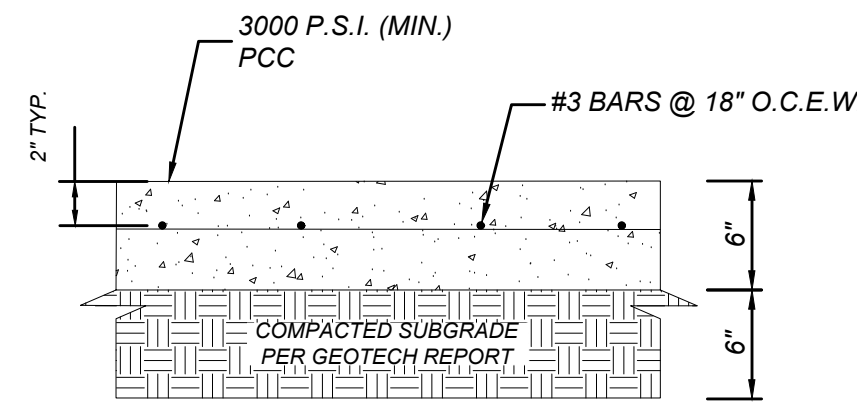
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-344-9200.
2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7268.
4. CONTACT GFL (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985.
5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

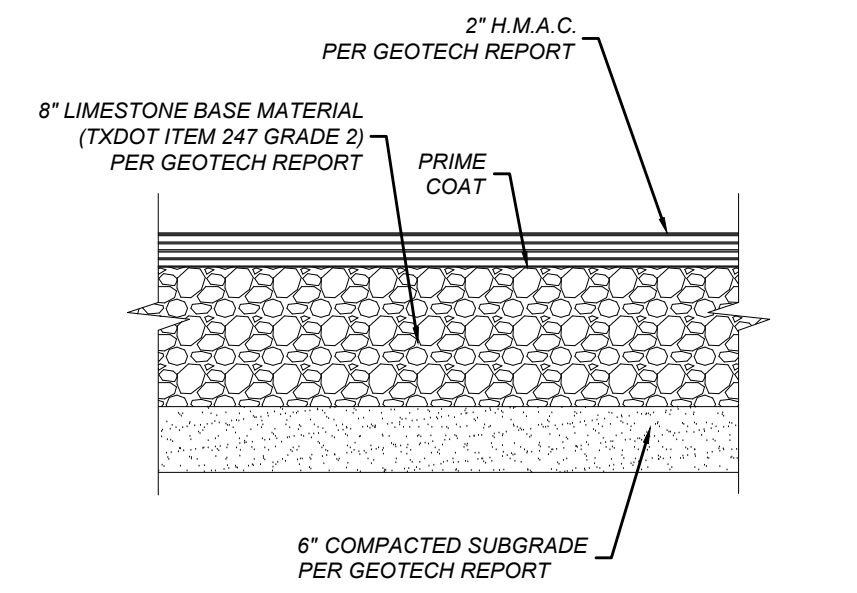
- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 2' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |



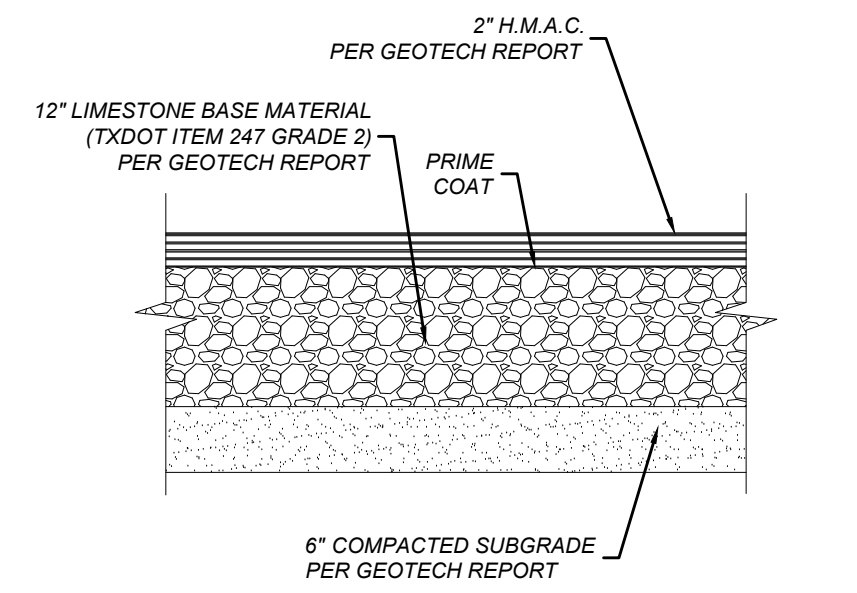
LIGHT DUTY CONCRETE PAVEMENT SECTION
NOT-TO-SCALE



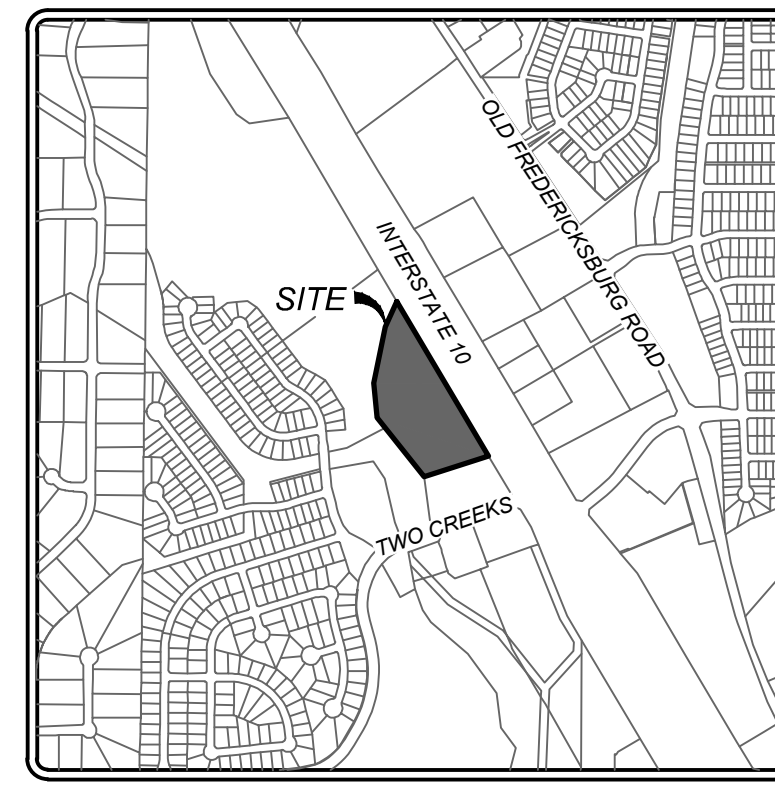
HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT-TO-SCALE



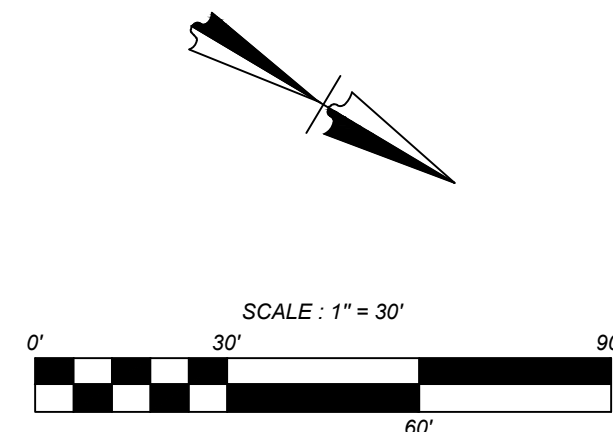
LIGHT DUTY ASPHALT PAVEMENT SECTION
NOT-TO-SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT-TO-SCALE



LOCATION MAP
NOT-TO-SCALE



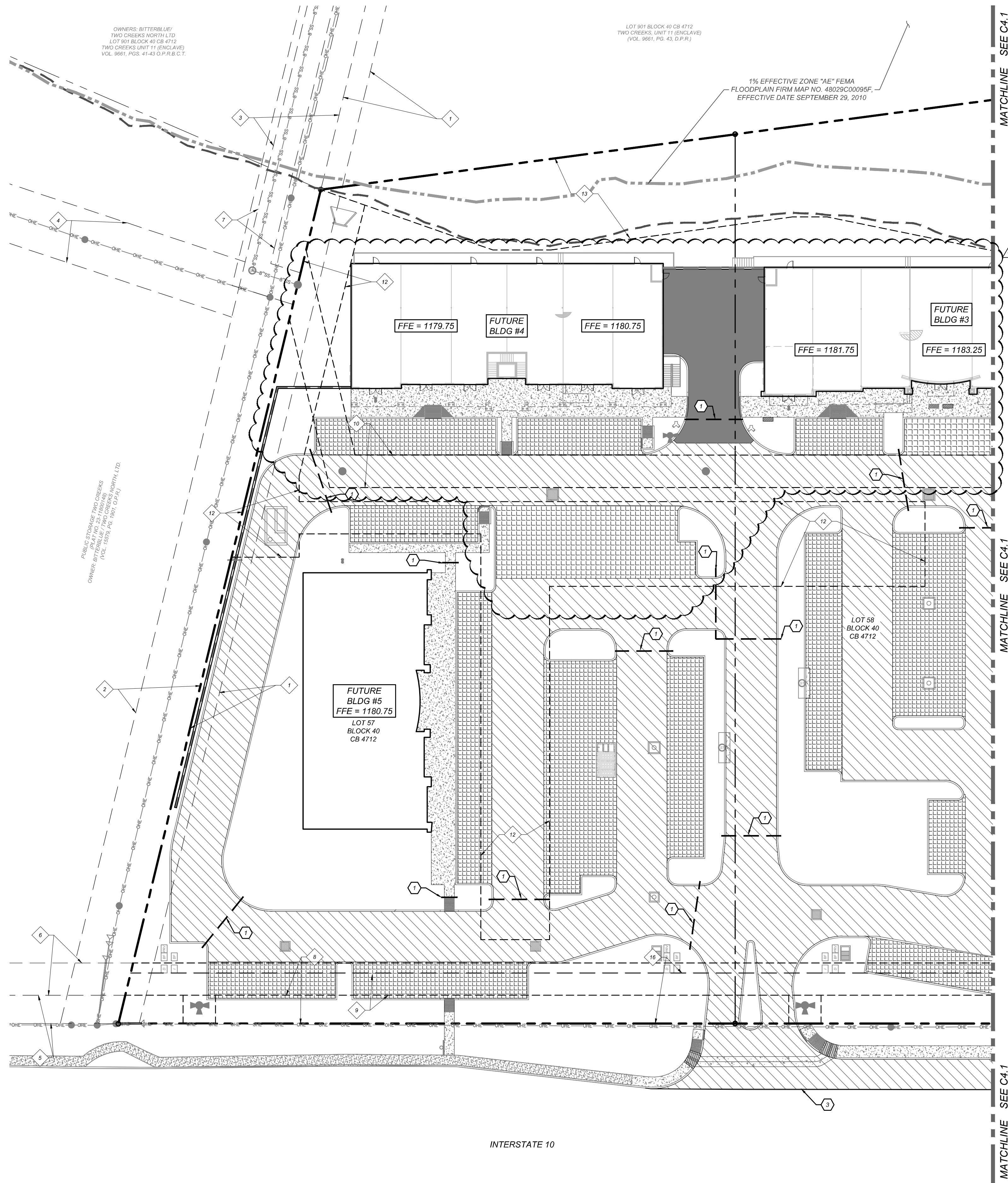
LEGEND

- | | |
|-------------------------------------|-----|
| PROPERTY LINE | --- |
| EXISTING CONCRETE CURB | --- |
| EXISTING CONCRETE | --- |
| PROPOSED CONCRETE CURB | --- |
| PROPOSED CONCRETE | --- |
| HEAVY DUTY ASPHALT PAVEMENT | --- |
| LIGHT DUTY ASPHALT PAVEMENT | --- |
| PROPOSED CONCRETE DRIVEWAY PAVEMENT | --- |
| LIGHT DUTY CONCRETE PAVEMENT | --- |
| HEAVY DUTY CONCRETE PAVEMENT | --- |

KEYED NOTES

1. IRRIGATION SLEEVES (REF. LANDSCAPE PLANS FOR DETAILS)
2. TRASH ENCLOSURE (REF. ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS)
3. MATCH EXISTING ASPHALT PAVEMENT (REF. SHEET C9.0 FOR DETAILS)
4. TXDOT CONCRETE DRIVEWAY (REF. SHEET C9.1 FOR DETAILS)

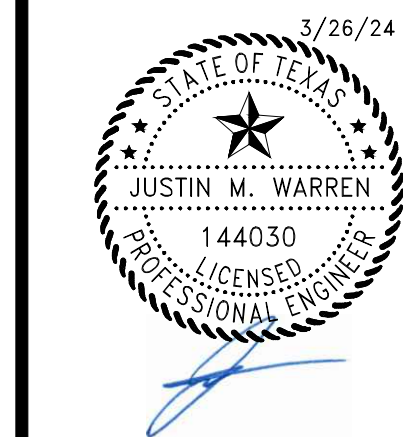
CONTRACTOR TO REFERENCE IRRIGATION / LANDSCAPE PLANS FOR LOCATIONS OF ALL IRRIGATION SLEEVES



ENGINEERS + SURVEYING
has joined Collins Engineering & Design
3421 Palisades Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-9444 • Fax #: (210) 979-9441
1501 E. Palm St., Suite 100, San Antonio, TX 78203

ISSUE DATE: 09/13/2023
0 ISSUED FOR PRICING
1. SITE UPDATES
02/22/2024

REVISIONS



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
PAVING PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C4.0

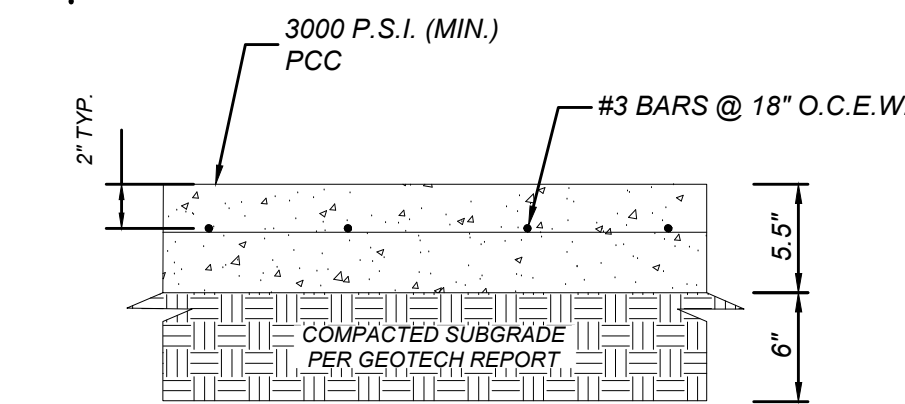
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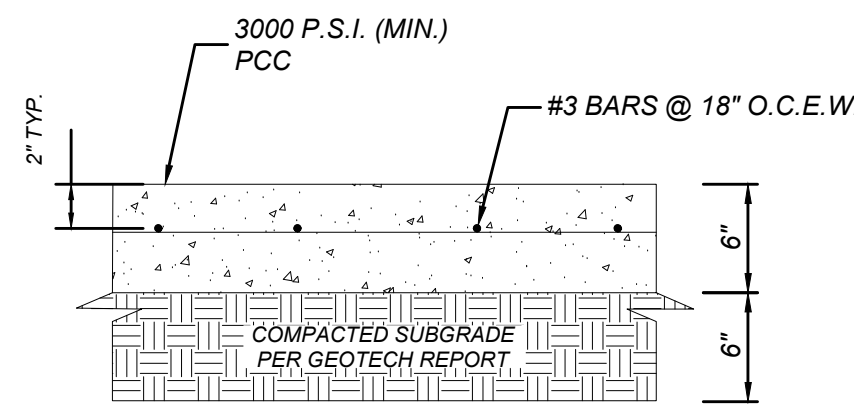
LEGAL DESCRIPTION
BEING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

- COORDINATION NOTE:**
- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210)-344-0900.
 - CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.
 - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
 - CONTACT SFU (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985.
 - CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
 - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

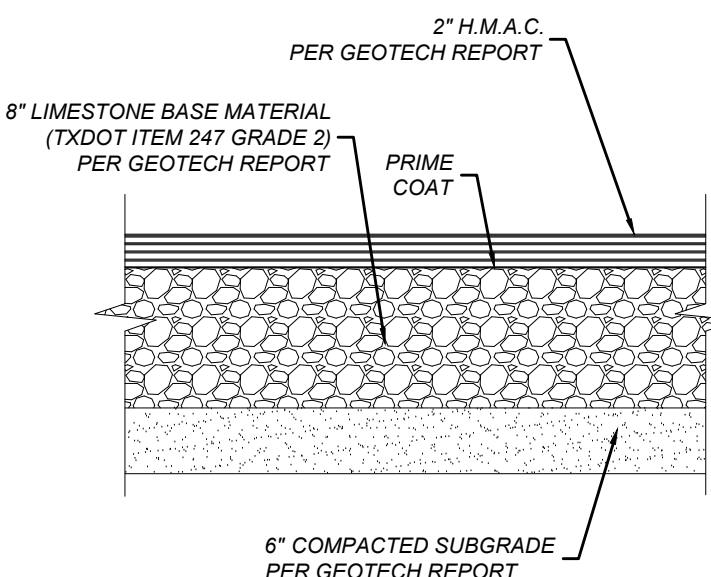
- EASEMENT KEY NOTES**
- | | |
|---|--|
| 10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 28' X 28' SANITARY SEWER TURNAROUND EASEMENT |
| 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |



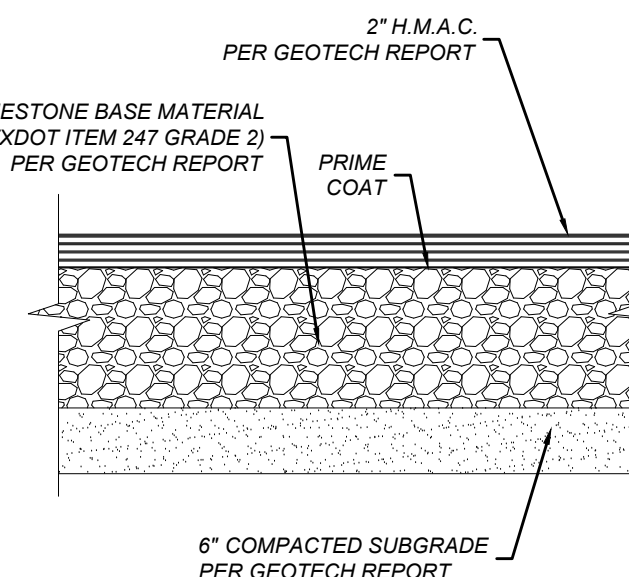
LIGHT DUTY CONCRETE PAVEMENT SECTION
NOT-TO-SCALE



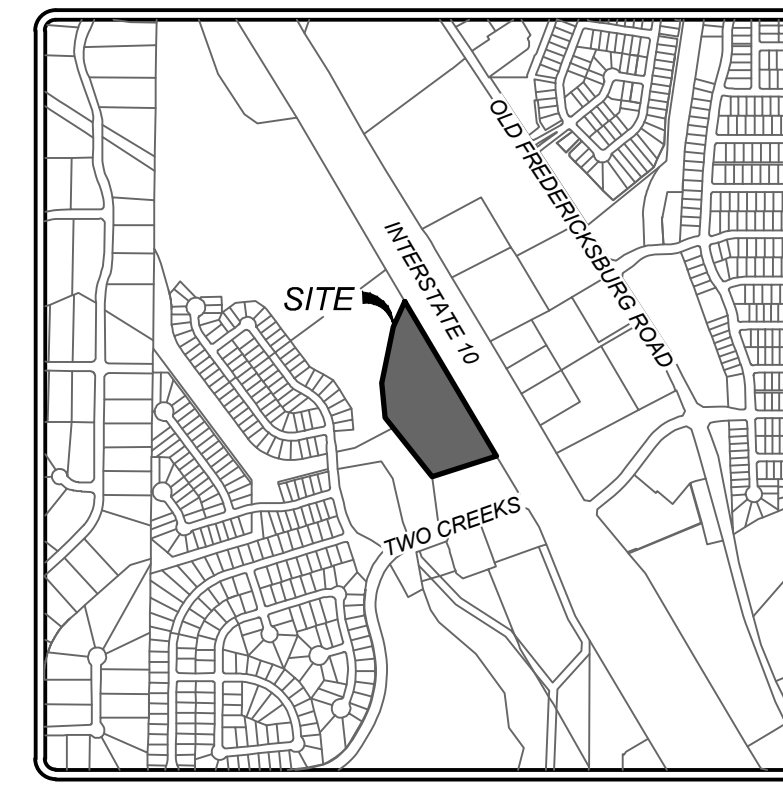
HEAVY DUTY CONCRETE PAVEMENT SECTION
NOT-TO-SCALE



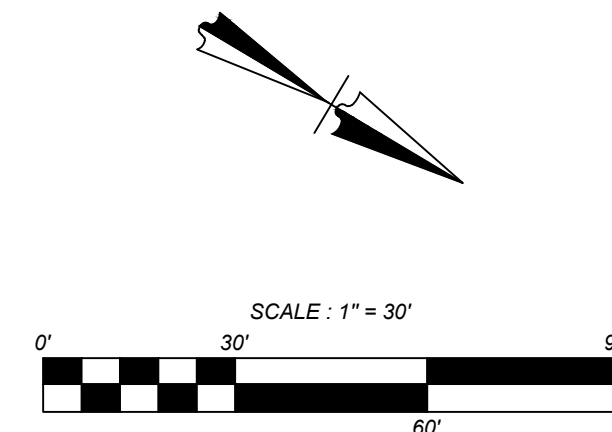
LIGHT DUTY ASPHALT PAVEMENT SECTION
NOT-TO-SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT-TO-SCALE



LOCATION MAP
NOT-TO-SCALE



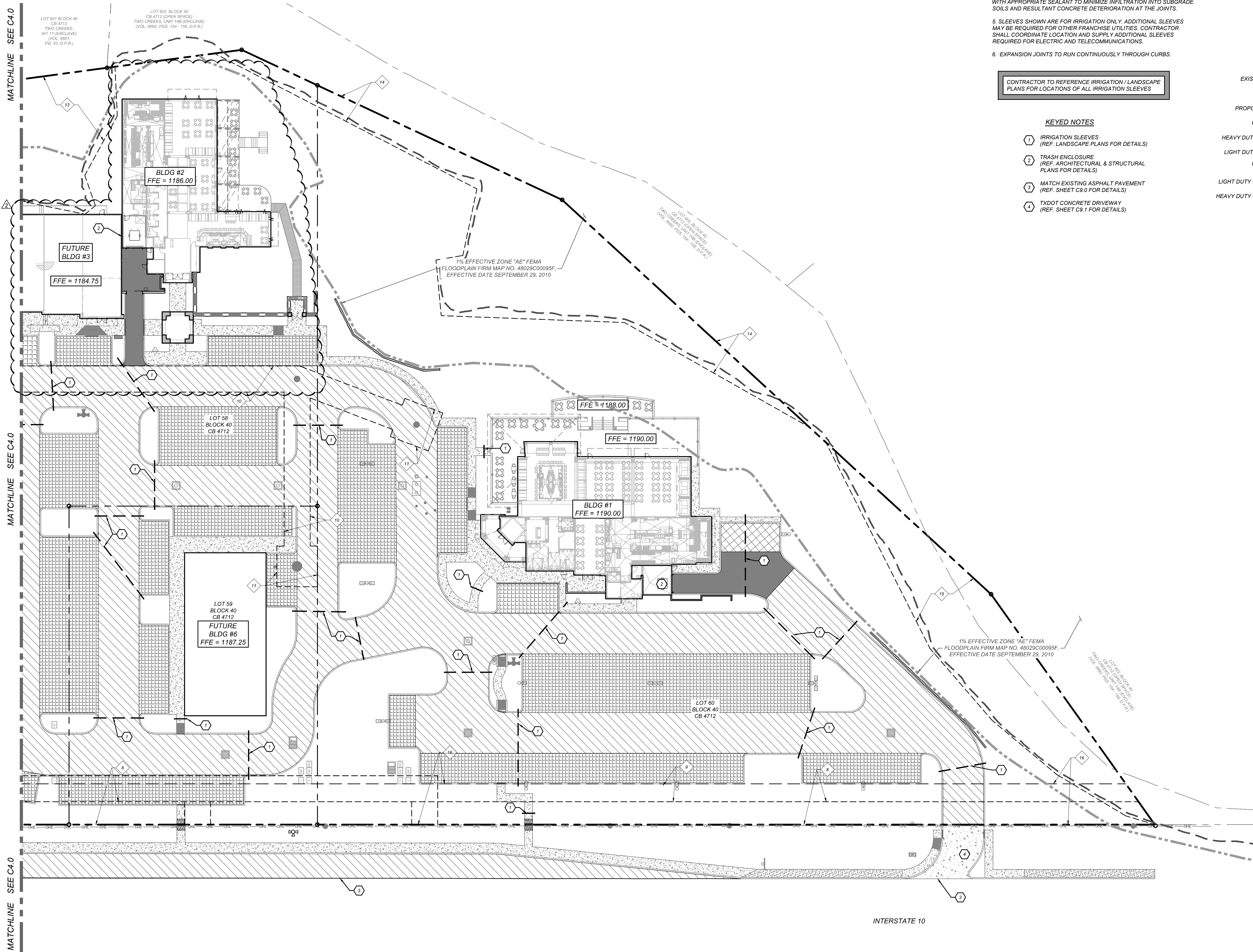
LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING CONCRETE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE DRIVEWAY PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT

KEYED NOTES

- IRRIGATION SLEEVES (REF. LANDSCAPE PLANS FOR DETAILS)
- TRASH ENCLOSURE (REF. ARCHITECTURAL & STRUCTURAL PLANS FOR DETAILS)
- MATCH EXISTING ASPHALT PAVEMENT (REF. SHEET C9.0 FOR DETAILS)
- TxDOT CONCRETE DRIVEWAY (REF. SHEET C9.1 FOR DETAILS)

CONTRACTOR TO REFERENCE IRRIGATION / LANDSCAPE PLANS FOR LOCATIONS OF ALL IRRIGATION SLEEVES



CAUTION! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION:
BEING LOT 61, BLOCK 4, CB 4712, OF THE TC COMMERCIAL
PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT
RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

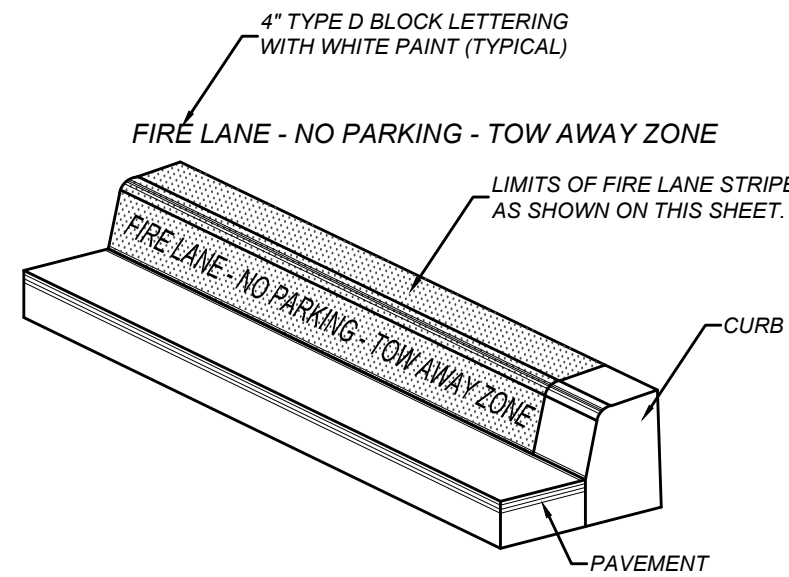
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE. (210)-244-0500.
2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
4. CONTACT GFU (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985.
5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

- | | | | |
|----|---|----|---|
| 10 | 10' SOUTHWESTERN BELT EASEMENT (VOL. 1378 PG. 231, O.P.R.) | 18 | 18' WATER EASEMENT |
| 28 | 28' GAS & ELECTRIC EASEMENT (VOL. 9601 PG. 41-42 O.P.R.) | 19 | 19' SANITARY SEWER EASEMENT |
| 29 | 29' VARIABLE WITH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9601 PG. 41-42 O.P.R.) | 20 | 20' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 29 | 29' TELEVISION EASEMENT (VOL. 17042 PG. 1973, O.P.R.) | 25 | 25' VARIABLE WITH PRIVATE DRAINAGE EASEMENT OF 0.483 ACRES PERMEABLE |
| 44 | 44' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | 26 | 26' VARIABLE WITH PUBLIC DRAINAGE EASEMENT OF 0.421 ACRES PERMEABLE |
| 16 | 16' WATER EASEMENT (PLAT NO. 23-11800148) | 28 | 28' VARIABLE WITH PUBLIC DRAINAGE EASEMENT OF 0.278 ACRES PERMEABLE |
| 16 | 16' SEWER EASEMENT (PLAT NO. 23-11800148) | 29 | 29' VARIABLE WITH PUBLIC DRAINAGE EASEMENT OF 0.712 ACRES PERMEABLE |
| 44 | 44' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 29 | 29' BUILDING SETBACK LINE |

APPLICATION:

1. ALONG CURBED AREAS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB. PAINT WHITE LETTERS ON FACE OF CURB ONLY.
2. ALONG NON-CURBED AREAS: PAINT RED LANE STRIPE ON PAVEMENT AND PAINT WHITE LETTERS.
3. 50' FOOT (MAX.) SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.



FIRE SIGN LOCATION NOTE:
FIRE SIGN LOCATION SHALL BE DETERMINED BY FIRE
MARSHAL / INSPECTOR PRIOR TO CONSTRUCTION



LESS THAN 40° : ONE SIGN WITH DOUBLE ARROW
0° TO 90° : TWO SIGNS WITH RIGHT AND LEFT ARROWS
100° OR MORE : THREE SIGNS WITH RIGHT/LEFT AND
DOUBLE ARROWS IN THE MIDDLE
ALL SIGNS SHOULD BE VISIBLE TO THE DRIVER

FIRE LANE SIGN TYPE "C"
N.T.S.



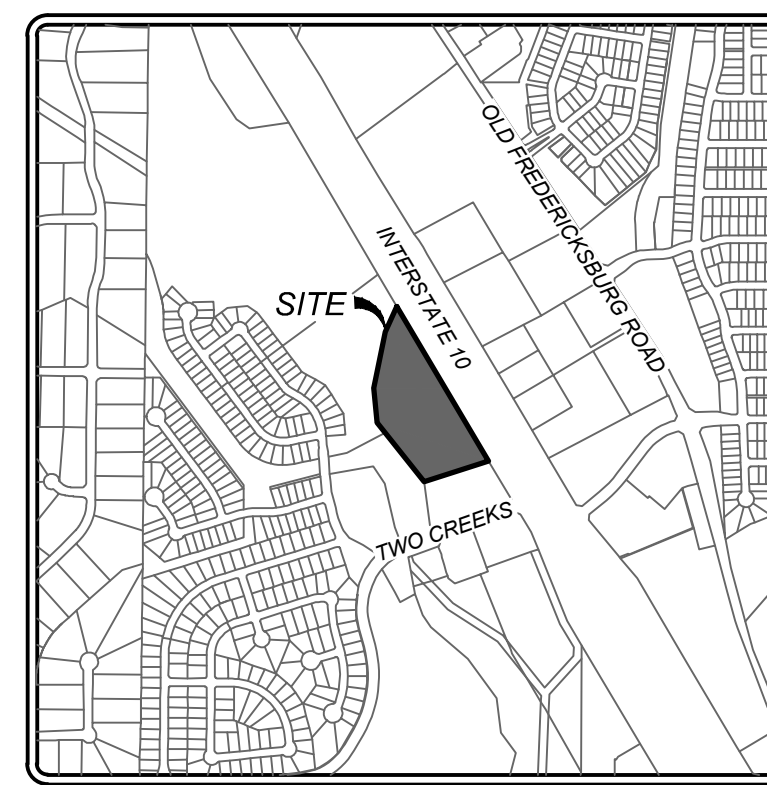
LESS THAN 40' : ONE SIGN WITH DOUBLE ARROW
40' TO 90' : TWO SIGNS WITH RIGHT AND LEFT ARROWS
100' OR MORE : THREE SIGNS WITH RIGHT/LEFT AND
DOUBLE ARROWS IN THE MIDDLE
ALL SIGNS SHOULD BE VISIBLE TO THE DRIVER

FIRE LANE SIGN TYPE "A"
N.T.S.

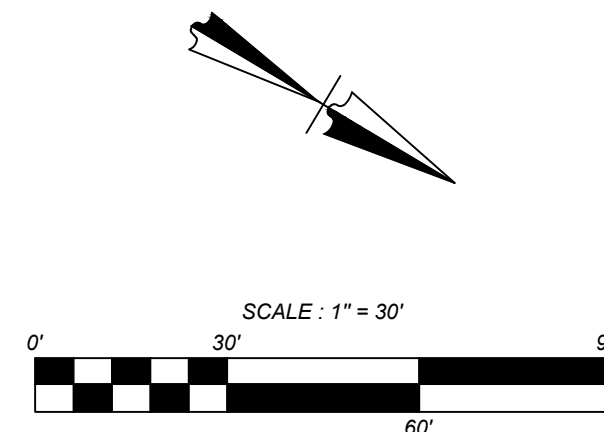


LESS THAN 40' : ONE SIGN WITH DOUBLE ARROW
40' TO 90' : TWO SIGNS WITH RIGHT AND LEFT ARROWS
100' OR MORE : THREE SIGNS WITH RIGHT/LEFT AND
DOUBLE ARROWS IN THE MIDDLE
ALL SIGNS SHOULD BE VISIBLE TO THE DRIVER

FIRE LANE SIGN TYPE "B"
N.T.S.

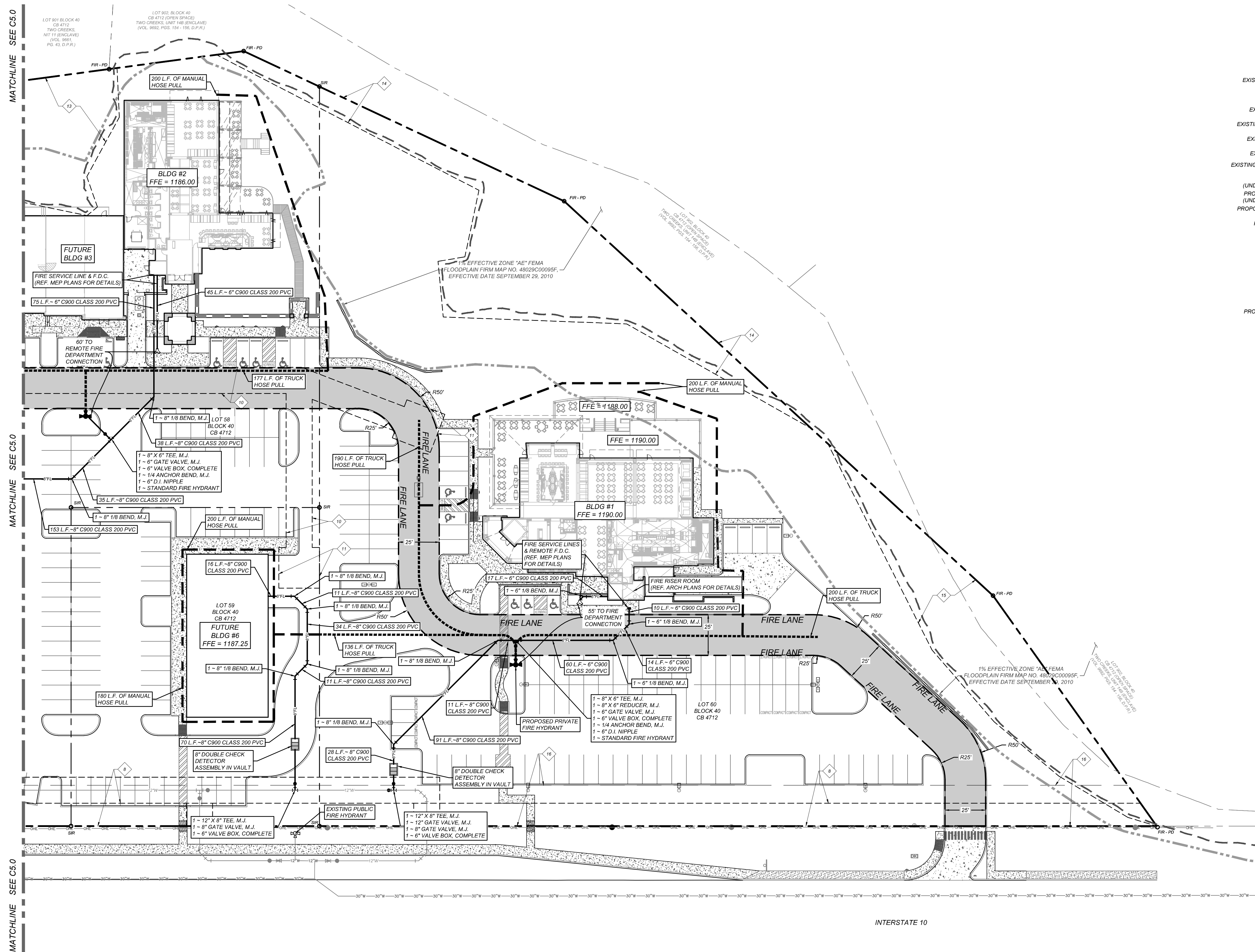


LOCATION MAP
NOT-TO-SCALE



LEGEND

-
- PROPERTY LINE**
- EXISTING CONCRETE CURB**
- EXISTING CONCRETE**
- EXISTING FIRE HYDRANT**
- EXISTING 30" D.I. WATER LINE**
- EXISTING 12" WATER LINE**
- EXISTING 6" WATER LINE**
- EXISTING OVERHEAD ELECTRIC LINE & POWER POLE**
- 12" WATER LINE (UNDER SEPARATE COVER)**
- PROPOSED FIRE HYDRANT (UNDER SEPARATE COVER)**
- PROPOSED CONCRETE CURB**
- PROPOSED CONCRETE**
- TRUCK HOSE ROLL (50' MAX)**
- MANUAL HOSE ROLL (50' MAX)**
- PROPOSED FIRE LANE**
- PROPOSED 8" FIRE WATER LINE**
- PROPOSED 6" FIRE WATER LINE**
- PROPOSED FIRE HYDRANT**



MATCHLINE SEE C5.0

MATCHLINE SEE C5.0

MATCHLINE SEE C5.0

Date: Mar 26, 2024, 11:47am User ID: JWarren
File: K:\943101\02\Design\Civil\FP9430102.dwg

KIEWIT ENGINEERS + SURVEYING
has joined Colliers Engineering & Design
34241 Passano Pkwy, Suite 200, San Antonio, TX 78231
Phone # (210) 979-8444 • Fax # (210) 979-8441
TBE Firm # 9513 • TBE S Firm # 10122300

| ISSUE DATE | REVISIONS |
|------------|-----------------------|
| 09/13/2023 | 0. ISSUED FOR PRICING |
| 02/23/2024 | 1. TXDOT COMMENTS |
| 03/25/2024 | 2. SITE UPDATES |



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
FIRE PROTECTION PLAN

PLAT NO.
LAND-PLAT-21-11800516

JOB NO. 943-01-02

DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

C5.1

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

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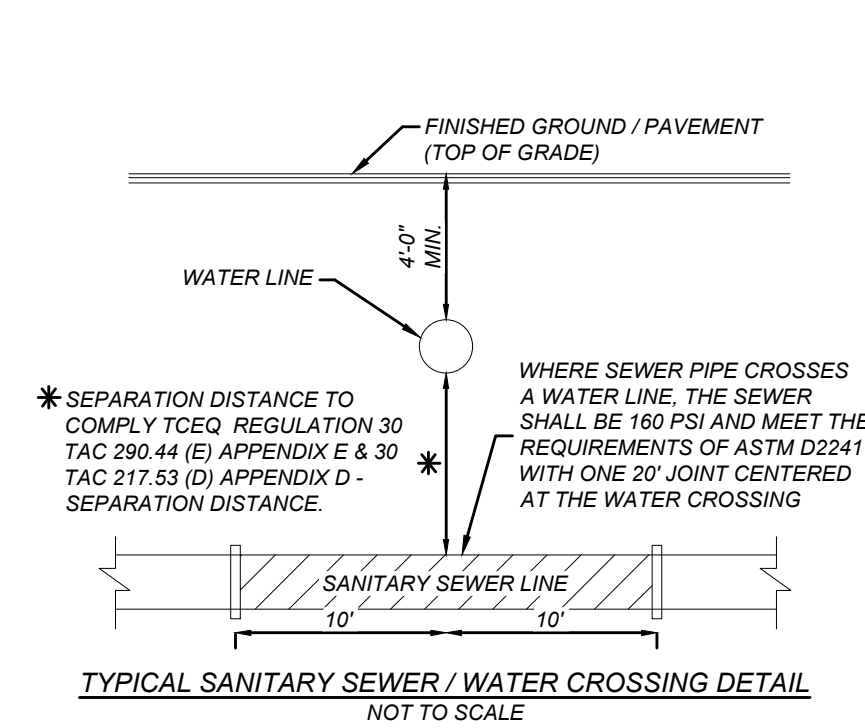
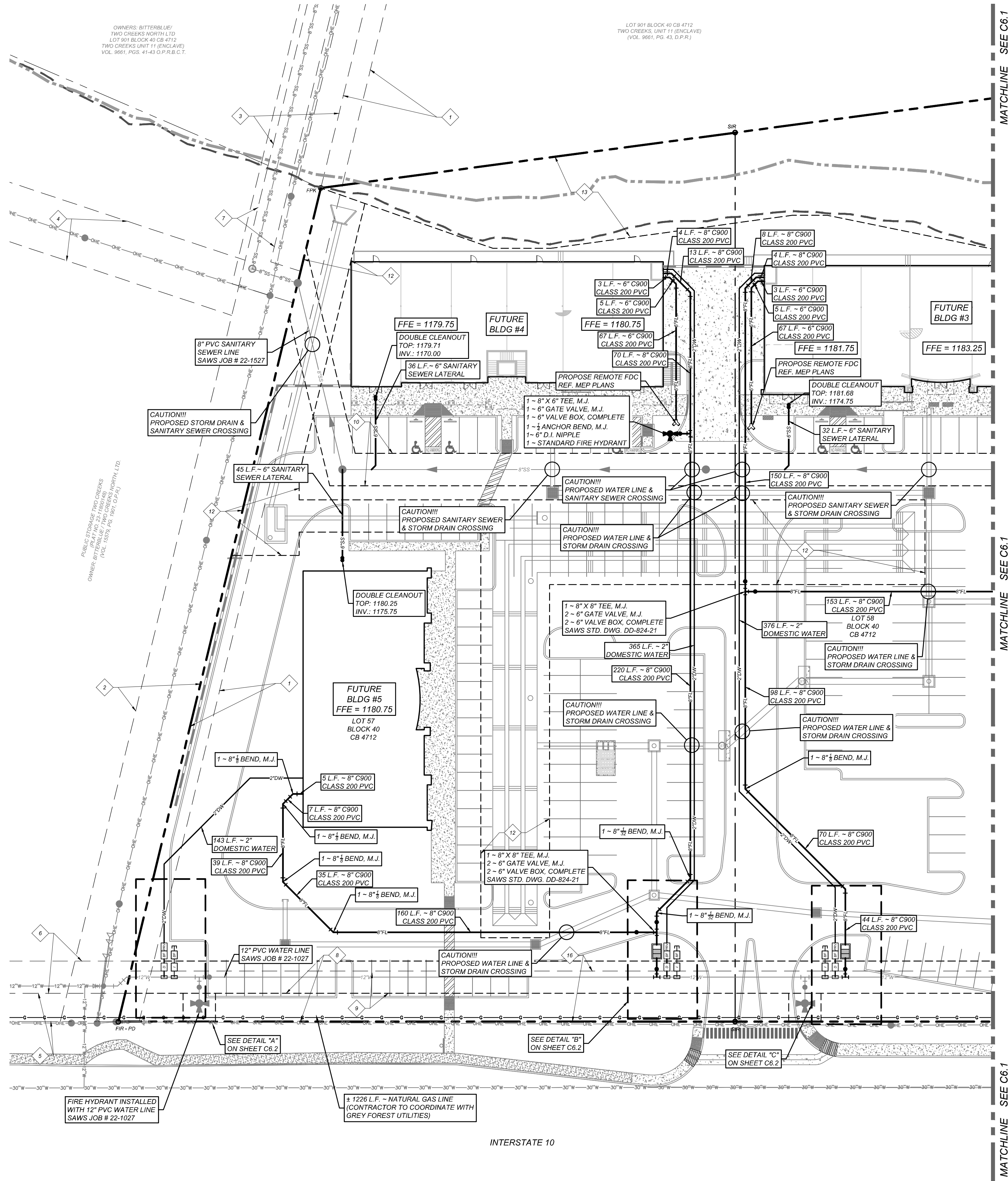
LEGAL DESCRIPTION
BEING LOT #1, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

COORDINATION NOTE:

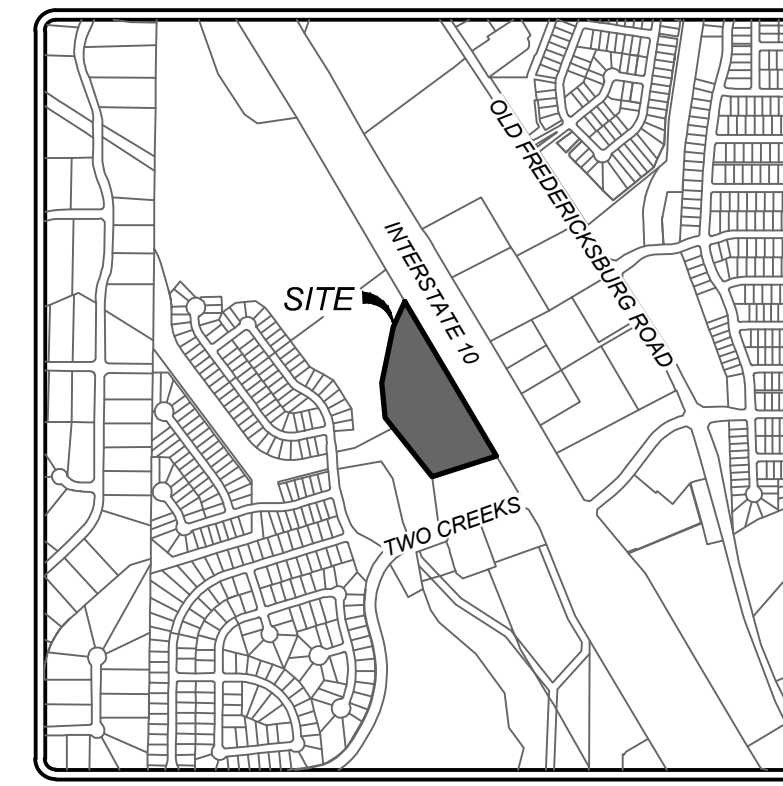
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0200
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4. CONTACT GFI (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985
5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

EASEMENT KEY NOTES

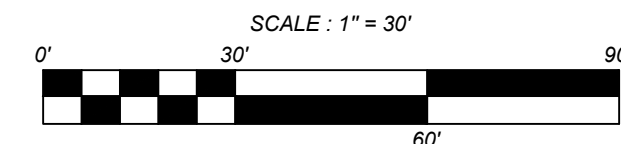
- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 2' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.451 ACRES PERMEABLE) |
| 6' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |



GENERAL NOTE:
REFER TO SHEET C6.2 FOR ALL STANDARD PLAN SHEET NOTES AND FOR WATER TAP DETAIL



LOCATION MAP
NOT-TO SCALE



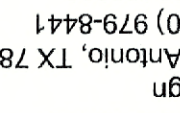
LEGEND

- | | |
|---|-----|
| PROPERTY LINE | --- |
| EXISTING CONCRETE CURB | --- |
| EXISTING CONCRETE | --- |
| EXISTING FIRE HYDRANT | --- |
| EXISTING 30" D.I. WATER LINE | --- |
| EXISTING 12" WATER LINE | --- |
| EXISTING 6" WATER LINE | --- |
| EXISTING OVERHEAD ELECTRIC LINE & POWER POLE | --- |
| 8" SANITARY SEWER MAIN & MANHOLE (UNDER SEPARATE COVER) | --- |
| 12" WATER LINE (UNDER SEPARATE COVER) | --- |
| PROPOSED CONCRETE CURB | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED UNDERGROUND ELECTRIC LINE | --- |
| PROPOSED UNDERGROUND TELEPHONE LINE | --- |
| PROPOSED OVERHEAD UTILITIES LINE | --- |
| PROPOSED NATURAL GAS LINE | --- |
| PROPOSED 8" SANITARY SEWER LATERAL | --- |
| PROPOSED 2" DOMESTIC WATER LINE | --- |
| PROPOSED 8" FIRE WATER LINE | --- |
| PROPOSED 6" FIRE WATER LINE | --- |
| PROPOSED FIRE HYDRANT | --- |
| PROPOSED LIGHT POLE | --- |


THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
OVERALL UTILITY PLAN - SHEET 1 OF 3

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C6.0



KFM
ENGINEERS & SURVEYING
 has joined Collins Engineers & Design
 3421 Passanitos Pkwy., Suite 200, San Antonio, TX 78231
 Phone #: (210) 879-8444 • Fax #: (210) 879-8441
 TBEF Firm #: 9813 • TBEF Firm #: 101222000



ENGINEERS +

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|-----------------------|----------|-----------------------|
| ISSUE D | 09/13/07 | 08/07/07 |
| REVISIONS | | |
| 0. ISSUED FOR PRICING | | UPDATES |
| 1. SITE UPDATES | 03/25/07 | 4. STORM / WASTEWATER |

STATE OF TEXAS

8/7/24


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ENGINEERS + SUR
has joined Collins Engineering & Design
3421 Paasanos Pkwy, Suite 200, San
Phone # (210) 979-8444 • Fax # (210) 979-8444
TBE Firm # 9513 • TBE Firm # 9513

| | |
|---|-----------------------------------|
|  | PLAT NO. LAND-PLAT-21-11800516 |
| | JOB NO. 84501-02 |
| | DATE: August 7, 2024 |
| | DRAWN: J.W. CHECKED: J.W. |

THE CRESCENT

25839 INTERSTATE 10, SAN ANTONIO, TX 78255

OVERALL UTILITY PLAN - SHEET 2 OF 3

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: August 7, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C6.1

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTORS' TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTORS' IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

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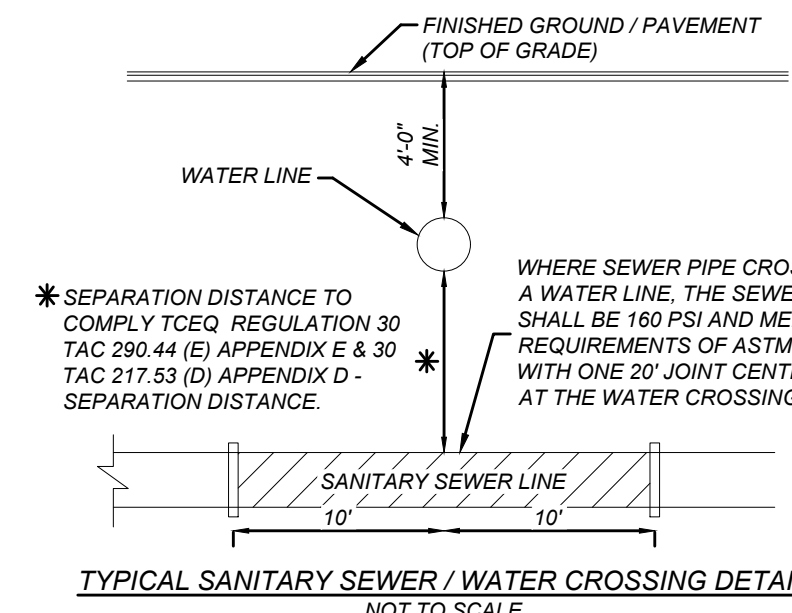
LEGAL DESCRIPTION
BEING LOT 61, BLOCK 4, E.R. 4712, OF THE TO COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

COORDINATION NOTE:

- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210)-344-0900
- CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES (210)-333-2266
- CONTACT AT&T TO COORDINATE TELEPHONE SERVICE (1-800-469-7858)
- CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES (210)-695-5985
- CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES (210)-704-7297
- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

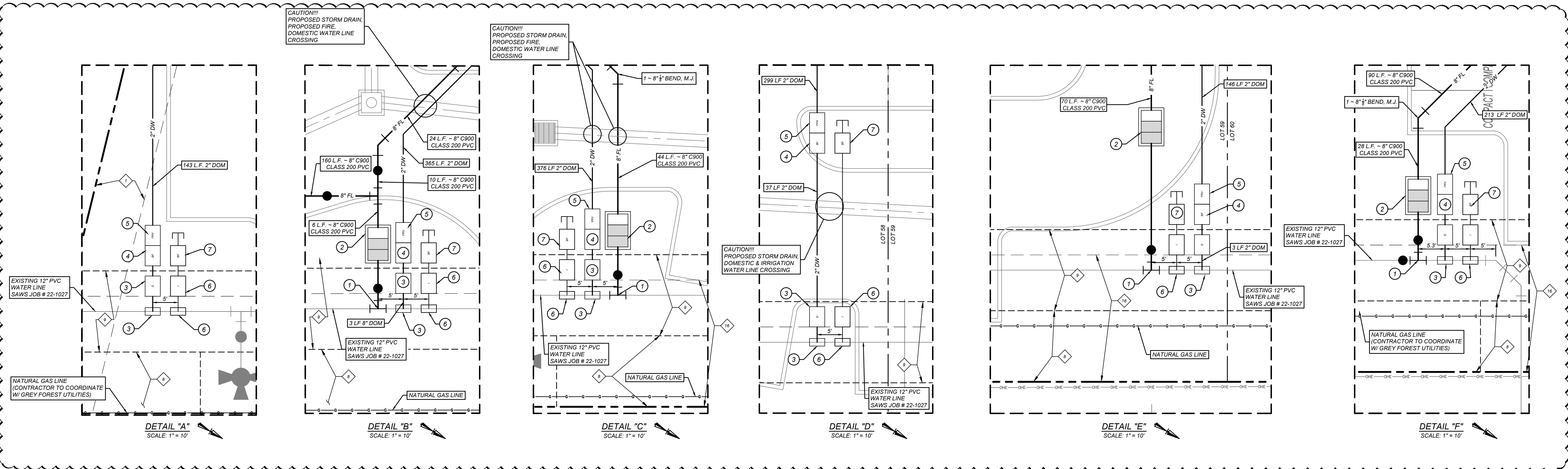
EASEMENT KEY NOTES

- | | |
|--|--|
| 1. SOUTHWESTERN BELL EASEMENT (VOL. 1379, PGS. 231, O.P.R.) | 16. WATER EASEMENT |
| 2. GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 18. SANITARY SEWER EASEMENT |
| 3. VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 19. 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 4. 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | 20. VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 5. 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | 21. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 6. 16' WATER EASEMENT (PLAT NO. 23-11800148) | 22. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 7. 16' SEWER EASEMENT (PLAT NO. 23-11800148) | 23. VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 8. 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 24. 25' BUILDING SETBACK LINE |



WATER TAP KEYED NOTES

- INSTALL FIRE WATER SERVICE:**
1- 12" X 8" TEE, M.J.
1- 12" GATE VALVE, M.J.
1- 8" GATE VALVE, M.J.
2- 8" VALVE BOX, COMPLETE
SAWS STD. DWG DO-824-21 (REF. SHEET C9.3)
- INSTALL IRRIGATION WATER SERVICE:**
1- 12" X 1.5" TAP WITH SERVICE SADDLE
10' COPPER PIPE
1- 2" WATER METER
1- STANDARD METER BOX
SAWS STD. DWG DO-824-21 (REF. SHEET C9.3)
- INSTALL DOMESTIC WATER SERVICE:**
1- 12" X 2" TAP WITH SERVICE SADDLE
10' COPPER PIPE
1- 2" WATER METER
1- STANDARD METER BOX
SAWS STD. DWG DO-824-21 (REF. SHEET C9.3)
- 1- 2" DOMESTIC R/P BACKFLOW PREVENTION DEVICE PER SAWS' SPECIFICATIONS**



**SAWS CONSTRUCTION NOTES
COUNTER PERMIT AND GENERAL CONSTRUCTION PERMIT
(EFFECTIVE JANUARY, 2022)**

GENERAL SECTION

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE PLANS, SPECIFICATIONS, GENERAL CONDITIONS AND WITH THE FOLLOWING AS APPLICABLE:
 - CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEM, TEXAS ADMINISTRATIVE CODE (TAC) TITLE 30 PART 1 CHAPTER 217 AND "PUBLIC DRINKING WATER", TAC TITLE 30 PART 1 CHAPTER 290
 - CURRENT TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE
 - CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION"
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 - CURRENT CITY OF SAN ANTONIO "UTILITY EXCAVATION CRITERIA MANUAL" (UECM)
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP) FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS. WORK COMPLETED BY THE CONTRACTOR WITHOUT AN APPROVED COUNTER PERMIT AND/OR A GCP WILL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE EXPENSE OF THE CONTRACTORS AND/OR THE DEVELOPER.
- THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE: [HTTP://WWW.SAWS.ORG/BUSINESS_CENTER/SPECS](http://www.saws.org/business_center/specs). UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.
- THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-2973, ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.
- LOCATION AND DEPTH OF EXISTING UTILITIES AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:
 - SAWS UTILITY LOCATES: [HTTP://WWW.SAWS.ORG/SERVICE/LOCATES](http://www.saws.org/service/locates)
 - COSA DRAINAGE (210) 207-0724 OR (210) 207-6026
 - COSA TRAFFIC SIGNAL OPERATIONS (210) 206-6460
 - COSA TRAFFIC SIGNAL DAMAGES (210) 207-3951
 - TEXAS STATE WIDE ONE CALL LOCATOR 1-800-545-6005 OR 811
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, SIDEWALKS, LANDSCAPING AND STRUCTURES TO ITS ORIGINAL OR BETTER CONDITION IF DAMAGES ARE MADE AS A RESULT OF THE PROJECT'S CONSTRUCTION.
- ALL WORK IN TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) AND/OR BEXAR COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH RESPECTIVE CONSTRUCTION SPECIFICATIONS AND PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH CITY OF SAN ANTONIO OR OTHER GOVERNING MUNICIPALITY'S TREE ORDINANCES WHEN EXCAVATING NEAR TREES.
- THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAN PERMIT.
- HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS. REQUEST SHOULD BE SENT TO CONSWORKREQ@SAWS.ORG.

WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO CONSWORKREQ@SAWS.ORG.

ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.

12. COMPACTION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTION REQUIREMENTS ON ALL TRENCH BACKFILL AND FOR PAYING FOR THE TESTS PERFORMED. A THIRD PARTY COMPACTION TESTS WILL BE DONE AT ONE LOCATION POINT RANDOMLY SELECTED, OR AS INDICATED BY THE SAWS INSPECTOR AND THE TEST ADMINISTRATOR, PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET. AT A MINIMUM, THIS PROJECT WILL NOT BE ACCEPTED AND FINALIZED BY SAWS WITHOUT THIS REQUIREMENT BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.

13. A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWS CONSTRUCTION INSPECTION DIVISION.

WATER SECTION

PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS, THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.

- FOR WATER MAINS 12" OR HIGHER, SAWS EMERGENCY OPERATIONS CENTER (210) 233-2014

SEWER NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SANITARY SEWER OVERFLOW (SSO) OCCURS AS A RESULT OF THEIR WORK. ALL CONTRACTOR PERSONNEL, RESPONSIBLE FOR SSO PREVENTION AND CONTROL, SHALL BE TRAINED ON PROPER RESPONSE. SHOULD AN SSO OCCUR, THE CONTRACTOR SHALL:
 - IDENTIFY THE SOURCE OF THE SSO AND NOTIFY SAWS EMERGENCY OPERATIONS CENTER (EOC) IMMEDIATELY AT (210) 233-2014. PROVIDE THE ADDRESS OF THE SPILL AND AN ESTIMATED VOLUME OR FLOW.
 - ATTEMPT TO ELIMINATE THE SOURCE OF THE SSO.
 - CONTAIN SEWAGE FROM THE SSO TO THE EXTENT OF PREVENTING A POSSIBLE CONTAMINATION OF WATERWAYS.
 - CLEAN UP SPILL SITE (RETURN CONTAINED SEWAGE TO THE COLLECTION SYSTEM IF POSSIBLE) AND PROPERLY DISPOSE OF CONTAMINATED SOLID MATERIALS.
 - CLEAN THE AFFECTED SEWER MAINS AND REMOVE ANY DEBRIS.
 - MEET ALL POST-SSO REQUIREMENTS AS PER THE EPA CONSENT DECREE, INCLUDING LINE CLEANING AND TELEVISIONING THE AFFECTED SEWER MAINS (AT SAWS DIRECTION) WITHIN 24 HOURS.

SHOULD THE CONTRACTOR FAIL TO ADDRESS AN SSO IMMEDIATELY AND TO SAWS SATISFACTION, THEY WILL BE RESPONSIBLE FOR ALL COSTS INCURRED BY SAWS, INCLUDING ANY FINES FROM EPA, TCEQ AND/OR ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES.

NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE FOR THIS WORK. ALL WORK SHALL BE DONE ACCORDING TO GUIDELINES SET BY THE TCEQ AND SAWS.

- IF BYPASS PUMPING IS REQUIRED, THE CONTRACTOR SHALL PERFORM SUCH WORK IN ACCORDANCE WITH SAWS STANDARD SPECIFICATION FOR WATER AND SANITARY SEWER CONSTRUCTION, ITEM NO. 864, "BYPASS PUMPING".
- PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING FORCE MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-2973 AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS. THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.

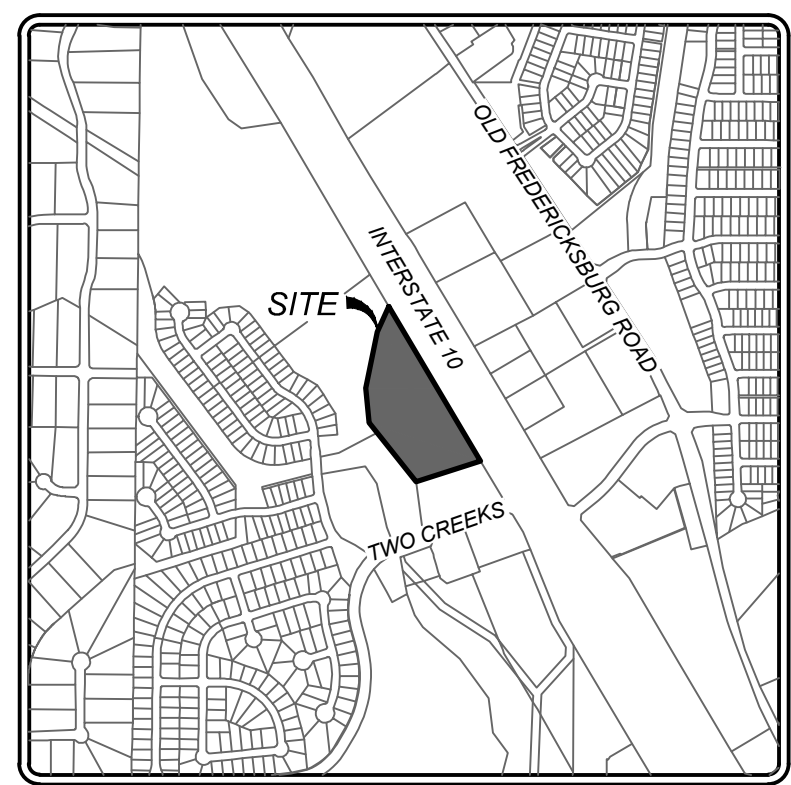
- SEWER PIPE WHERE WATER LINE CROSSES SHALL BE 160 PSI AND MEET THE REQUIREMENTS OF ASTM D2241, TAC 217.53 AND TCEQ 290.44E(4)(B). CONTRACTOR SHALL CENTER A 20" JOINT OF 160 PSI PRESSURE RATED PVC AT THE PROPOSED WATER CROSSING.
- ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ALLOWANCES AND ADJUSTMENTS FOR TOP OF MANHOLES TO MATCH THE FINISHED GRADE OF THE PROJECT'S IMPROVEMENTS. (NSP)
- SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER: ALL SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER, RECYCLED WATER, PETROLEUM PRODUCTS, OR CHEMICALS MUST BE REPORTED IMMEDIATELY TO THE SAWS INSPECTOR ASSIGNED TO THE COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP). THIS REQUIREMENT APPLIES TO EVERY SPILL, OVERFLOW, OR DISCHARGE REGARDLESS OF SIZE.
- MANHOLE AND ALL PIPE TESTING (INCLUDING THE TV INSPECTION) MUST BE PERFORMED AND PASSED PRIOR TO FINAL FIELD ACCEPTANCE BY SAWS CONSTRUCTION INSPECTION DIVISION, AS PER THE SAWS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
- ALL PVC PIPE OVER 14 FEET OF COVER SHALL BE EXTRA STRENGTH WITH MINIMUM PIPE STIFFNESS OF 115 PSI.

UTILITY GENERAL NOTES:

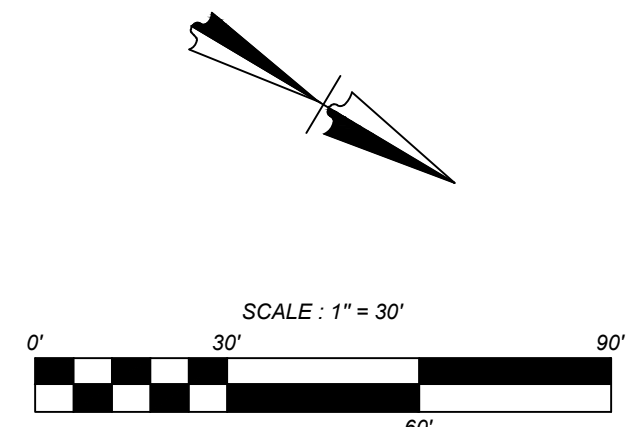
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL CONFORM TO ALL USED CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), SAWS SPECIFICATIONS (LATEST EDITION), CITY BUILDING CODE AND REGULATIONS AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS USED TO THE PROJECT AND REQUIREMENTS OF THE FIRE DEPARTMENT. SANITARY SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS AS WELL AS TCEQ RULES (TAC 210 AND TAC 217).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- THE DOMESTIC WATER LINE SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH SAWS REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE SAWS FOR PERMITTING, INSPECTION, AND CONSTRUCTION OPERATIONS.
- ALL UTILITY CONNECTIONS TO BUILDING SHALL BE COORDINATED WITH MECHANICAL AND ELECTRIC PLANS. FOR INFORMATION ON GAS, ELECTRIC, AND TELEPHONE UTILITIES, SEE THE MECHANICAL AND ELECTRIC PLANS.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING CONTROL DEVICES USED OR REQUIRED TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGES DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEM).
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OR DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ALLOWED OR ACCEPTED.
- ALL BACKFILL MUST BE COMPACTED IN 12-INCH LIFTS. NO WATER JETTING IS ALLOWED.
- SEWER PIPE IS SDR 26. WATER PIPE IS CLASS 200 PVC, UNLESS NOTED OTHERWISE.

EXISTING UTILITY NOTES:

- THIS UTILITY PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION. (SEE COORDINATION NOTES ON THIS SHEET)
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES SHOWN IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.



LOCATION MAP
NOT-TO SCALE



LEGEND

| | |
|---|-------------------------|
| PROPERTY LINE | --- |
| EXISTING CONCRETE CURB | ===== |
| EXISTING CONCRETE | ===== |
| EXISTING FIRE HYDRANT | ===== |
| EXISTING 30" D.I. WATER LINE | -----30"-----30"----- |
| EXISTING 12" WATER LINE | -----12"-----12"----- |
| EXISTING 6" WATER LINE | -----6"-----6"----- |
| EXISTING OVERHEAD ELECTRIC LINE & POWER POLE | -----OHE-----OHE----- |
| 8" SANITARY SEWER MAIN & MANHOLE (UNDER SEPARATE COVER) | -----8"-----8"----- |
| 12" WATER LINE (UNDER SEPARATE COVER) | -----12"-----12"----- |
| PROPOSED CONCRETE CURB | ===== |
| PROPOSED CONCRETE | ===== |
| PROPOSED UNDERGROUND ELECTRIC LINE | -----USE-----USE----- |
| PROPOSED UNDERGROUND TELEPHONE LINE | -----LST-----LST----- |
| PROPOSED OVERHEAD UTILITIES LINE | -----OHE-----OHE----- |
| PROPOSED NATURAL GAS LINE | -----G-----G----- |
| PROPOSED 6" SANITARY SEWER LATERAL | -----6"SS-----6"SS----- |
| PROPOSED 2" DOMESTIC WATER LINE | -----2"DW-----2"DW----- |
| PROPOSED 8" FIRE WATER LINE | -----8"FL-----8"FL----- |
| PROPOSED 6" FIRE WATER LINE | -----6"FL-----6"FL----- |
| PROPOSED FIRE HYDRANT | ===== |
| PROPOSED LIGHT POLE | ===== |

THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
OVERALL UTILITY PLAN - SHEET 3 OF 3

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C6.2

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
BEING LOT #1, BLOCK #4, CB #712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

- COORDINATION NOTE:**
- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210)-344-0900
 - CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256
 - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928
 - CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985
 - CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297
 - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
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| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

GRADING NOTES:

- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADES AND CONTOURS SHOWN ARE FINAL. TOP OF FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBTRACT THICKNESS OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO ACHIEVE SUBGRADE ELEVATION.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
- CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ± ONE-TENTH (0.10) FOOT.
- ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
- UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO CITY OF SAN ANTONIO AND BEXAR COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
- DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL EXCAVATION IS UNCLASSIFIED.
- ALL BACKFILL MUST BE IN COMPACTED 12-INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.

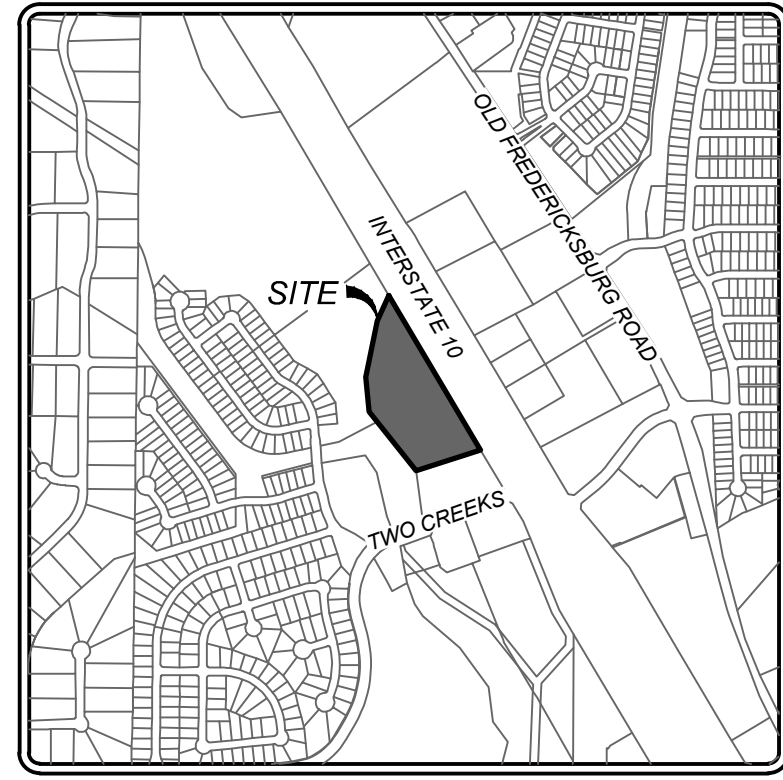
- SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.
- ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS ENCOUNTERED SHOULD ALSO BE REMOVED.
- REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION GUIDELINES.
- ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
- TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING PRESERVED ON PROPERTY.
- MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION. CROSS SLOPES ON SIDEWALKS AND FLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%.
- EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

EXISTING UTILITY NOTES:

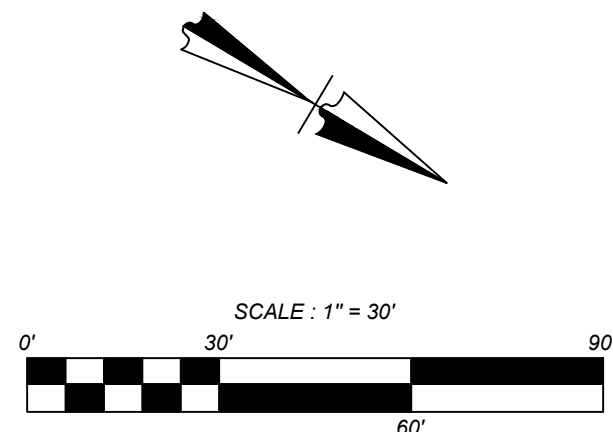
- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

TREE PROTECTION NOTES:

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. A 1-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
- EXPPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE.
- NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.

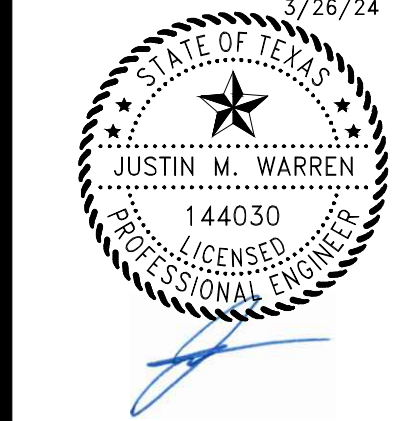
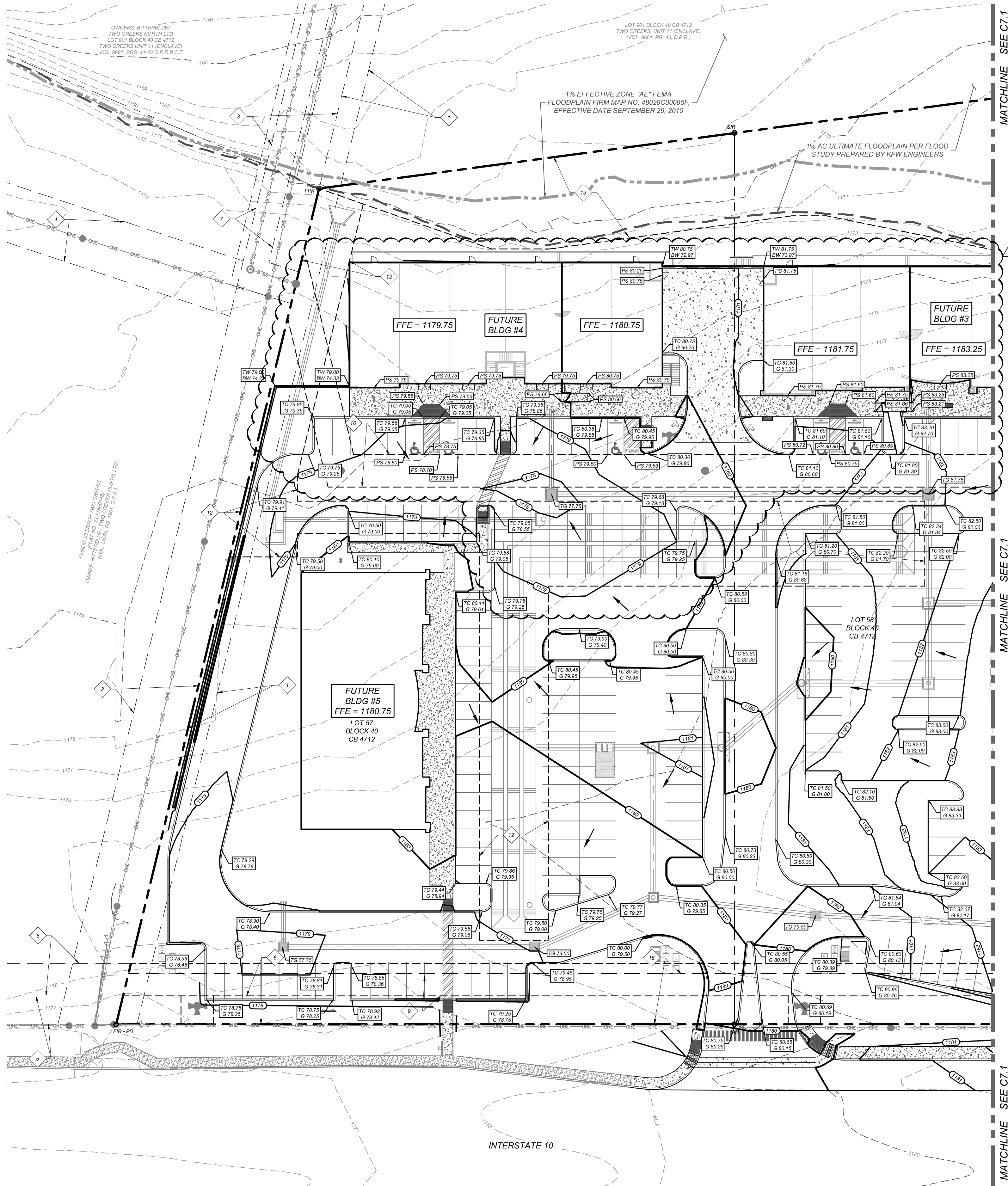


LOCATION MAP
NOT-TO SCALE



LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED CONCRETE CURB
- PROPOSED CONTOUR
- PROPOSED HIGHPOINT
- DRAINAGE SWALE
- FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED SPOT GRADE (TOP BOTTOM OF WALL)
- PROPOSED SPOT GRADE (TOP OF CURB & GUTTER)
- PROPOSED SPOT GRADE
- FFE = 1190.00
- FW 85.00
WB 85.00
- TC 85.00
CB 85.00
- PS 85.00



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
GRADING PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C7.0

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
BEING LOT #1, BLOCK #4, CR #712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR, COUNTY, TEXAS

- COORDINATION NOTE:**
- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210)-344-0900
 - CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256
 - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7828
 - CONTACT GFW (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210)-695-5985
 - CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297
 - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 2' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

GRADING NOTES:

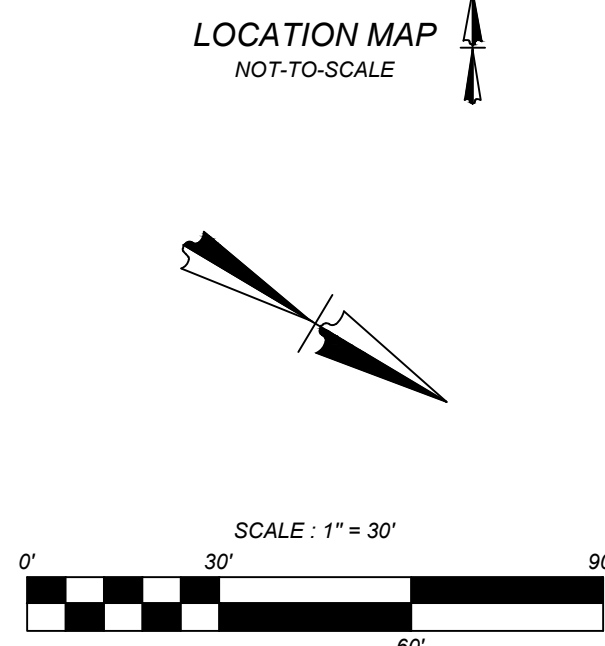
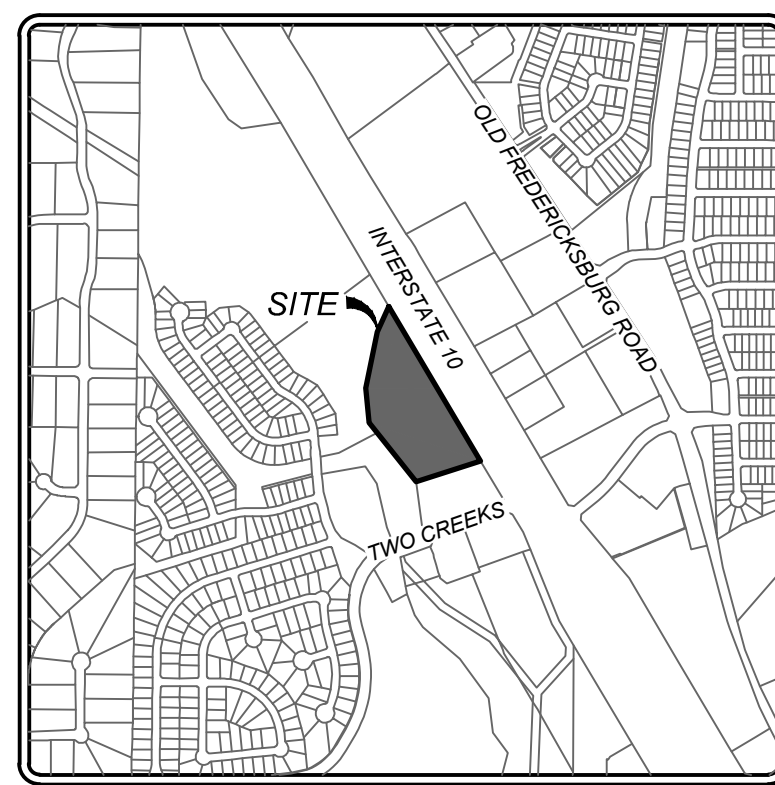
- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADES AND CONTOURS SHOWN ARE FINAL. TOP OF FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBTRACT FINISHES OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO ACHIEVE SUBGRADE ELEVATION.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
- CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ± ONE-TENTH (0.10) FOOT.
- ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
- UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO CITY OF SAN ANTONIO AND BEXAR COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
- DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL EXCAVATION IS UNCLASSIFIED.
- ALL BACKFILL MUST BE IN COMPACTED 12-INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.
- SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.
- ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY ROCKETS OF DEBRIS ENCOUNTERED SHOULD ALSO BE REMOVED.
- REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION GUIDELINES.
- ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
- TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING PRESERVED ON PROPERTY.
- MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION. CROSS SLOPES ON SIDEWALKS AND FLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%, SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%.
- EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

EXISTING UTILITY NOTES:

- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

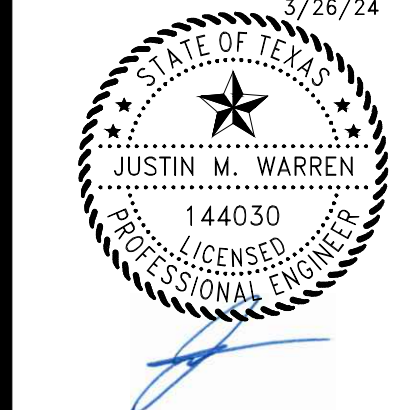
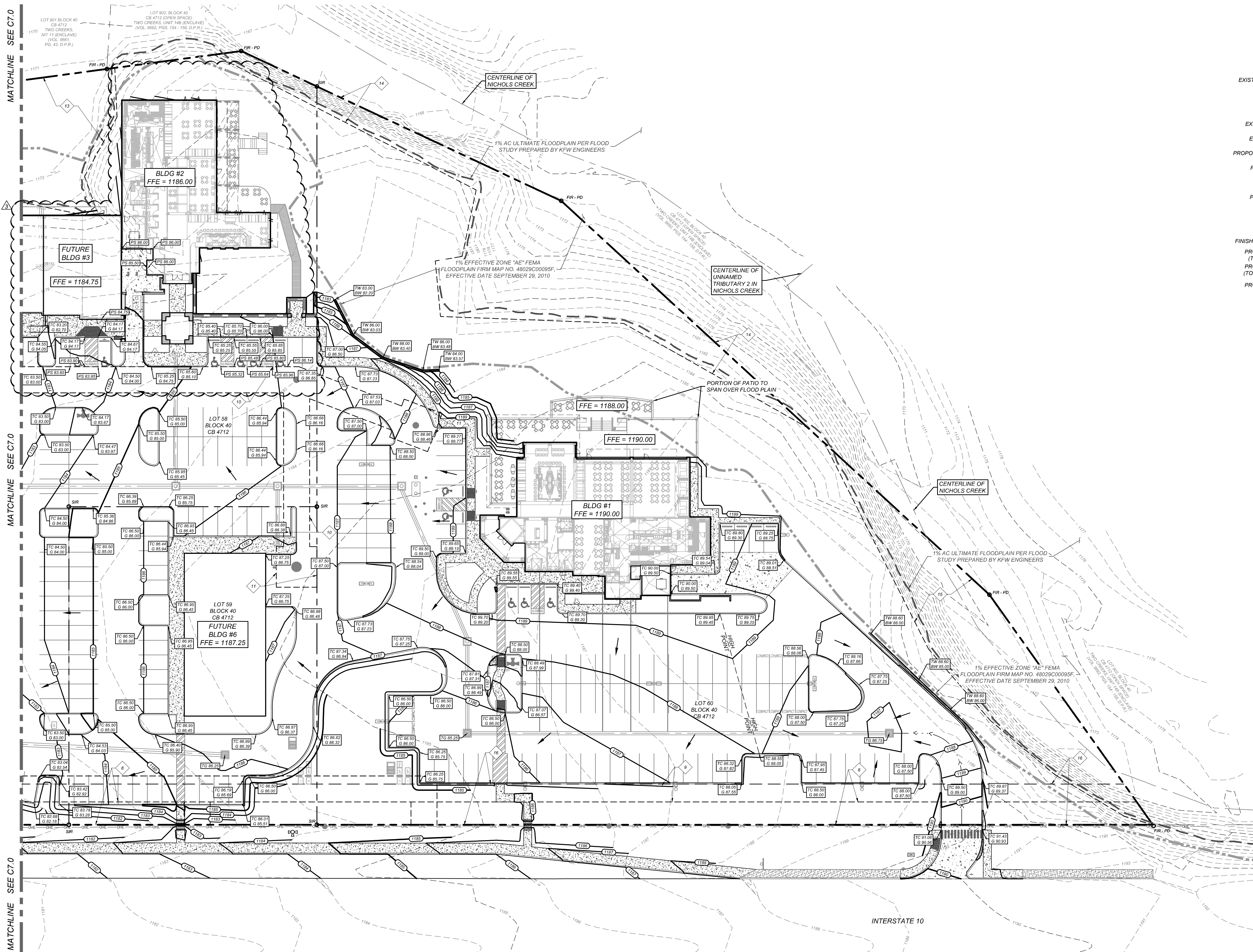
TREE PROTECTION NOTES:

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. A 1-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
- NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.



LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING CONTOUR
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED CONCRETE CURB
- PROPOSED CONTOUR
- PROPOSED HIGHPOINT
- DRAINAGE SWALE
- FLOW ARROW
- FINISHED FLOOR ELEVATION
- PROPOSED SPOT GRADE (TOP BOTTOM OF WALL)
- PROPOSED SPOT GRADE (TOP OF CURB & GUTTER)
- PROPOSED SPOT GRADE
- FFE = 1186.00
- FFE = 1194.75
- FFE = 1188.00
- FFE = 1190.00
- FFE = 1192.25



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
GRADING PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:

C7.1

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTORS' TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTORS' IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION!!! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
BEING LOT #1, BLOCK #4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS

- COORDINATION NOTE:**
- CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210-344-9200)
 - CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES (210-353-2226)
 - CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-440-7268
 - CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES (210-695-5985)
 - CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210-704-7297)
 - CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|---|--|
| 1' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 2' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 25' X 25' SANITARY SEWER TURNAROUND EASEMENT |
| 2' ELECTRIC EASEMENT (VOL. 17042, PG. 1273, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800146) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.451 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

GRADING NOTES:

- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADES AND CONTOURS SHOWN ARE FINAL. TOP OF FINISHED SURFACE ELEVATIONS OTHER THAN OTHERWISE NOTED. CONTRACTOR SHALL SUBTRACT THICKNESS OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO ACHIEVE SUBGRADE ELEVATION.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
- CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON ± ONE-TENTH (0.10) FOOT.
- ALL DISTURBED AREAS SHALL BE REVEGETATED OR STABILIZED IN A MANNER APPROVED BY CIVIL ENGINEER. IF NO STABILIZATION IS SHOWN ON PLANS, CONTRACTOR SHALL ASSUME VEGETATION WILL BE REQUIRED. HYDROMULCH SEEDING OR SOD WILL BE ACCEPTABLE.
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- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO CITY OF SAN ANTONIO AND BEXAR COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE BY EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
- DUE TO FEDERAL REGULATION TITLE 48, PART 192.191, C.P.S. ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL EXCAVATION IS UNCLASSIFIED.
- ALL BACKFILL MUST BE IN COMPACTED 12- INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
- ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.
- SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.
- ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS ENCOUNTERED SHOULD ALSO BE REMOVED.
- REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE INFORMATION AND CONSTRUCTION GUIDELINES.
- ALL EARTHEN SLOPES SHALL BE A MAXIMUM OF 3:1 AND A MINIMUM OF 2% UNLESS OTHERWISE SHOWN.
- TREE PROTECTION SHALL BE PERFORMED FOR ANY TREES BEING PRESERVED ON PROPERTY.
- MAXIMUM SLOPE ON HANDICAP ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION. CROSS SLOPES ON SIDEWALKS AND PLATWORK AROUND BUILDINGS SHALL NOT EXCEED 2%. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%.
- EXISTING AND PROPOSED SIDEWALK WITHIN RIGHT OF WAY SHALL NOT EXCEED 2% CROSS SLOPE. SLOPE ALONG THE LENGTH OF SIDEWALKS SHALL NOT EXCEED 5%. CONTRACTOR TO ANALYZE EXISTING SIDEWALK TO DETERMINE IF ANY ADDITIONAL SIDEWALK WILL REQUIRE REMOVAL AND REWORK TO MEET THESE CONSTRAINTS.

EXISTING UTILITY NOTES:

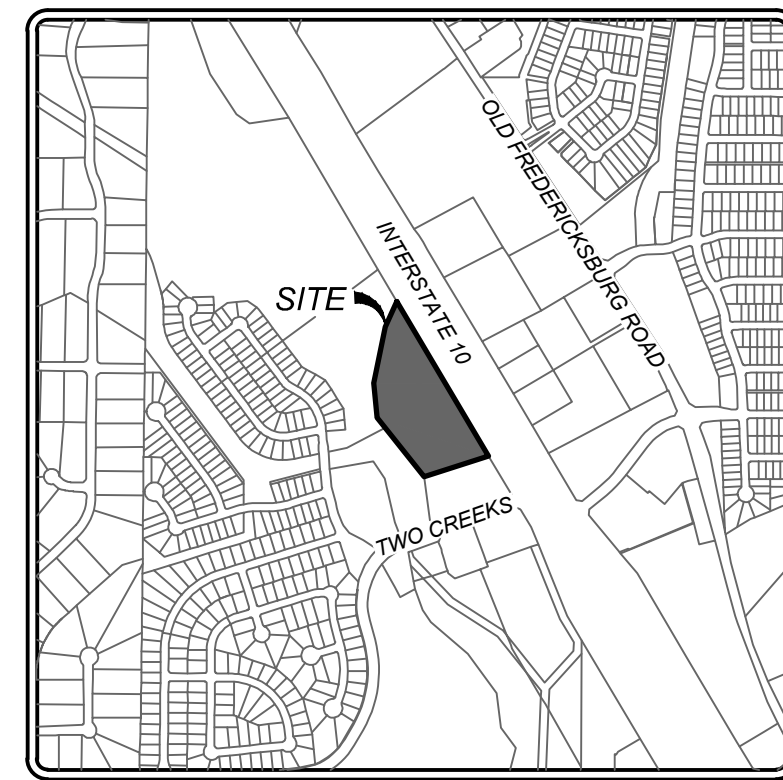
- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SAME DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

STORM DRAIN GENERAL NOTES:

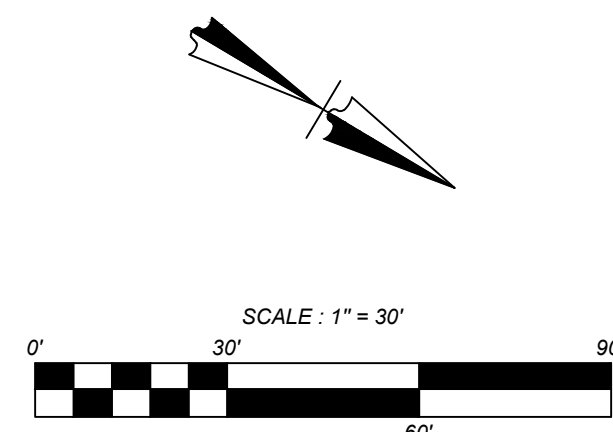
- THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH FINAL PLAN OR RECORD MEASUREMENTS, LOCATIONS, TOPS AND LENGTH OF SERVICE CONNECTIONS AND UNDERGROUND PIPING UPON COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO THE START OF CONSTRUCTION.
 - ALL GARBAGE OR SPILL MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT HIS EXPENSE.
 - THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE, AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHALL BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT THE CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.
 - ALL ONSITE STORM DRAIN PIPES WILL BE PRIVATE AND NOT DEDICATED TO THE CITY OF SAN ANTONIO.
 - ALL STORM DRAIN PIPE SHALL BE HDPE N-12 PROLINK ULTRA HDPE PIPE UNLESS NOTED OTHERWISE WITH BELLED ENDS AND WITH RUBBER GASKETS. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS AUTHORIZED BY OWNER.
 - ALL LENGTHS OF PIPE ARE TO INSIDE FACE OF STRUCTURES.
 - CONTRACTOR SHALL ENSURE PROPER SIZE OF JUNCTION BOXES NEEDED WHERE INDICATED ON PLAN. CONTRACTOR SHALL CONNECT STORM DRAIN PIPE TO JUNCTION BOXES PER MANUFACTURERS SPECIFICATIONS. SIZE OF GRATE INLETS ARE REFERENCED FOR PROPER SIZE OF GRATES AND DO NOT REFLECT SIZE OF PROPOSED JUNCTION BOXES ASSOCIATED WITH GRATE COVERS.
- NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PIPE, MANHOLES, JUNCTION BOXES, ADA ACCESSIBLE TRENCH DRAINS, ETC. TO ENGINEER PRIOR TO ORDERING MATERIALS FOR CONSTRUCTION.

TREE PROTECTION NOTES:

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT GREATEST HEIGHT (4.5') OF THE TREE. A 1/4 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. AN OAK WOUND SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE.
- NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.

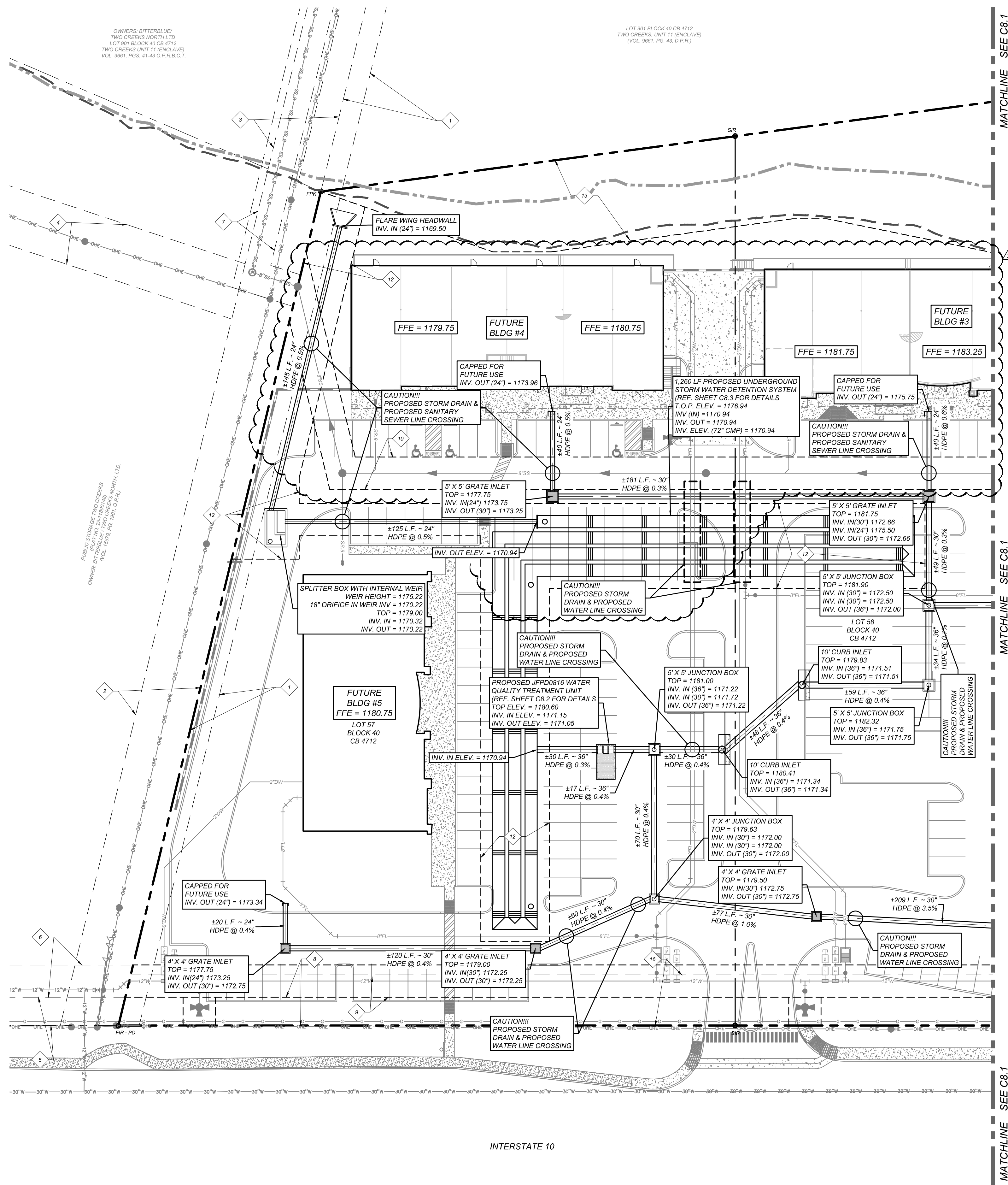


LOCATION MAP
NOT-TO SCALE



LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING FIRE HYDRANT
- EXISTING 30" D.I. WATER LINE
- EXISTING 12" WATER LINE
- EXISTING 6" WATER LINE
- EXISTING OVERHEAD ELECTRIC LINE & POWER POLE
- 8" SANITARY SEWER MAIN & MANHOLE (UNDER SEPARATE COVER)
- 12" WATER LINE (UNDER SEPARATE COVER)
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND TELEPHONE LINE
- PROPOSED OVERHEAD UTILITIES LINE
- PROPOSED NATURAL GAS LINE
- PROPOSED 8" SANITARY SEWER LATERAL
- PROPOSED 2" DOMESTIC WATER LINE
- PROPOSED 8" FIRE WATER LINE
- PROPOSED 6" FIRE WATER LINE
- PROPOSED FIRE HYDRANT
- FINISHED FLOOR ELEVATION
- PROPOSED STORM DRAIN SYSTEM



ENGINEERS + SURVEYING
has joined Collins Engineering & Design
3421 Passanoes Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-9444 • Fax #: (210) 979-9441
Toll Free: 1-800-893-1555 Email: info@ecsd.com

ISSUE DATE: 09/15/2023
0. ISSUED FOR PRICING 02/22/2024
1. STORM DRAIN REVISIONS 02/22/2024
2. SITE UPDATES 02/22/2024

REVISIONS: 06/26/24

STATE OF TEXAS
COUNTY OF BEXAR
J. WARREN
REGISTERED PROFESSIONAL ENGINEER
No. 146528

THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
DRAINAGE PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:
C8.0

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, GAS, ELECTRIC, TELEPHONE, CABLE, SINK, SEWER, AND RAILROAD LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL, DUCT BANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. ANY DAMAGE TO EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION, AND ANY DAMAGE TO EXISTING UTILITIES AFTER THE COMPLETION OF CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE. WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

COORDINATION NOTE:

1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210)-244-0500.
2. CONTACT GPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210)-353-2256.

| EASEMENT KEY NOTES | |
|--------------------|---|
| 10 | 10' SOUTHWESTERN BELL EASEMENT (PLAT 1319, PGS. 231, O.P.R.) |
| 11 | 20' GAS & ELECTRIC EASEMENT (PLAT 9661, PGS. 41-43, D.P.R.) |
| 12 | 20' GAS & ELECTRIC EASEMENT VARIABLE WIDTH GAS, ELECTRIC & CABLE TELEVISION EASEMENT (PLAT 9661, PGS. 41-43, D.P.R.) |
| 13 | 20' ELECTRIC EASEMENT (PLAT 17042, PG. 1973, O.P.R.) |
| 14 | 18" WATER EASEMENT (PLAT NO. 23-11803148) |
| 15 | 18" WATER EASEMENT (PLAT NO. 23-11803148) |
| 16 | 16" SEWER EASEMENT (PLAT NO. 23-11803148) |
| 17 | 14" GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11803148) |

SEE
NIT 11 (ENC2AVE)
[VOL. 0001,
AG 43, D.P.R.]

LOCATION MAP
NOT-TO-SCALE

[illegible]

ISSUE DATE
09/13/2023
02/23/2024
03/25/2024
08/07/2024

PLAT NO.
LAND-PLAT-21-17800516

JOB NO. 943-01-02

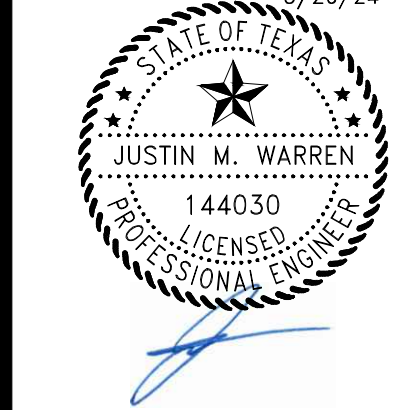
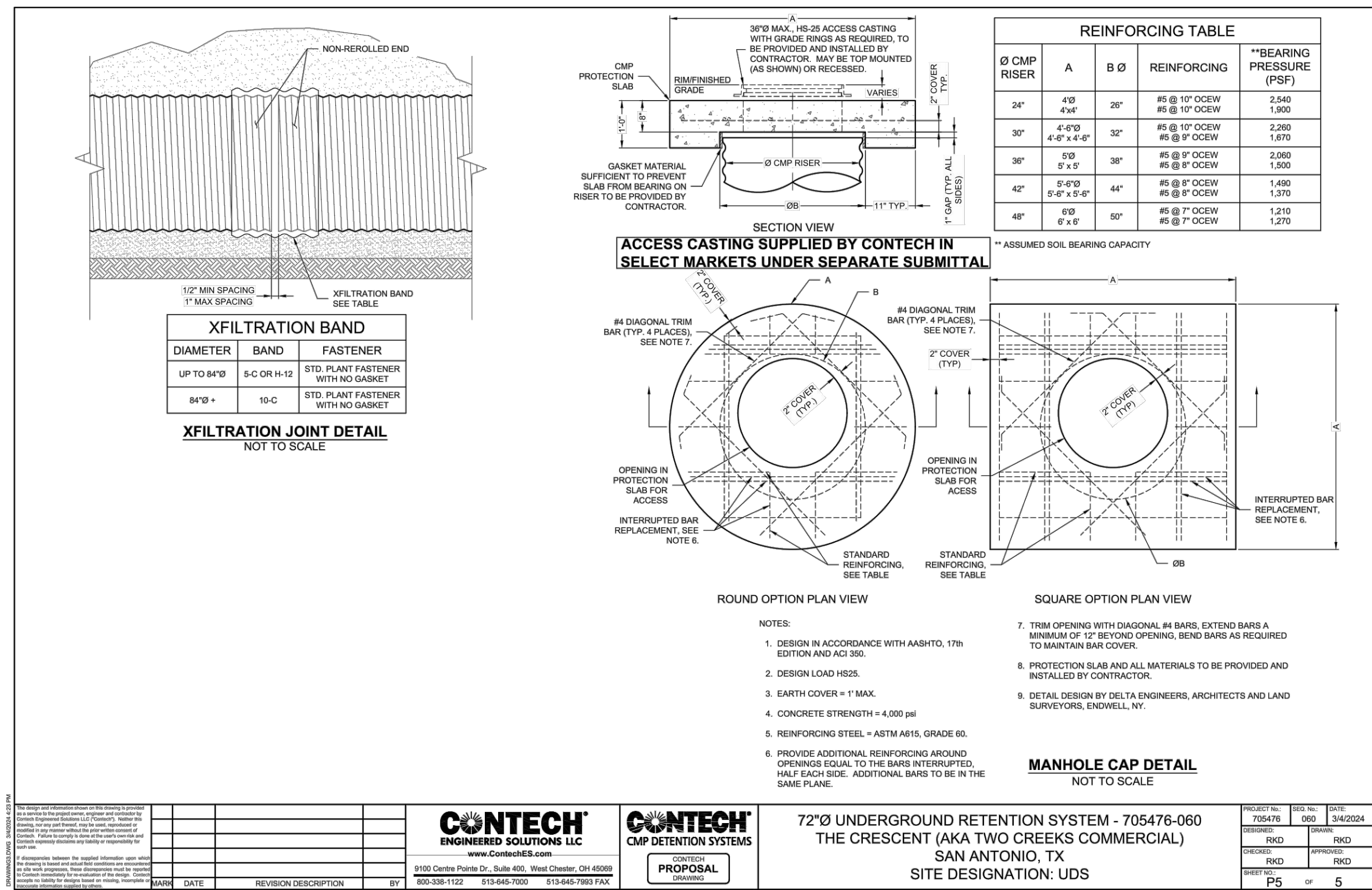
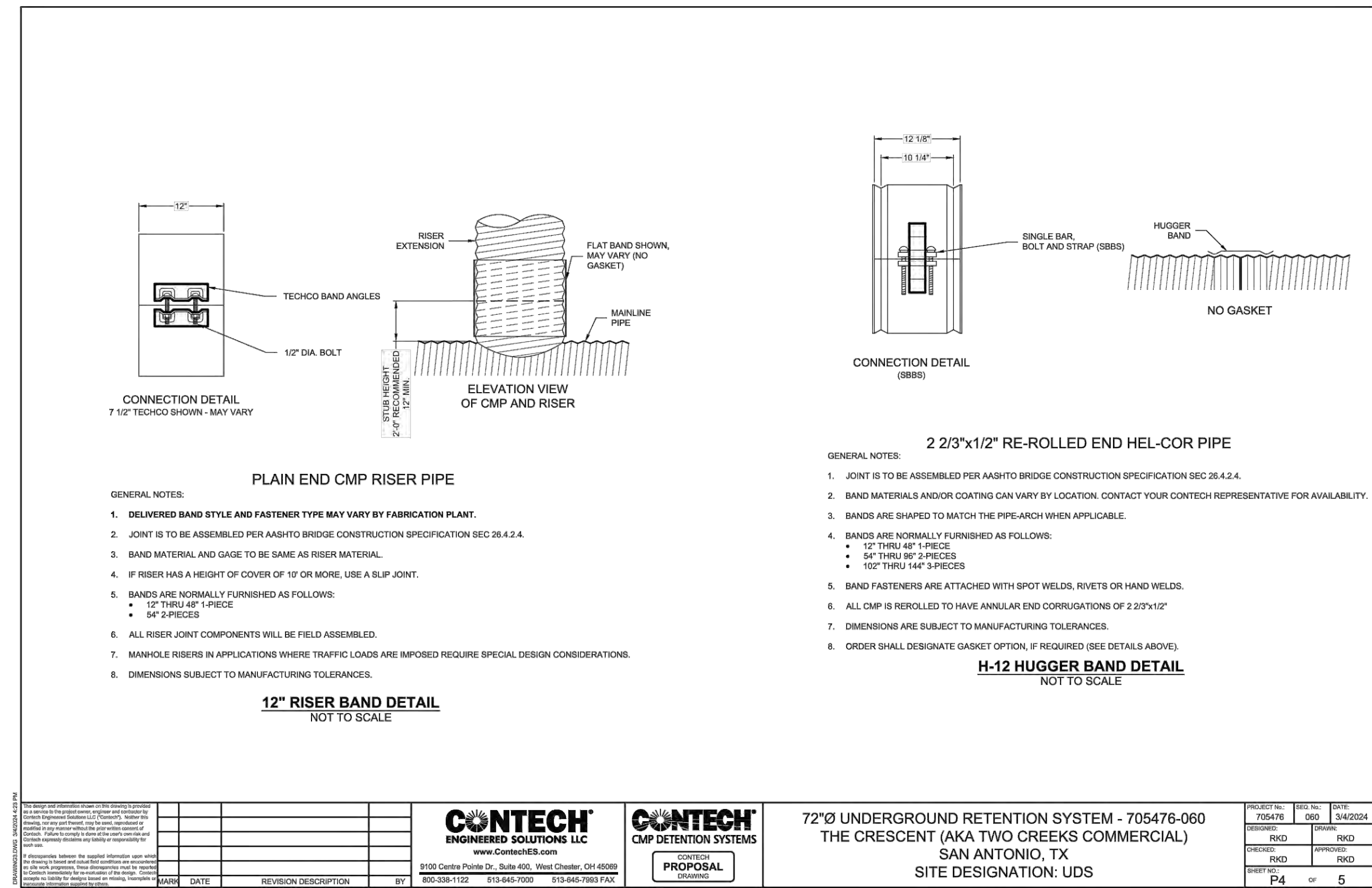
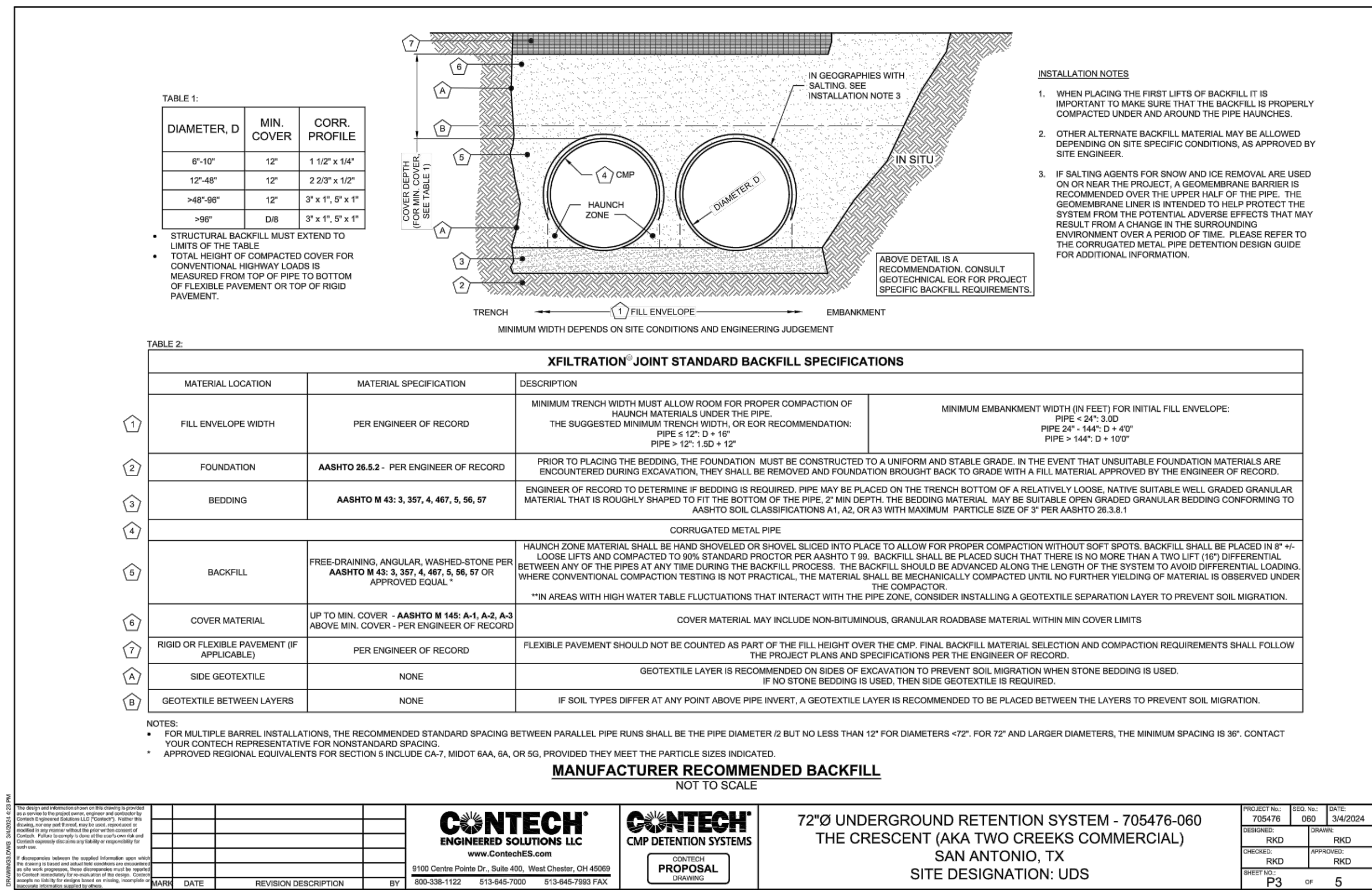
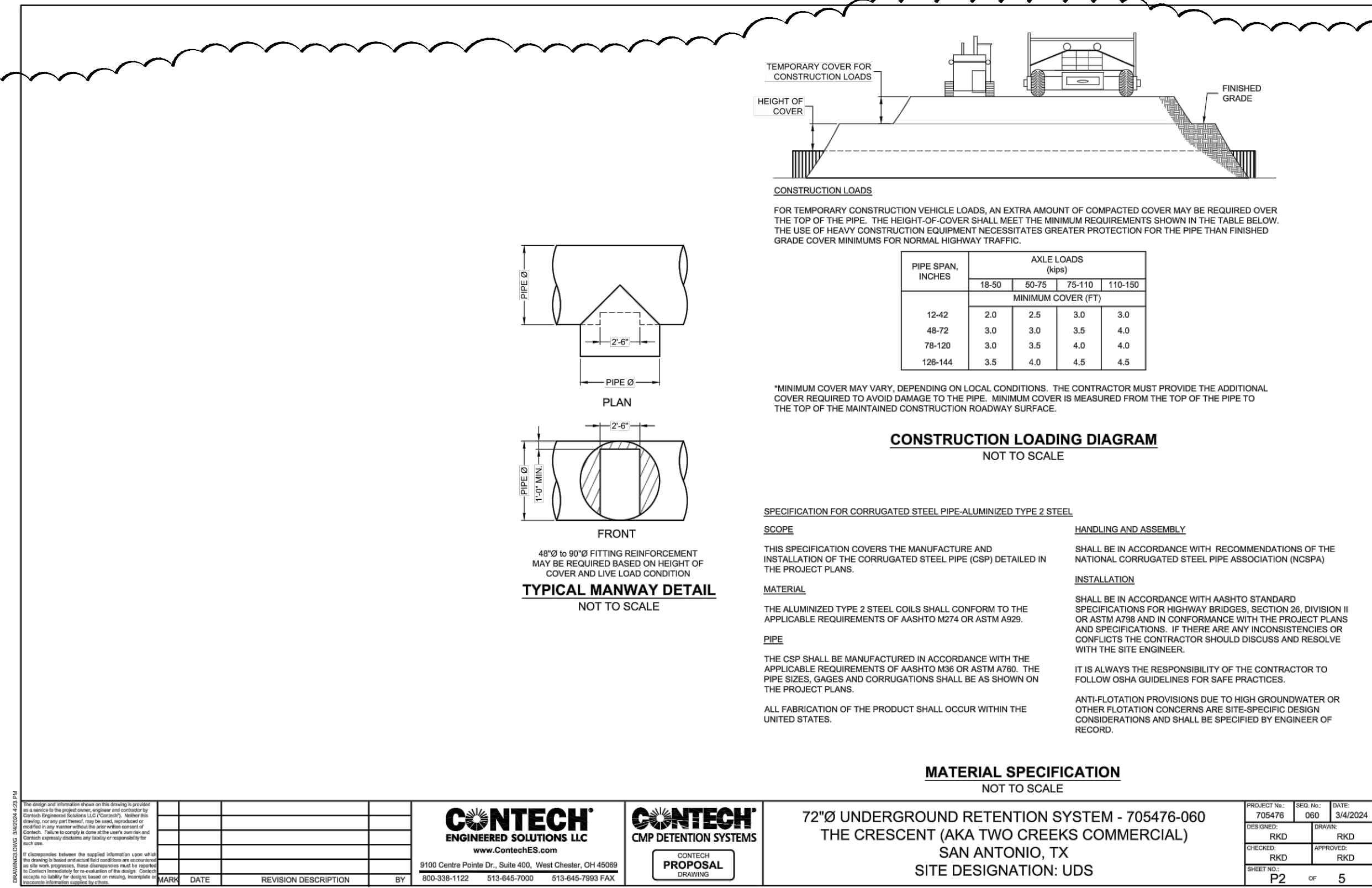
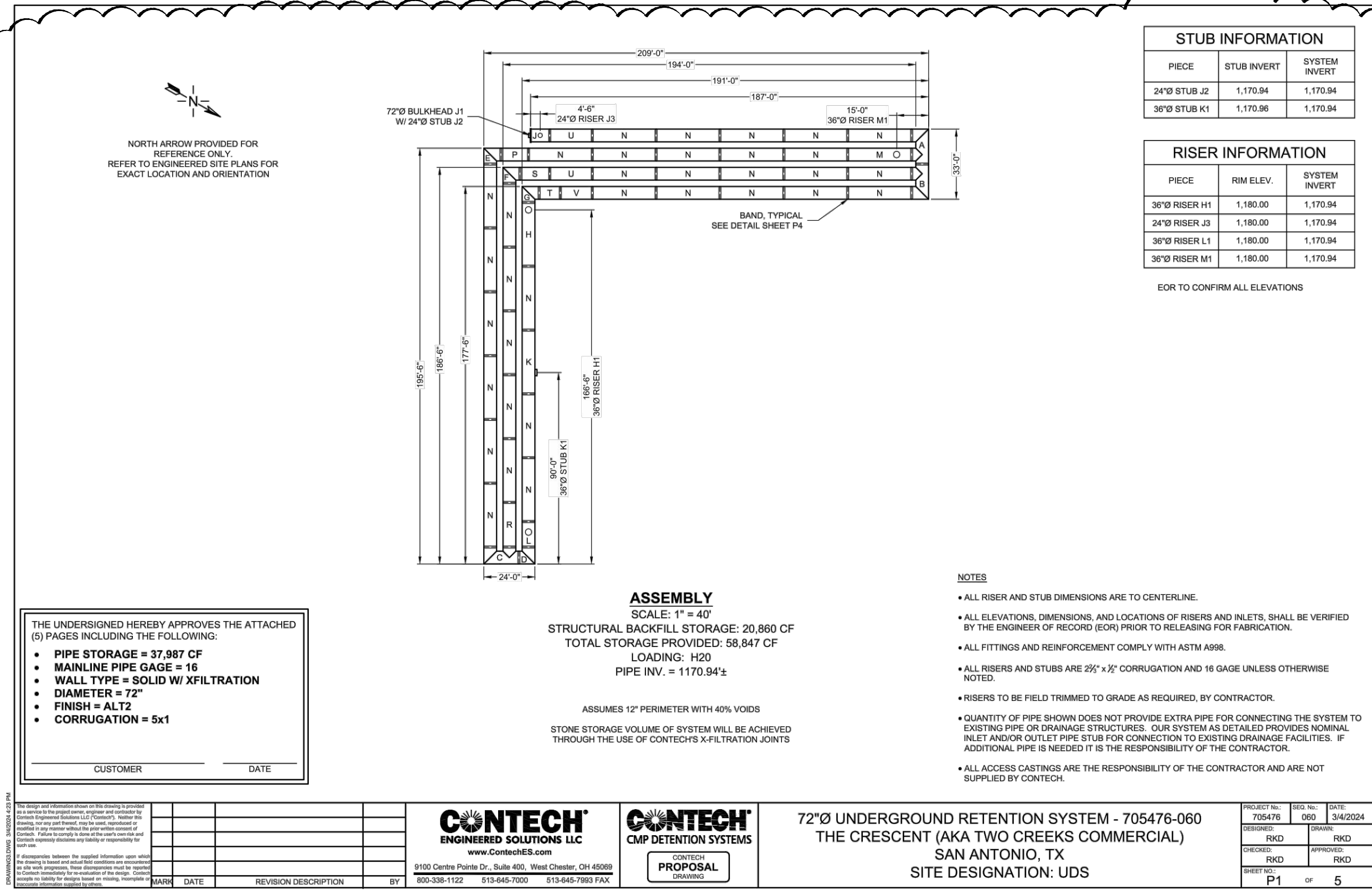
DATE: August 7, 2024

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

C8.1

Date: Mar 26, 2024, 11:49am User ID: JWarren
File: K:\9420102\Design\Civil\BADD\19430102.dwg



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DATE: 03/26/24
FILE: 9430102.dwg

Usual Pavement: Steel

Usual Pavement: Steel

Permissible Construction Joint

Permissible Construction Joint

Usual Pavement: Steel

Usual Pavement: Steel

Permissible Construction Joint

Permissible Construction Joint

Usual Pavement: Steel

Usual Pavement: Steel

Permissible Construction Joint

Permissible Construction Joint

EXPANSION JOINT DETAIL

CURB TRANSITION

GENERAL NOTES

- All materials and construction shall be in accordance with Item 529, "Concrete Curb, Gutter, and Combined Curb and Gutter", of the Texas Standard Specifications for Road and Bridge Construction.
- Concrete shall be Class A.
- When reinforcing bars are used, they shall be No. 4 unless otherwise shown. The use of fiber reinforced concrete in lieu of reinforcing steel is acceptable, use fibers meeting the requirements of DMS 4550, "Fibers for Concrete, and Gase Fibers in accordance with Material Producer's List (MPL) "Fibers for Class A and B Concrete Applications.
- Round exposed sharp edges with a rounding tool, to a minimum radius of 1/4" inch.
- All existing curbs and driveways to be removed shall be sawed or removed at existing joints.
- Where concrete curb is to be placed on existing concrete pavement, Bar B may be drilled and the grouted in place, or may be inserted into fresh concrete.
- Expansion and contraction joints shall be constructed to match pavement joints in all curbs and curb and gutter adjacent to jointed concrete pavement. Where placement of curb or curb and gutter is not adjacent to concrete pavement, expansion joints shall be provided at structures, curb returns at streets, and at locations directed by the Engineer.
- Vertical and horizontal dowel bars and transverse reinforcing bars shall be placed at four feet C-C.
- Dimension "T" shall be the thickness of concrete pavement, when curb is installed adjacent to flexible pavement dimension "T" is 8" maximum.
- Usual profile grade line. Refer to typical sections and plan profile sheets for exact locations.
- One-half inch expansion joint material shall be provided where curb or curb and gutter is adjacent to slabs or curbs.
- When horizontal permissible construction joints are used, the longitudinal pavement steel shall be placed in accordance with pavement details shown elsewhere in the plans. Reinforcing steel for curb section shall meet the requirements for concrete curb.
- Bar B used as needed to support curb reinforcing steel during concrete placement.

CONCRETE CURB AND CURB AND GUTTER

CCCC-21

| FILE | DATE | BY | CHK | APP | REV | DATE | BY | CHK | APP |
|---------|------------|----|-----|-----|-----|------|----|-----|-----|
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |

DESIGN DIVISION STANDARD

TEXAS DEPARTMENT OF TRANSPORTATION

CONCRETE CURB AND CURB AND GUTTER

CCCC-21

| FILE | DATE | BY | CHK | APP | REV | DATE | BY | CHK | APP |
|---------|------------|----|-----|-----|-----|------|----|-----|-----|
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |
| CCCC-21 | 02/01/2021 | JG | WJ | | | | | | |

LANE REDUCTION

LANE REDUCTION

LANE REDUCTION

LANE REDUCTION

GENERAL NOTES

- Lane reduction pavement markings are used where the number of through lanes is reduced because of narrowing of the roadway or because of a section of on-street parking in what would otherwise be a through lane. For Texas Super 2 Posting Lines, see TSD (PL) standard sheets.
- On divided highways, an additional W9-1R "Right Lane Ends" sign may be placed to the right of the median aligned with the W9-1R sign to the right of the median.
- Lane reduction arrows are required for speeds of 45 mph or greater. An optional third lane reduction arrow may be added based on engineering judgement. If used, the optional third lane reduction arrow should be centered between the first and last lane reduction arrows.
- For lane reductions on Freeways and Expressways, signing shall conform to the TxDOT Freeway Signing Handbook.

POSTED SPEED

| POSTED SPEED | D (ft) | L (ft) |
|--------------|--------|--------|
| 30 MPH | 460 | 1,100 |
| 35 MPH | 565 | 1,400 |
| 40 MPH | 670 | 1,700 |
| 45 MPH | 775 | 2,000 |
| 50 MPH | 880 | 2,300 |
| 55 MPH | 985 | 2,600 |
| 60 MPH | 1,090 | 2,900 |
| 65 MPH | 1,195 | 3,200 |
| 70 MPH | 1,300 | 3,500 |
| 75 MPH | 1,405 | 3,800 |

LANE REDUCTION

LANE REDUCTION

LANE REDUCTION

LANE REDUCTION

GENERAL NOTES

- Lane use word and arrow markings shall be used where through lanes approaching an intersection become mandatory turn lanes. Lane use word and arrow markings shall be used in auxiliary lanes of subject intersection. Lane use word and arrow markings may be used in other lanes and turn bays for emphasis. Details for word and arrows are as shown in the Standard Highway Sign Designs for Texas.
- When lane-use words and arrow markings are used, two sets of arrows should be used if the length of the bay is greater than 180 feet. When a single set of arrows is used, the arrow marking is used for a short turn lane. It should be located at or near the upstream end of the full-width turn lane.
- Use raised pavement marker Type I-C with undivided highways, flush medians and two way left turn lanes. Use raised pavement marker Type II-C with divided highways and raised medians.
- Length of turn bays, including taper, deceleration, and storage lengths shall be as shown on the plans or as directed by the Engineer.

MATERIAL SPECIFICATIONS

| PAVEMENT MARKERS (REFLECTORIZED) | DMS-4200 |
|---|----------|
| EPXY AND ADHESIVES <td>DMS-6100</td> | DMS-6100 |
| BITUMINOUS ADHESIVE FOR PAVEMENT MARKERS <td>DMS-6130</td> | DMS-6130 |
| TRAFFIC PAINT <td>DMS-8200</td> | DMS-8200 |
| HOT APPLIED THERMOPLASTIC <td>DMS-8220</td> | DMS-8220 |
| PERMANENT PREFABRICATED PAVEMENT MARKINGS <td>DMS-8240</td> | DMS-8240 |

PAVEMENT MARKINGS

PAVEMENT MARKINGS

PAVEMENT MARKINGS

PAVEMENT MARKINGS

SHOULDER

SHOULDER

SHOULDER

SHOULDER

GENERAL NOTES

- Longitudinal crosswalk lines should not be placed in the wheel path of vehicles. Center the crosswalk lines on travel lanes, lane lines, and shoulder lines (if present).
- A minimum 6' clear distance shall be provided to the curb face. If the last crosswalk line falls into this distance it must be omitted.
- For divided roadways, adjustments in spacing of the crosswalk lines should be made in the median so that the crosswalk lines are maintained in their proper location across the travel portion of the roadway.
- At skewed crosswalks, the crosswalk lines are to remain parallel to the lane lines.
- Each crosswalk shall be a minimum of 6' wide.
- The high-visibility Longitudinal Crosswalk is the preferred crosswalk pattern on State Highways. Other crosswalk patterns as shown in the Texas Manual on Uniform Traffic Control Devices may be used. All crosswalk designs and dimensions shall comply with the Texas Manual on Uniform Traffic Control Devices.
- Final placement of Stop Bar and Crosswalk shall be approved by the Engineer in the field.

MATERIAL SPECIFICATIONS

| PAVEMENT MARKERS (REFLECTORIZED) | DMS-4200 |
|---|----------|
| EPXY AND ADHESIVES <td>DMS-6100</td> | DMS-6100 |
| BITUMINOUS ADHESIVE FOR PAVEMENT MARKERS <td>DMS-6130</td> | DMS-6130 |
| TRAFFIC PAINT <td>DMS-8200</td> | DMS-8200 |
| HOT APPLIED THERMOPLASTIC <td>DMS-8220</td> | DMS-8220 |
| PERMANENT PREFABRICATED PAVEMENT MARKINGS <td>DMS-8240</td> | DMS-8240 |

PAVEMENT MARKINGS

PAVEMENT MARKINGS

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

GENERAL NOTES

- Use stop bars with "Stop Here for Pedestrians" signs or unsignalized mid block crosswalks.
- Use stop bars with "Stop Here on Red" signs at mid block crosswalks controlled by traffic signals or pedestrian hybrid beacons.

CONCRETE DRIVEWAY

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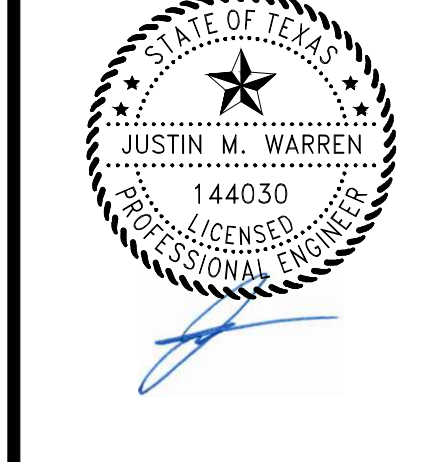
CONCRETE DRIVEWAY

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THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
TXDOT STANDARD DETAILS

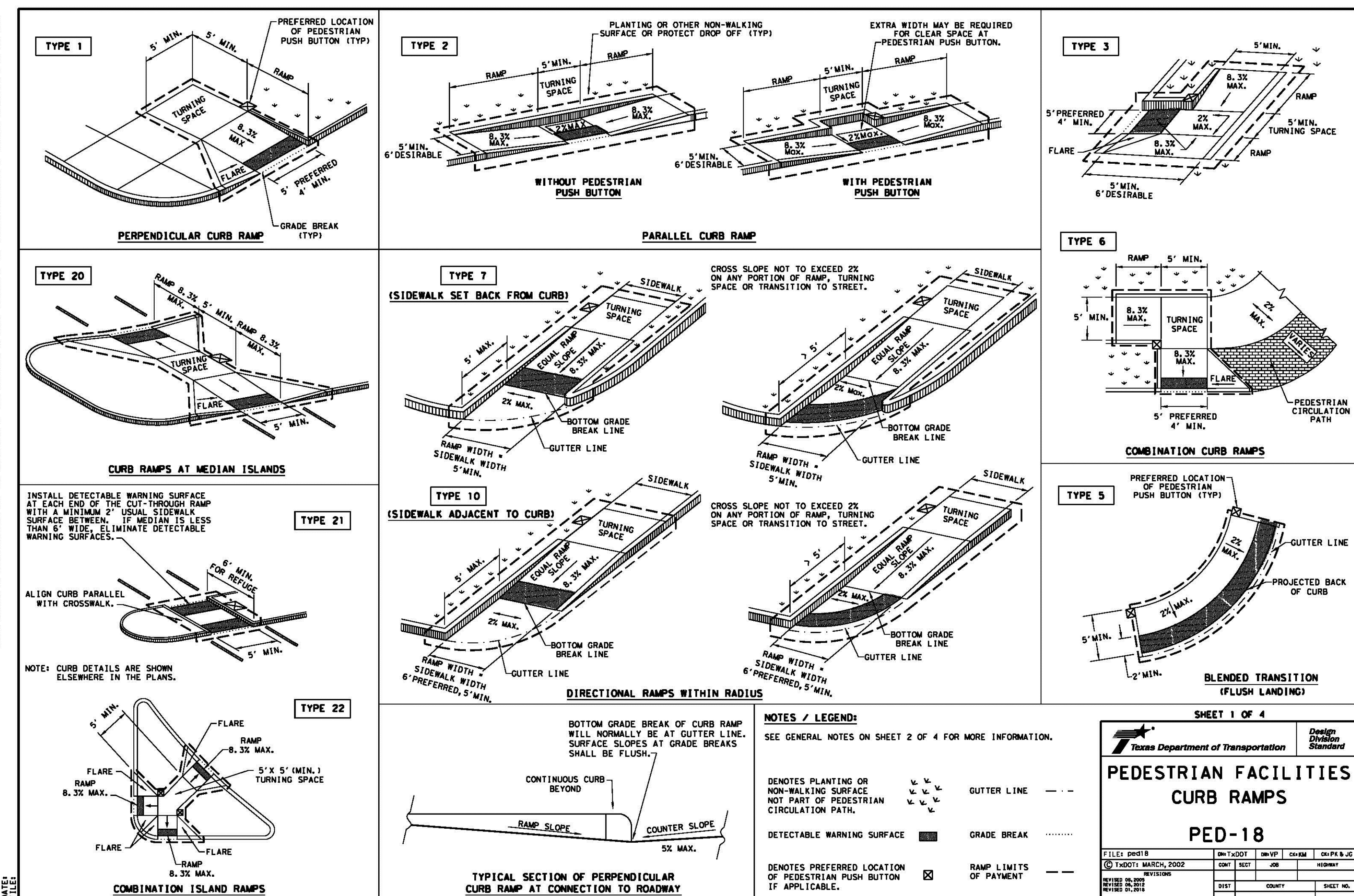
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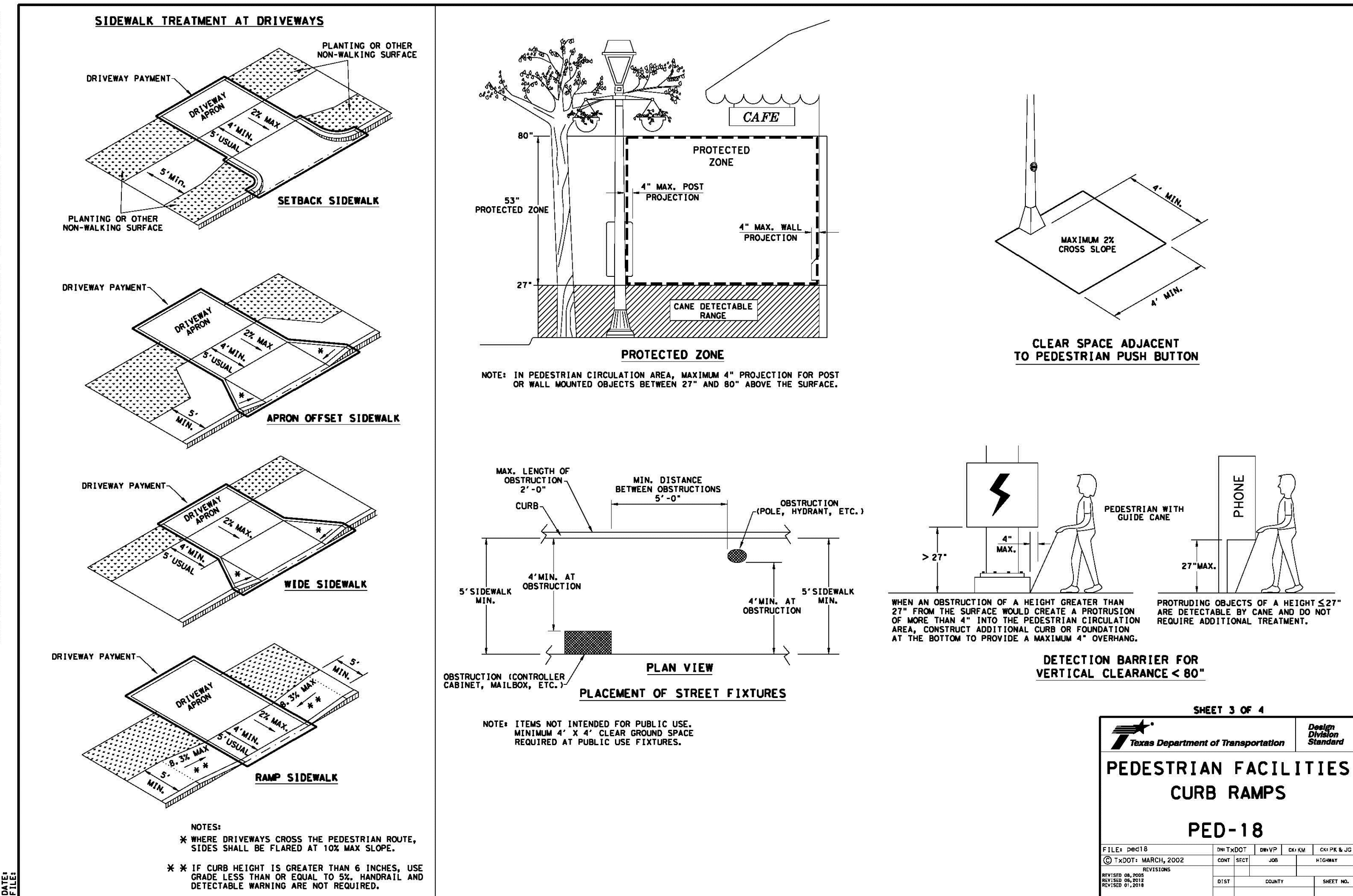
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TSS-ENR-12-893 • TSS-ENR-12-893

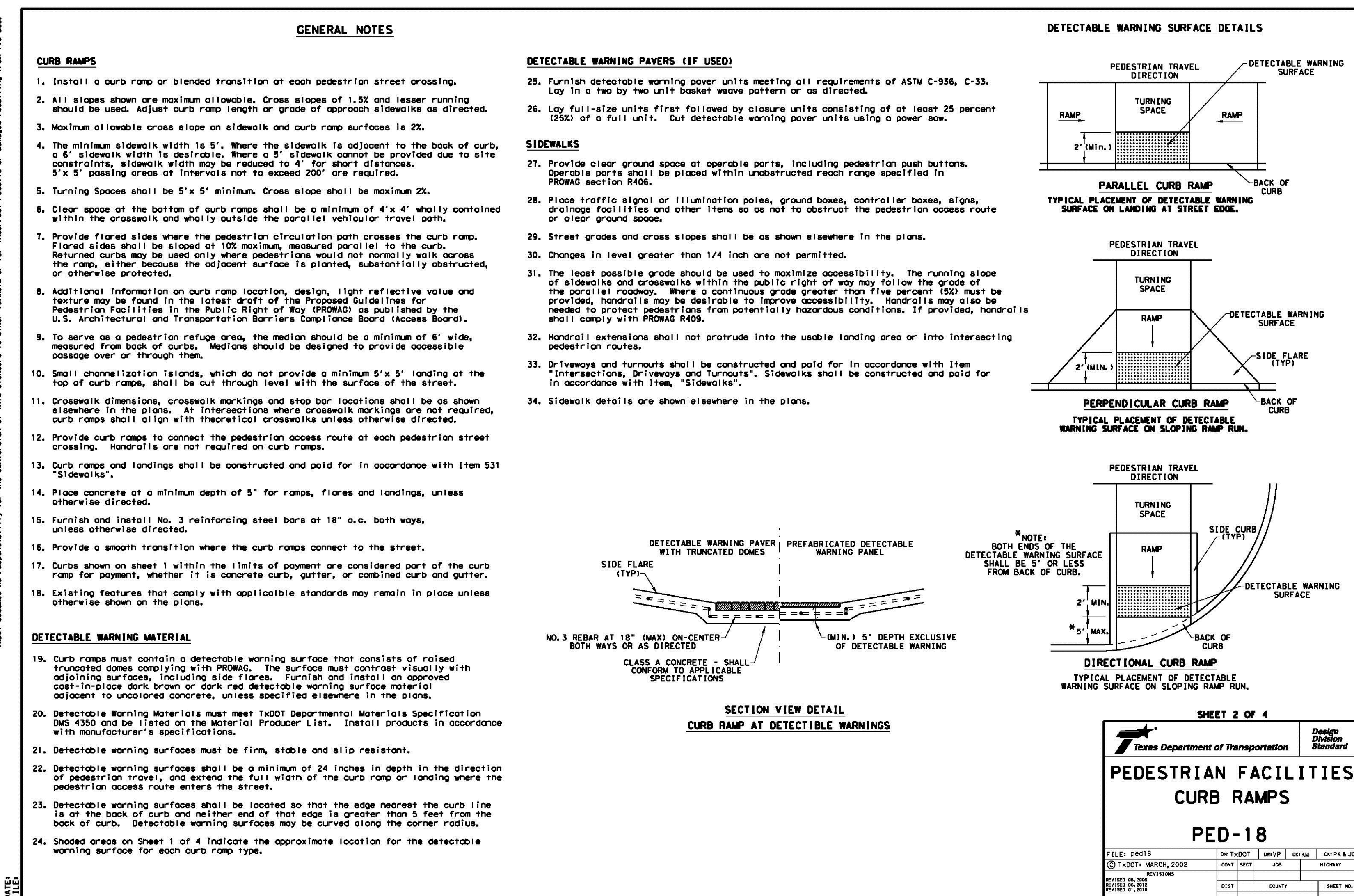
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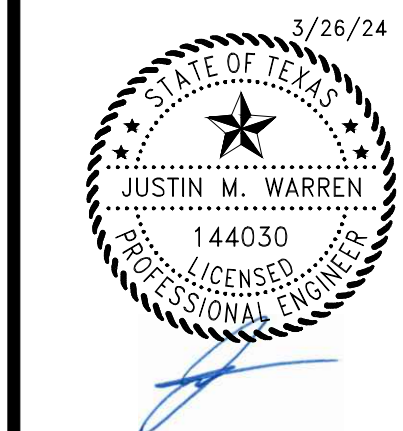
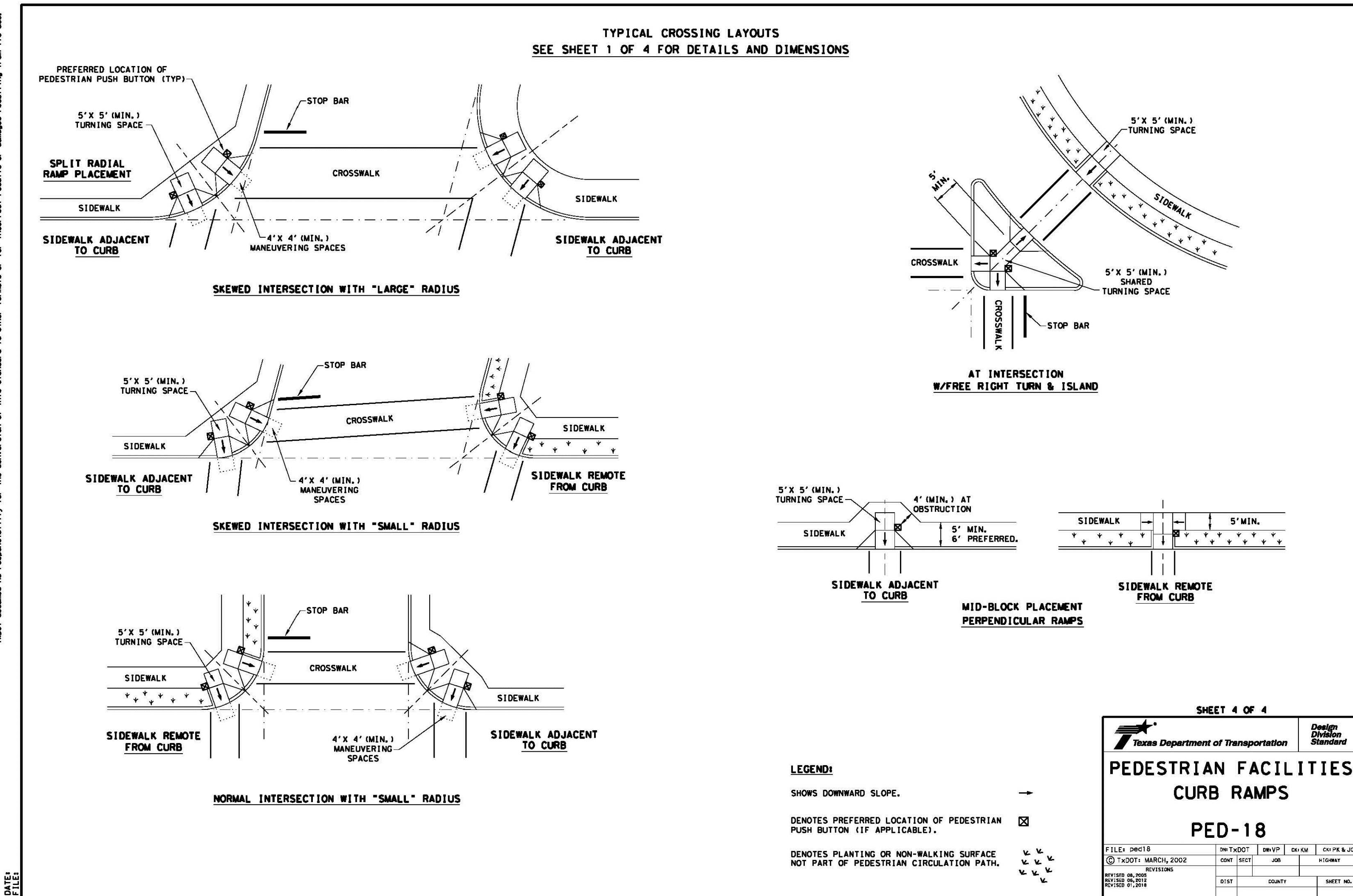
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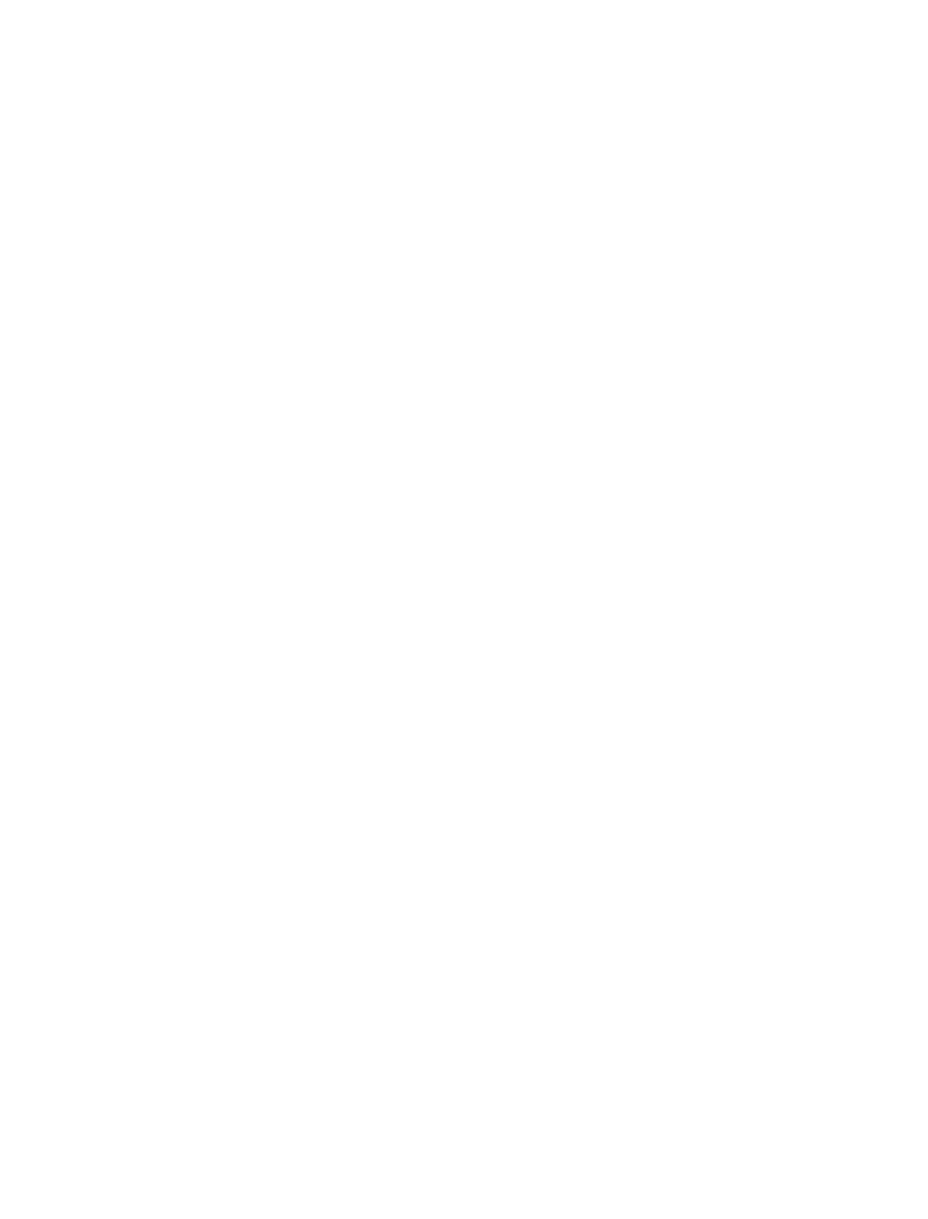
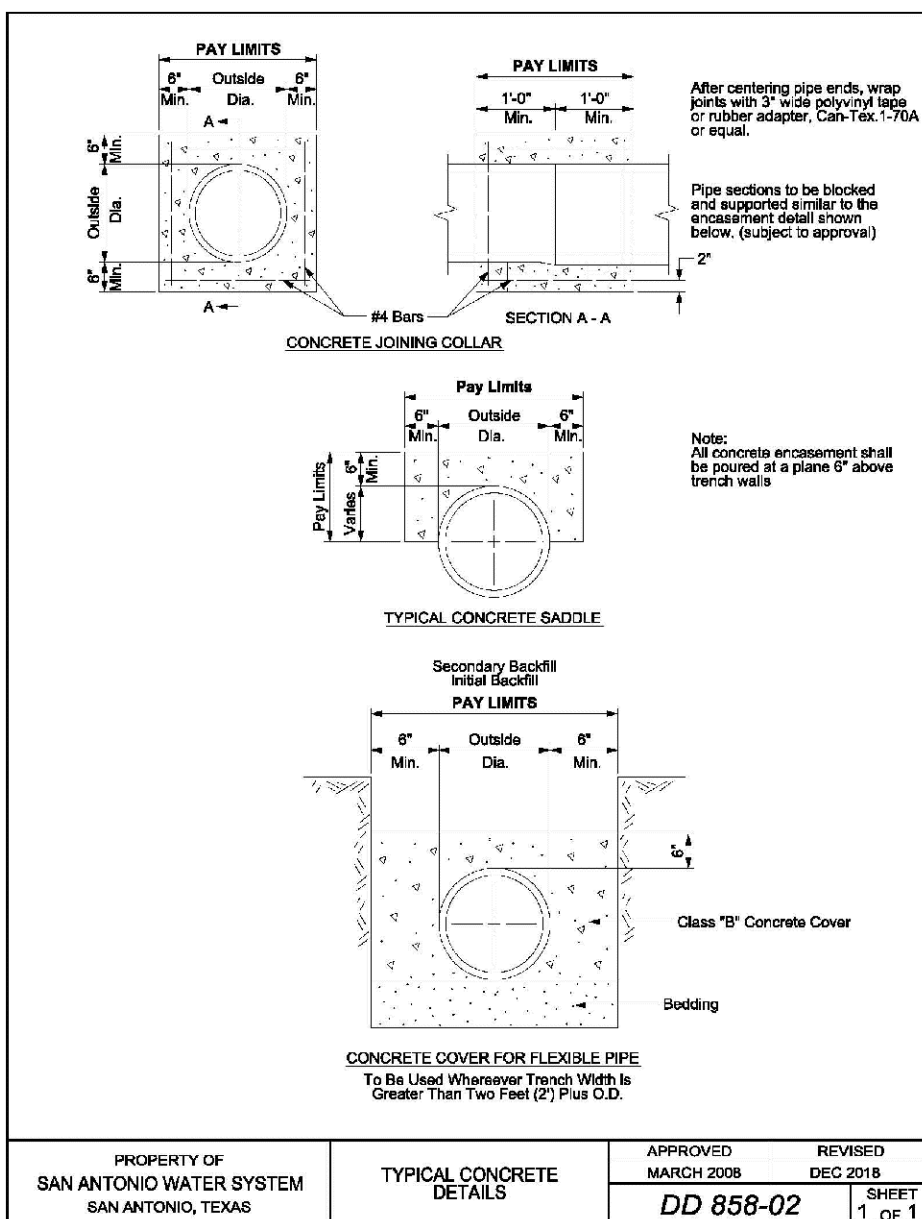
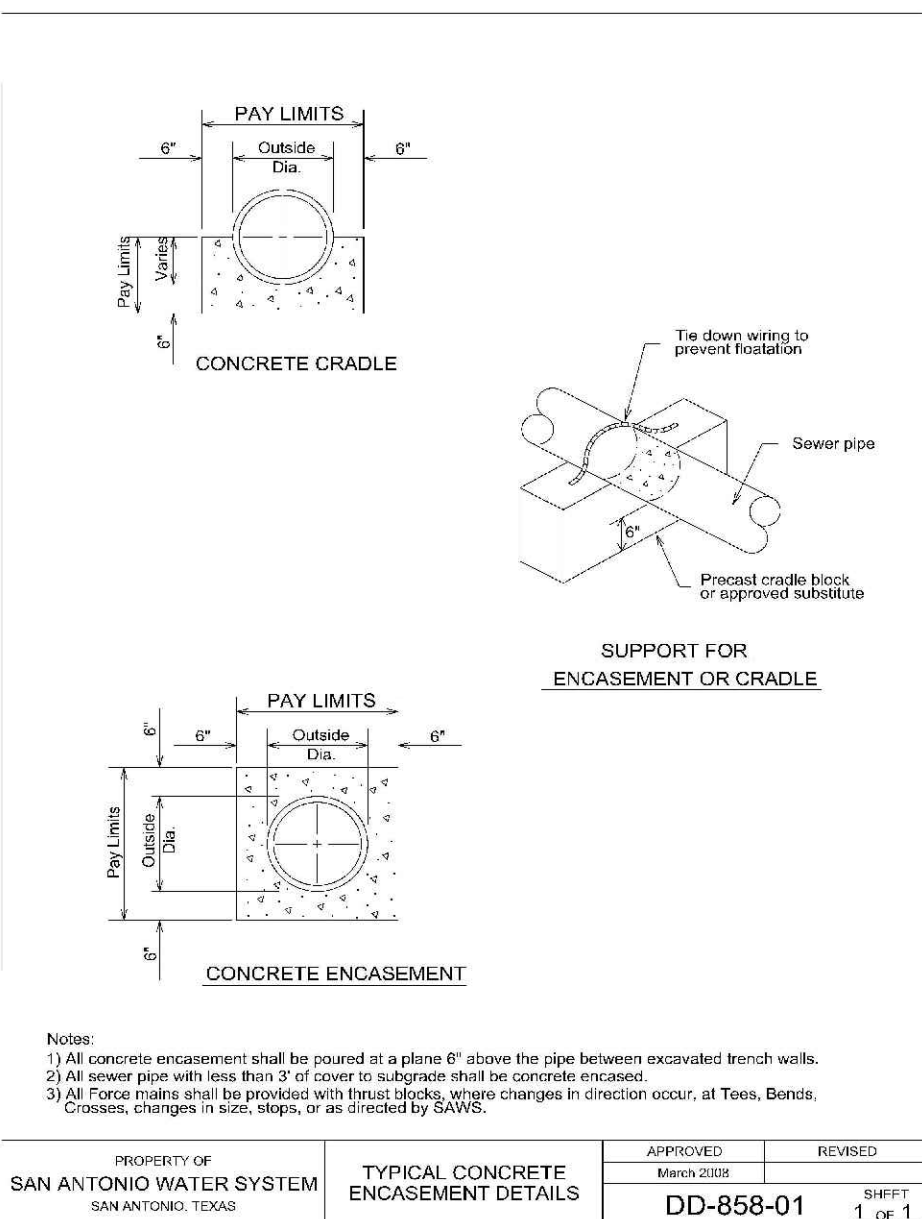
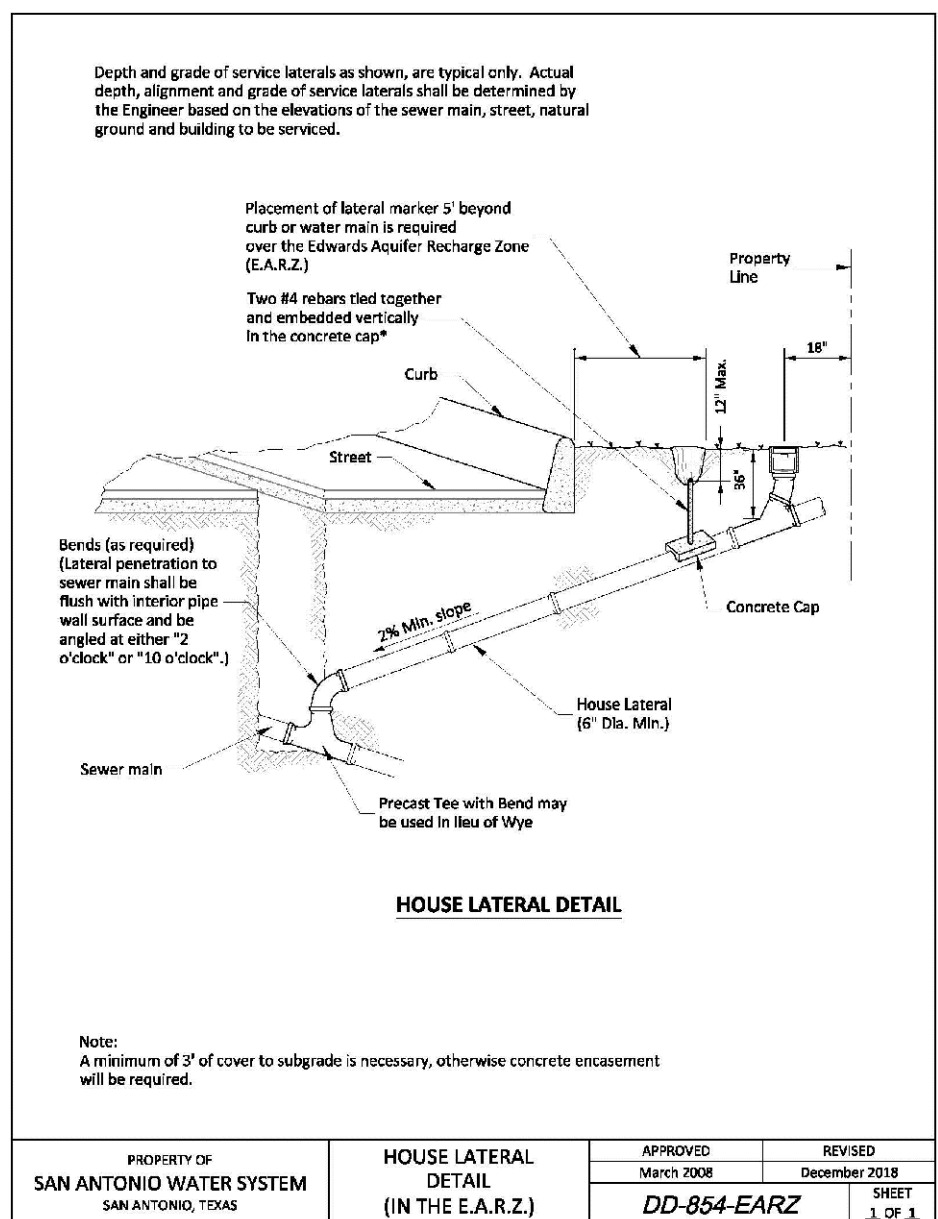
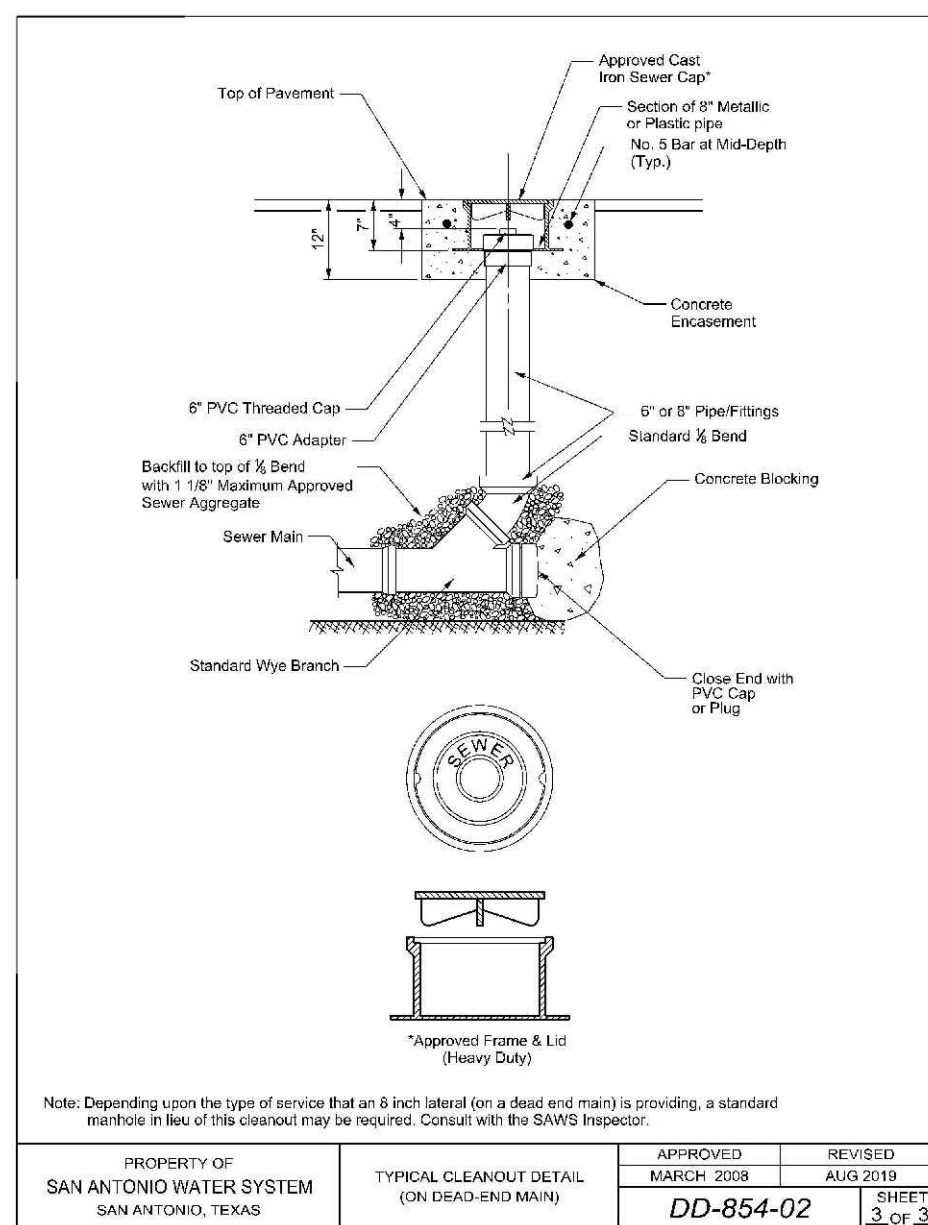
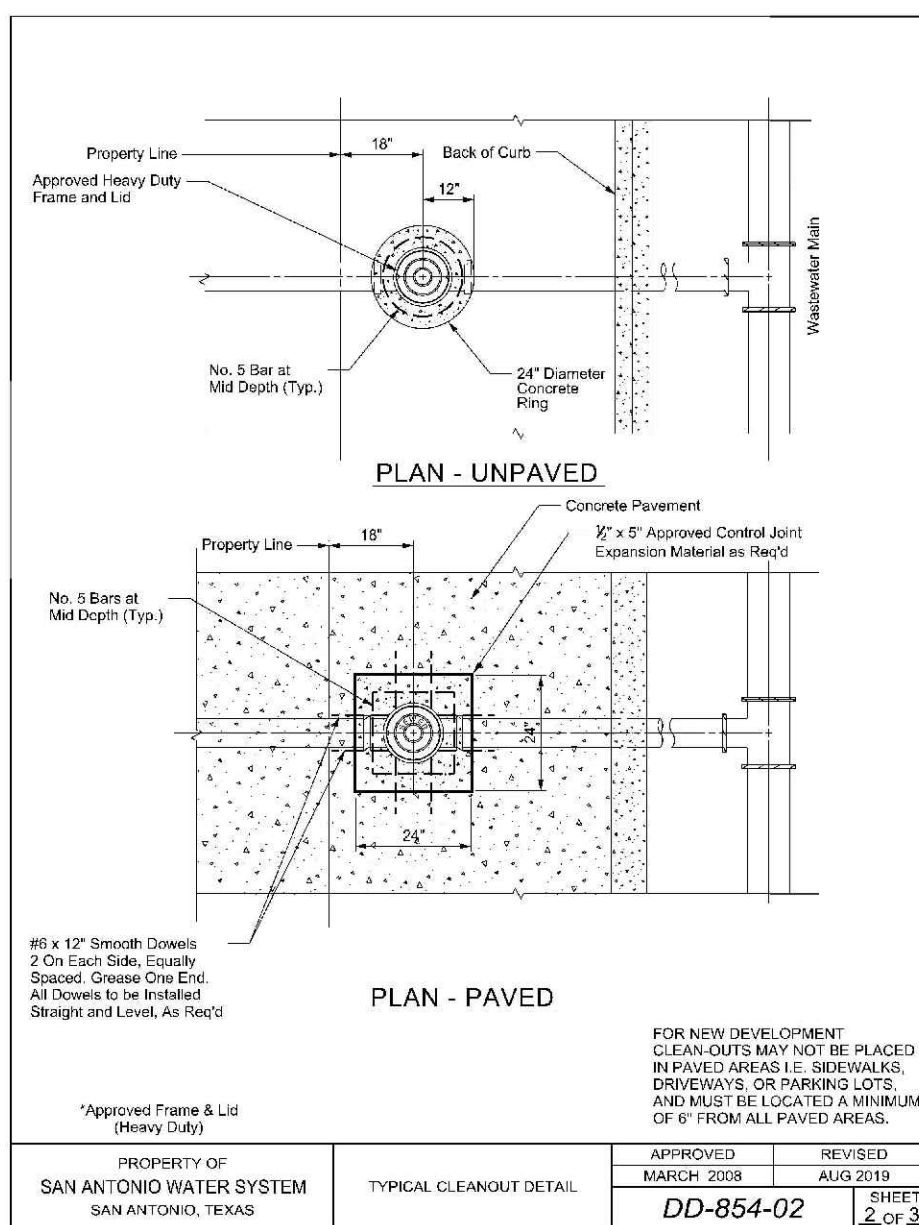
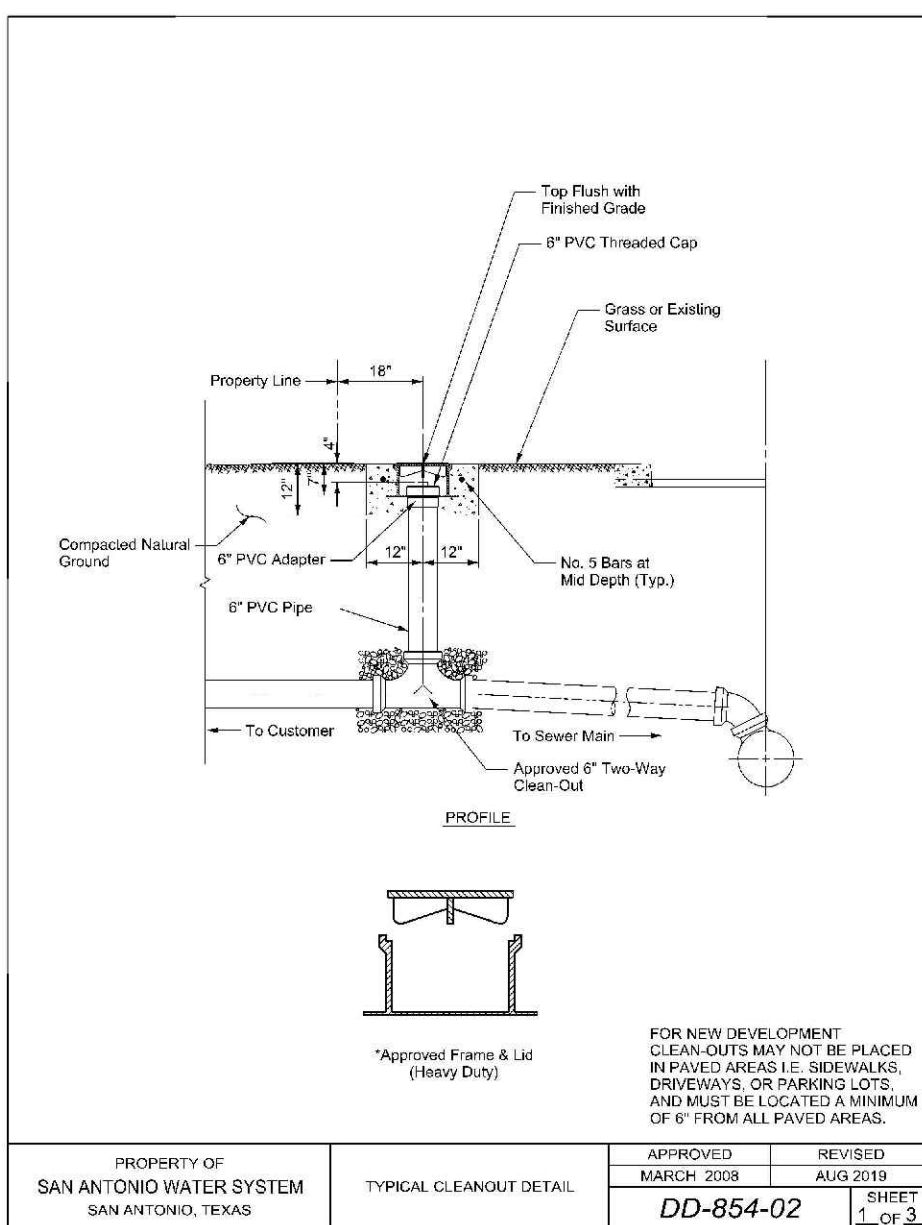
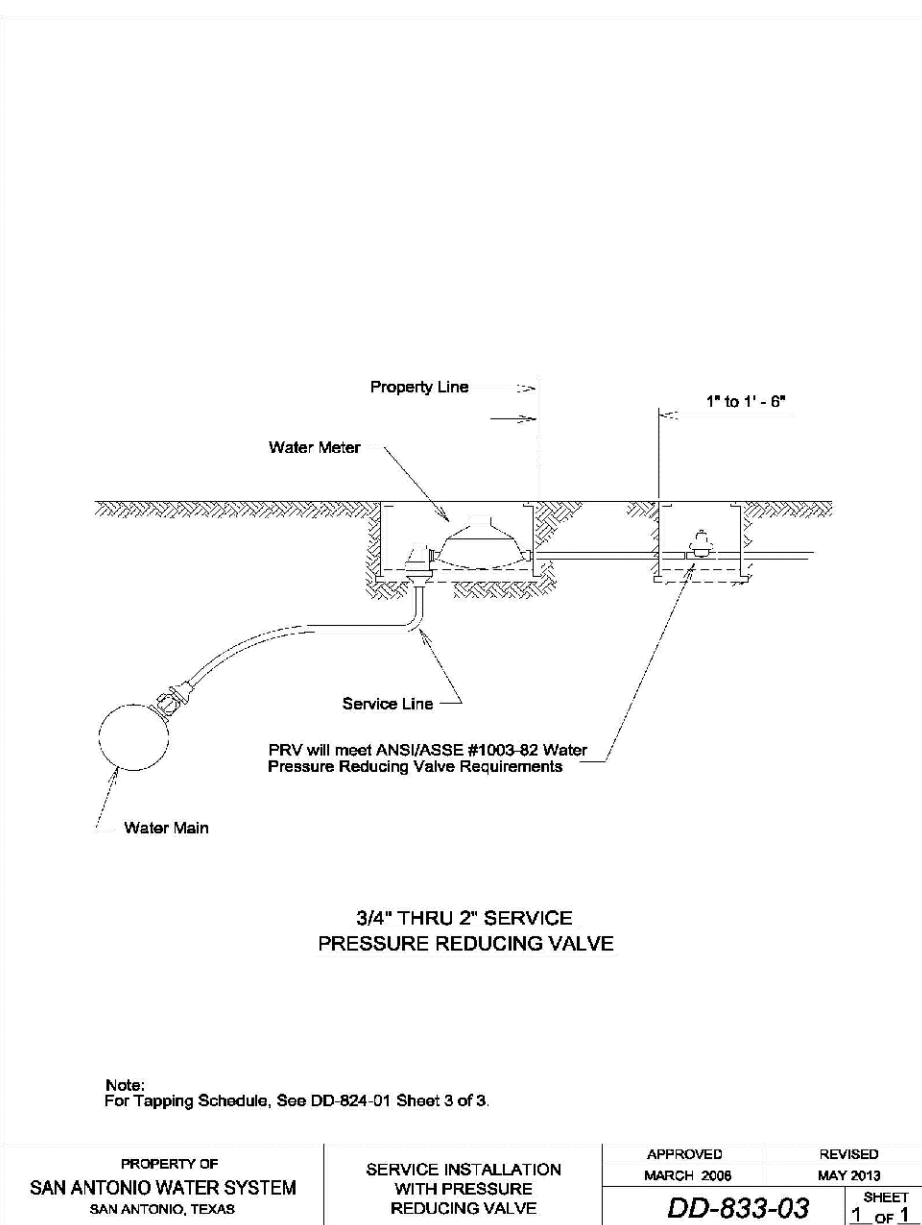
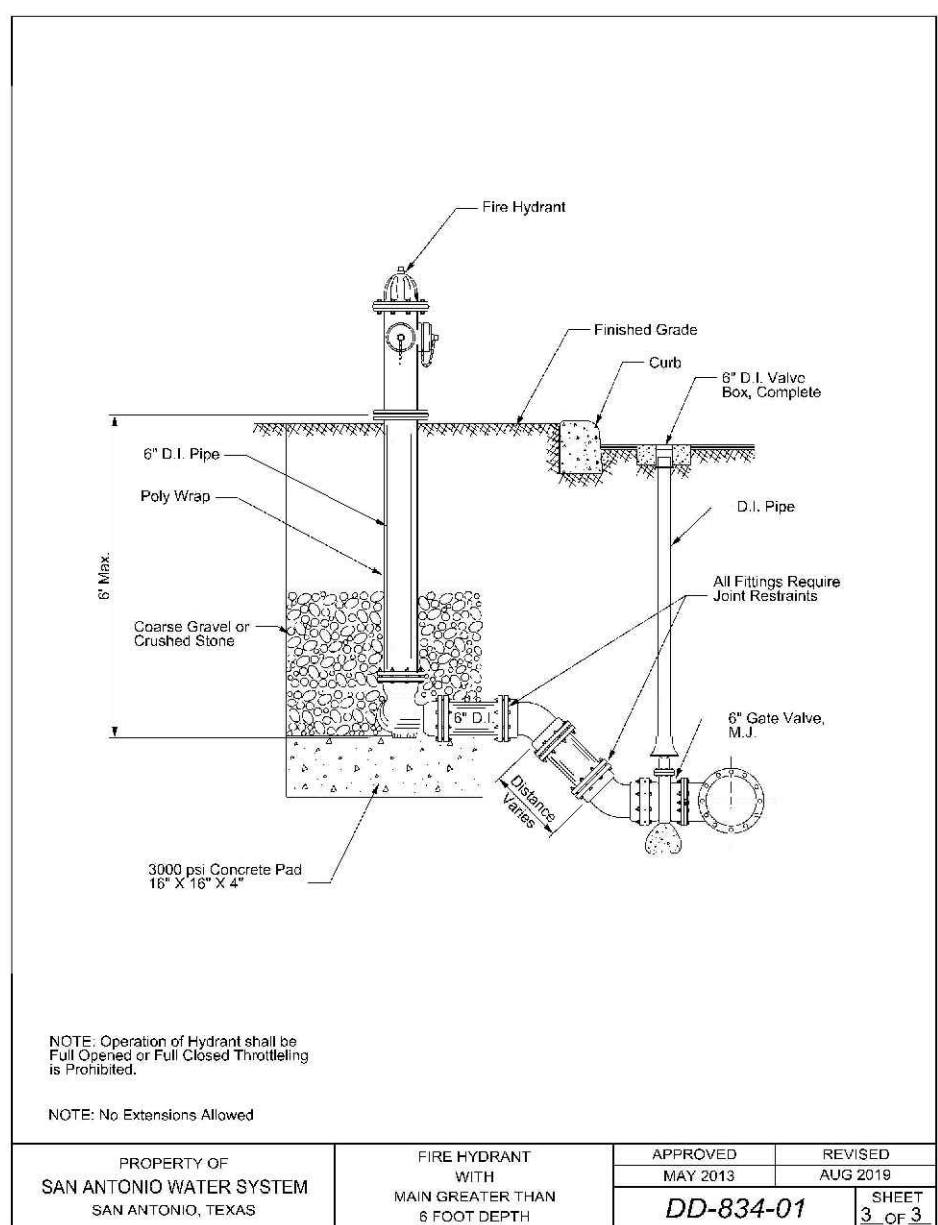
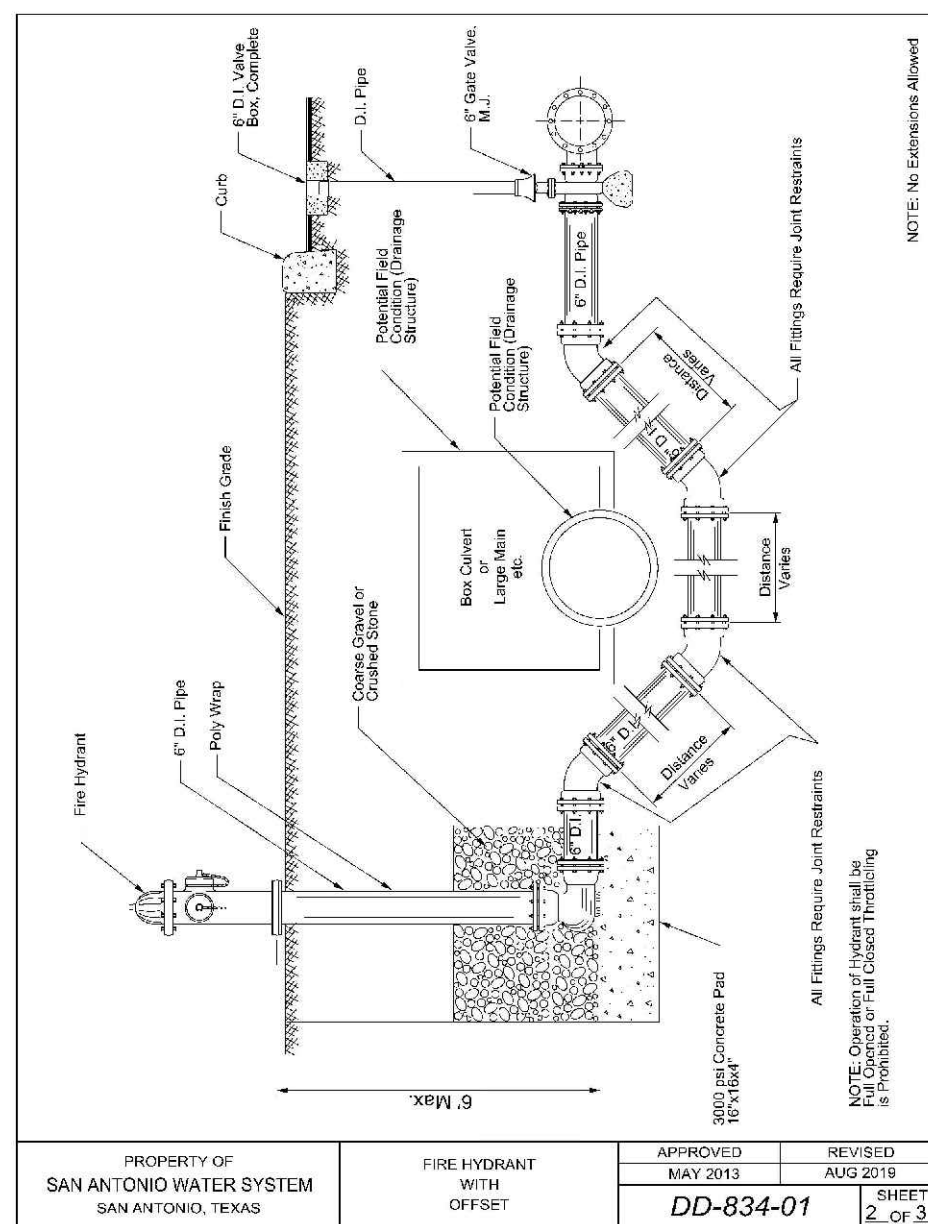
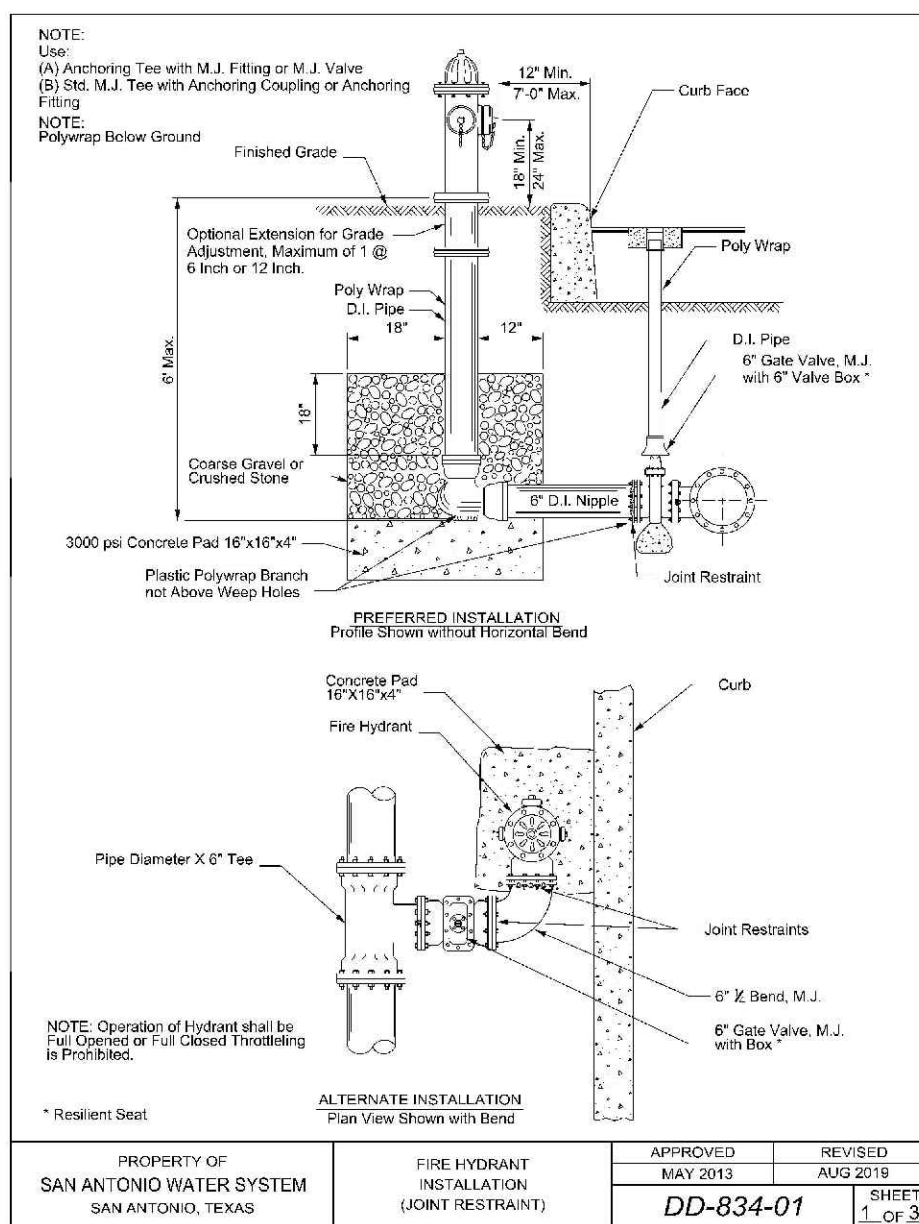
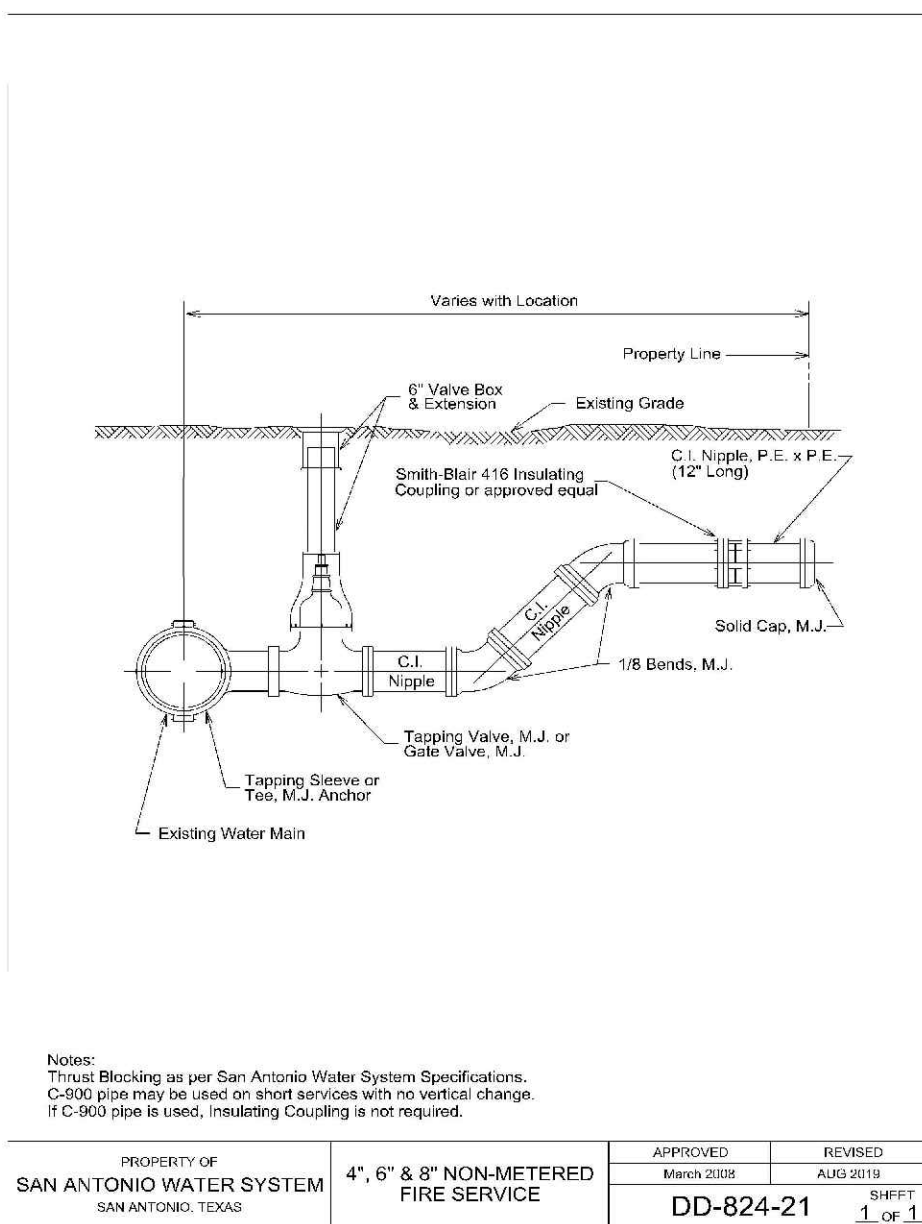
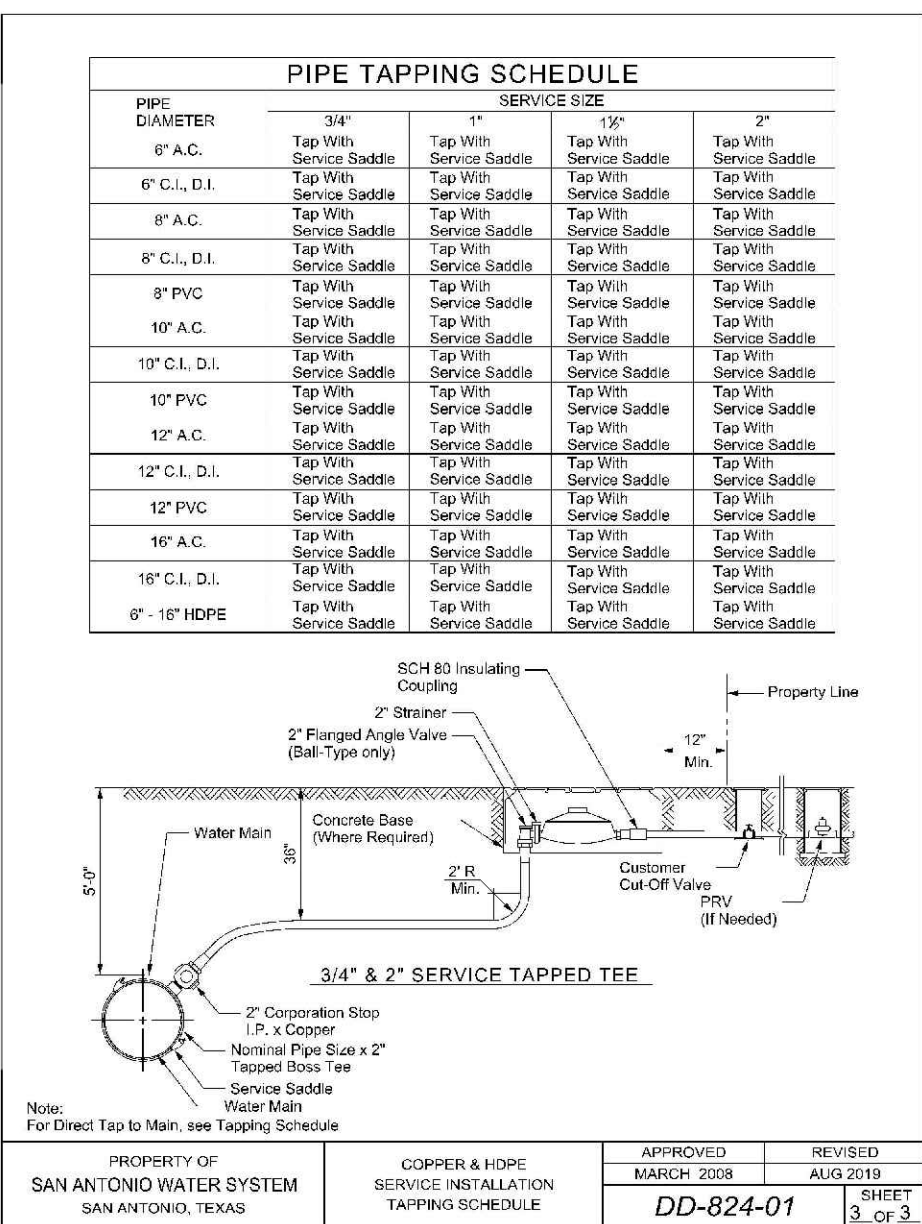
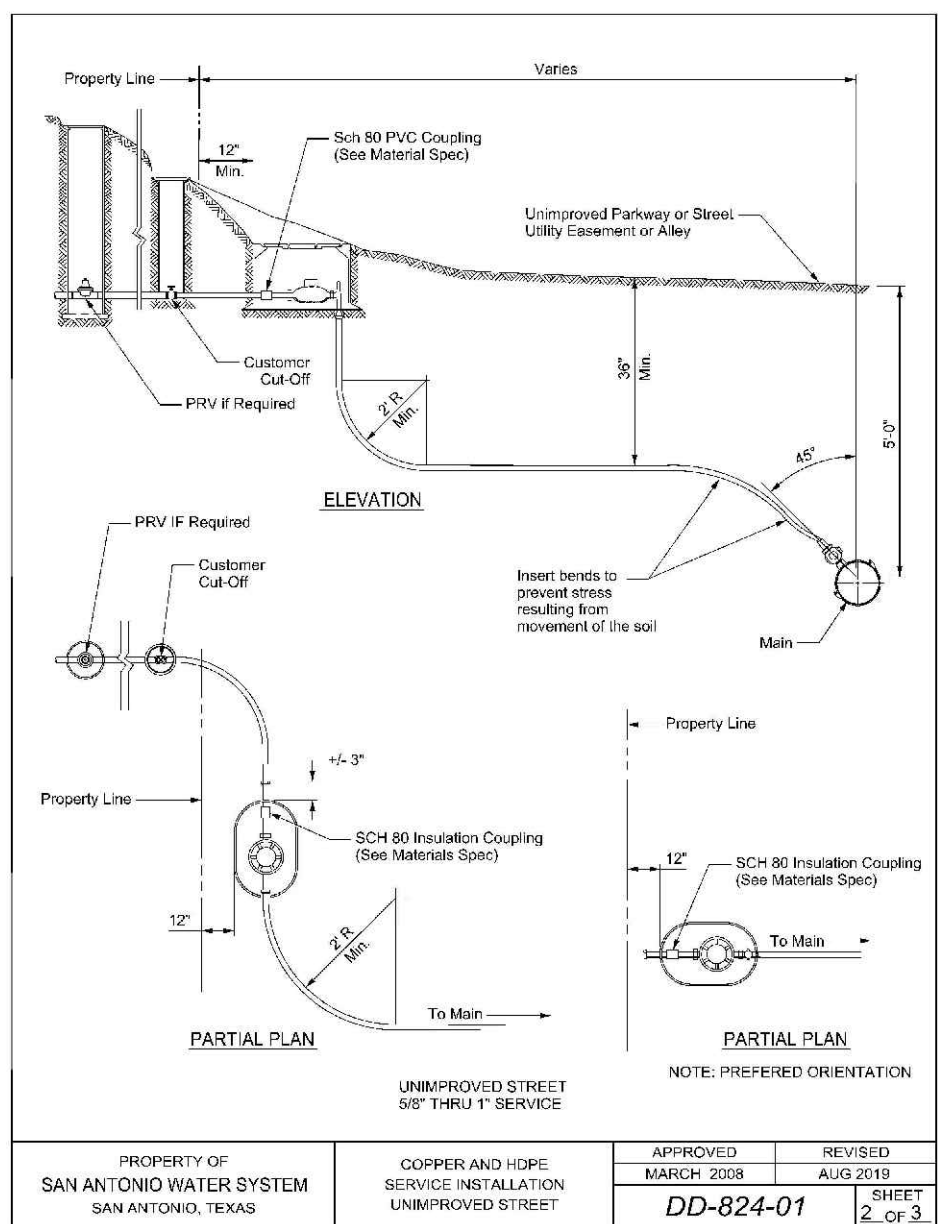
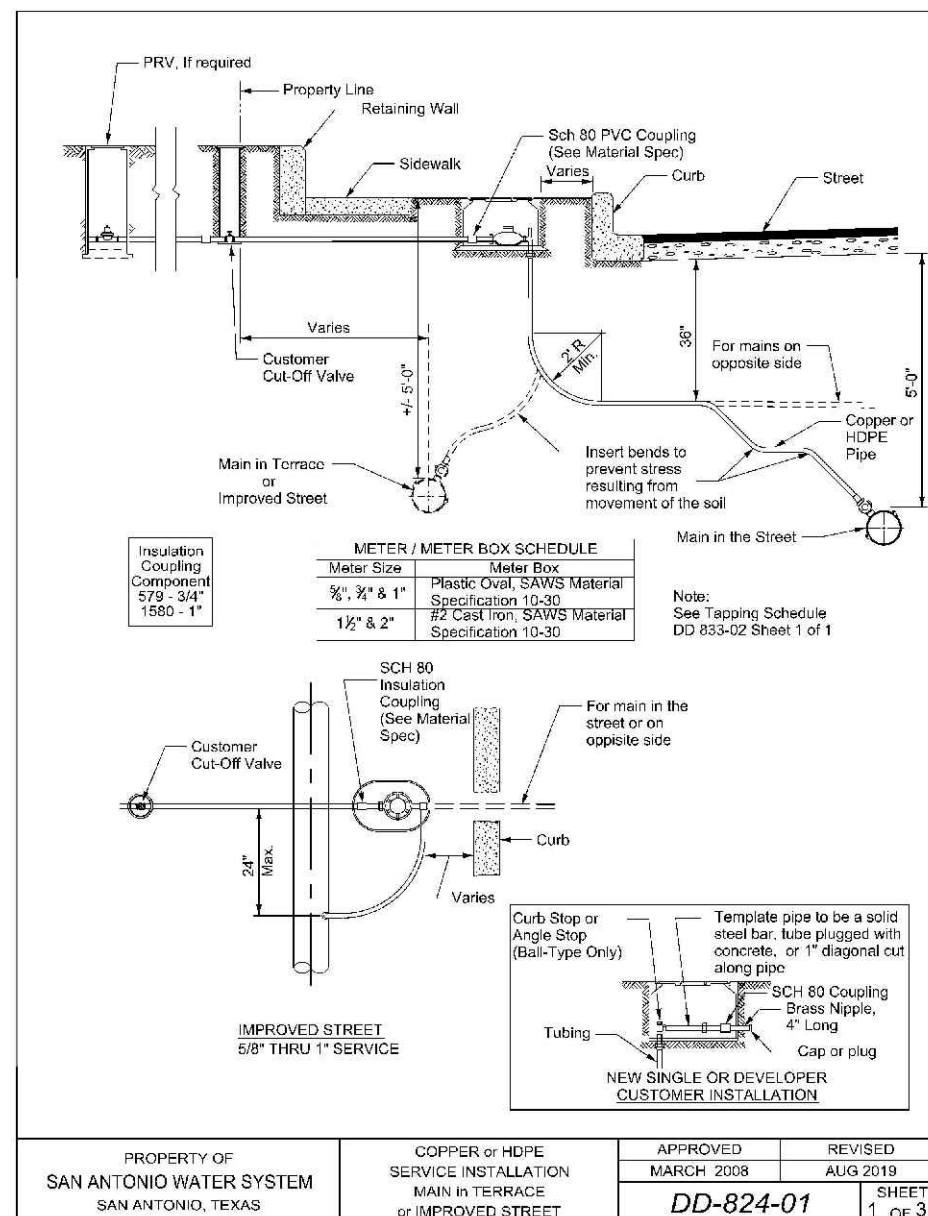
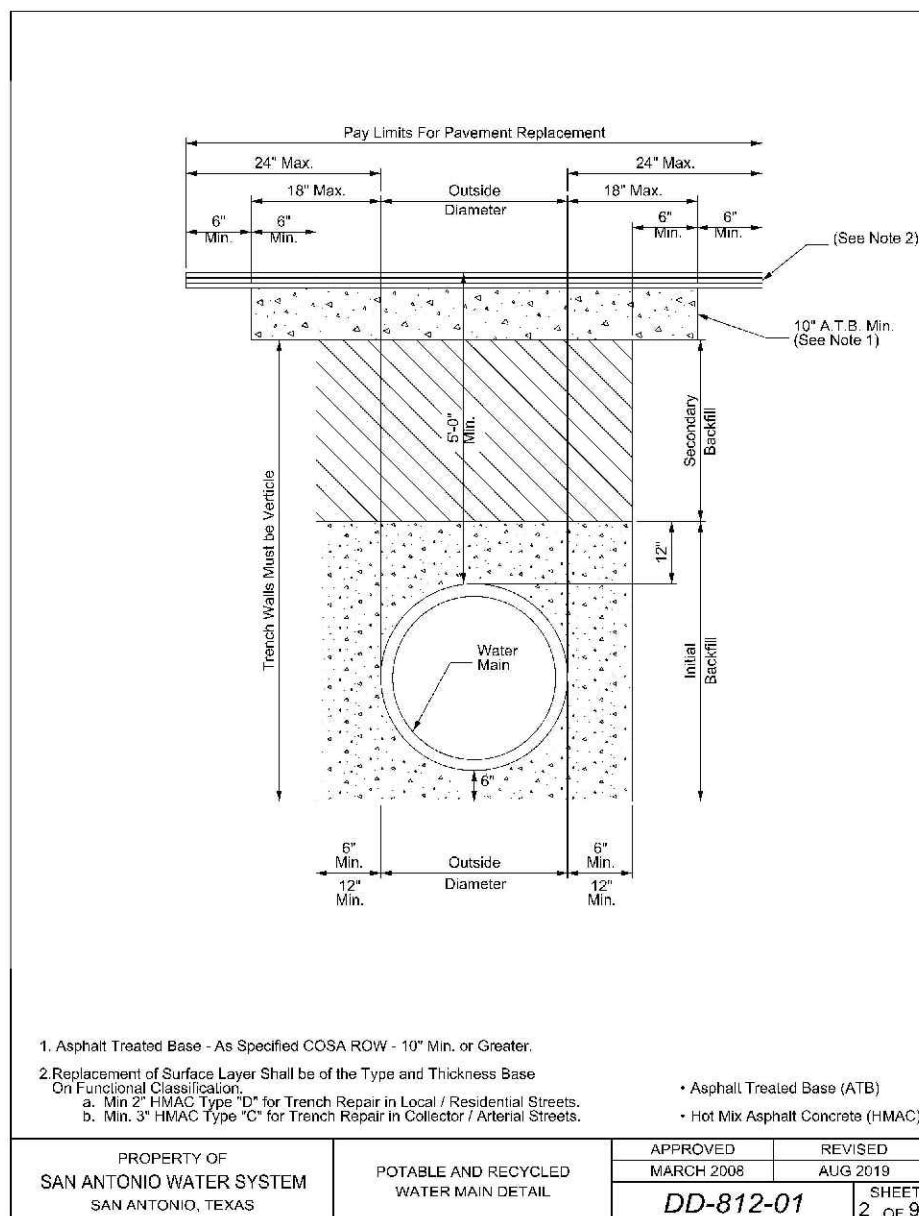
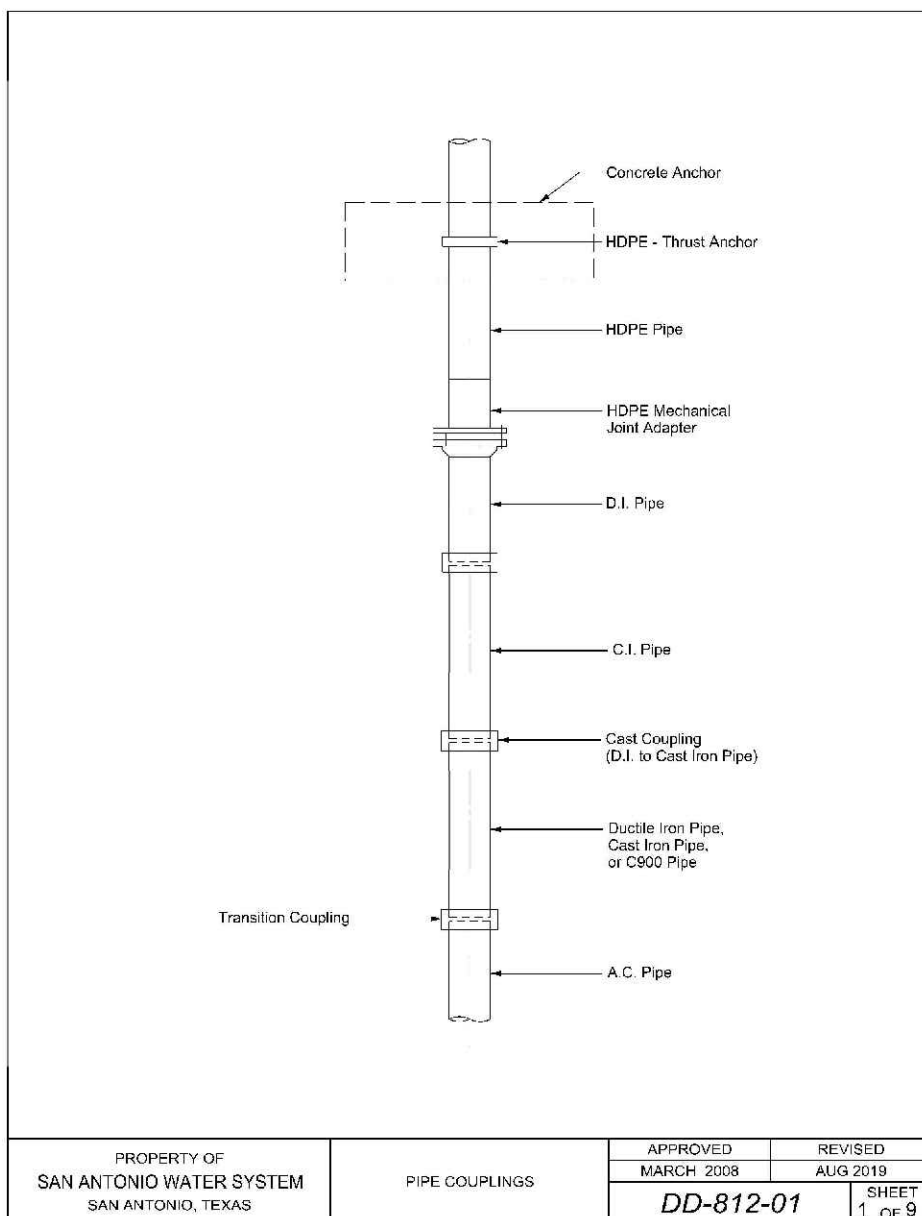
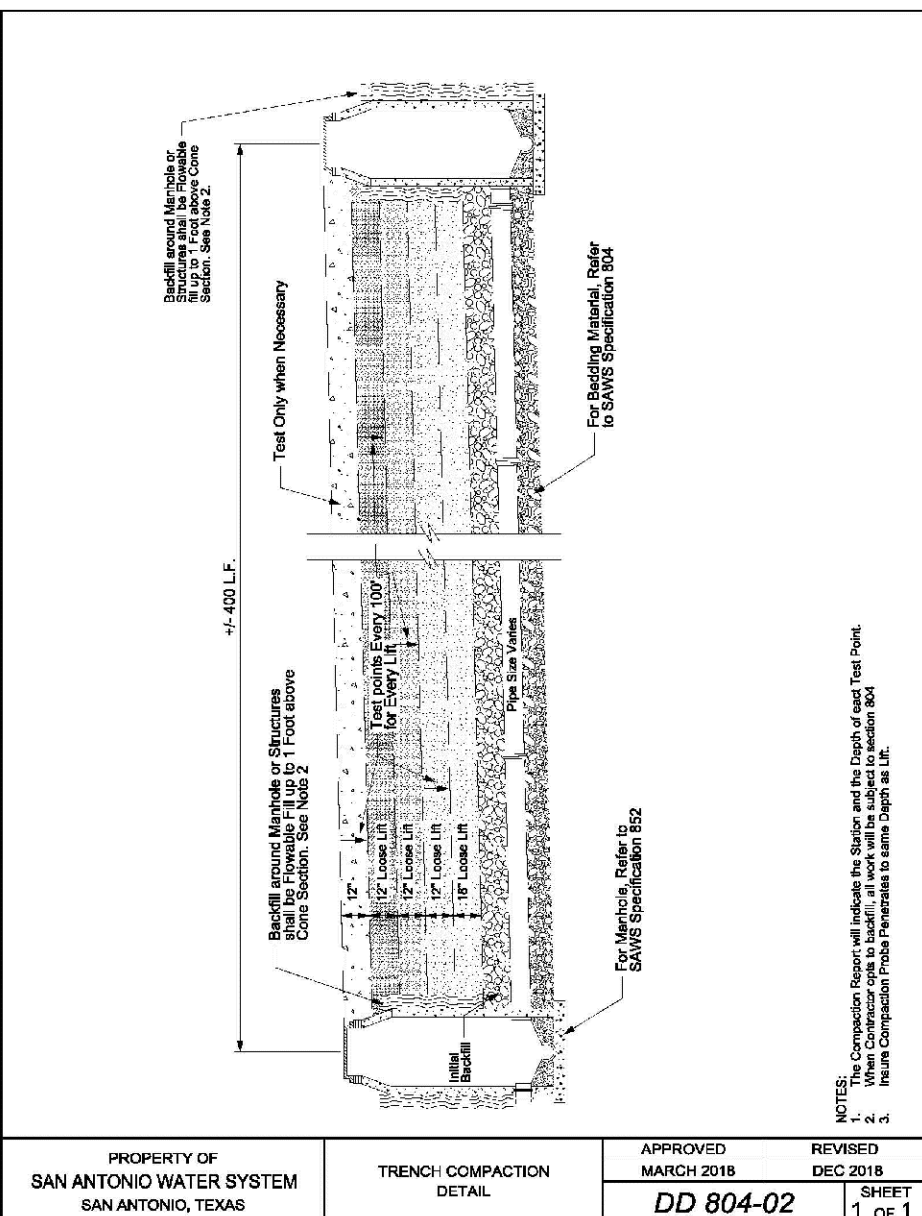
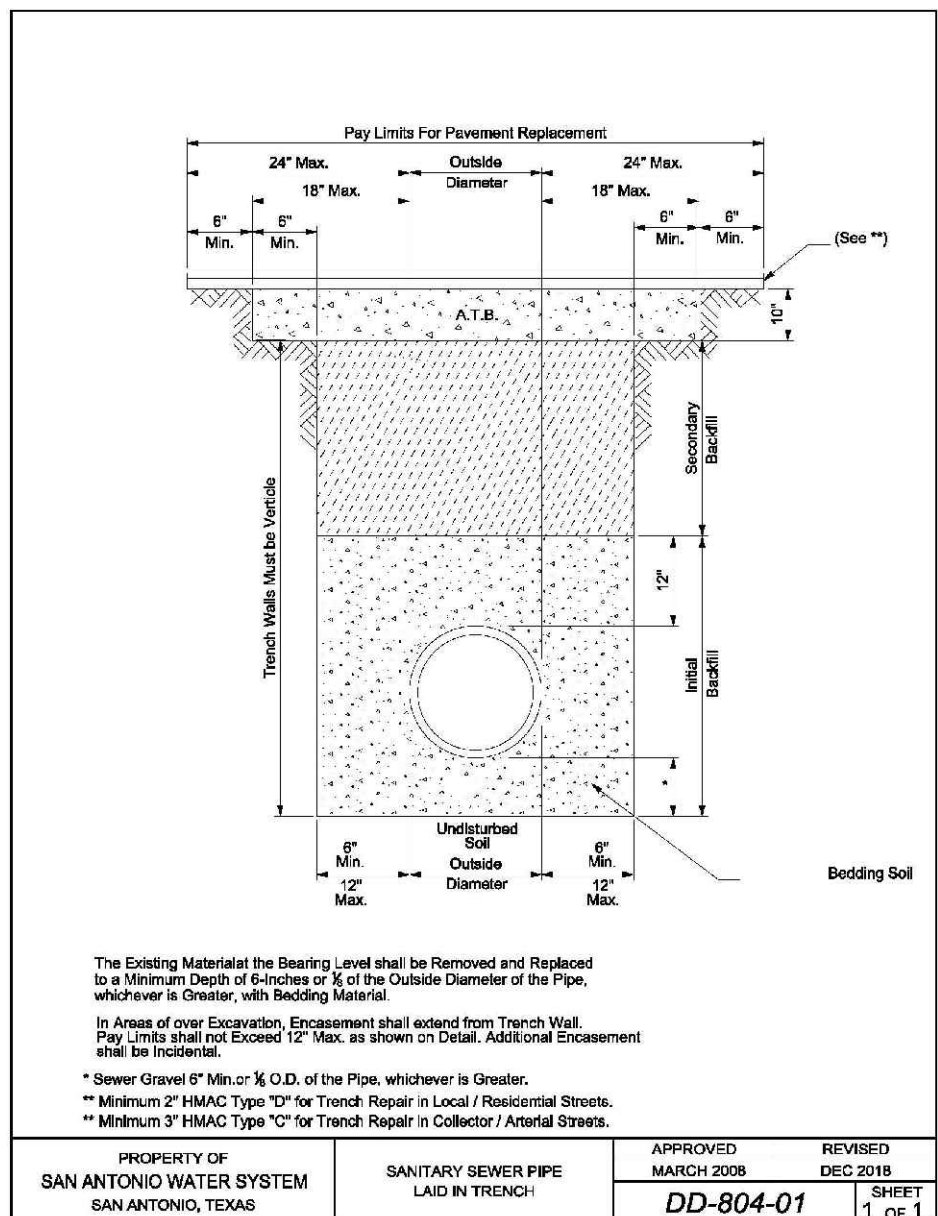


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TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
SINGLE LOT #1, BLOCK 4, CB 4712, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEAR, COUNTY, TEXAS

- COORDINATION NOTE:**
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-9200.
 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210) 353-2256.
 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7268.
 4. CONTACT GUY (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985.
 5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|---|--|
| 10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 28" GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 28" X 28" SANITARY SEWER TURNAROUND EASEMENT |
| 28" ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14" GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14" GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 28' BUILDING SETBACK LINE |

GENERAL:

1. THIS EXHIBIT IS TO BE USED FOR THE PURPOSES OF STORM WATER POLLUTION PREVENTION ONLY. ALL OTHER CIVIL ENGINEERING INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE CONSTRUCTION DOCUMENTS.
2. THE PURPOSE OF THE SIGNATURE AND SEAL OF THE ENGINEER ON THIS DOCUMENT IS TO DEMONSTRATE COMPLIANCE WITH THE TPO'S STORM WATER POLLUTION PREVENTION PLAN REGULATIONS ONLY.
3. ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND COMPLYING WITH THE REGULATIONS CONTAINED WITHIN IT.
4. CITY PUBLIC SERVICE (CPS) ENERGY IS A SECONDARY OPERATOR IN THIS PROJECT. THEY WILL BE INSTALLING THE ELECTRIC UTILITIES.

INSTALLATION:

1. ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED WITHIN THE LIMITS OF THE SITE BOUNDARY.
3. CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT COINCIDE WITH THE DISTURBANCE OF UPGRADEMENT AREAS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
4. CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IN AREAS DENOTED AS VEGETATED FILTER STRIP. IF INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT BEST MANAGEMENT PRACTICE AND WILL SHOW IT ON THIS PLAN WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

MAINTENANCE AND INSPECTION:

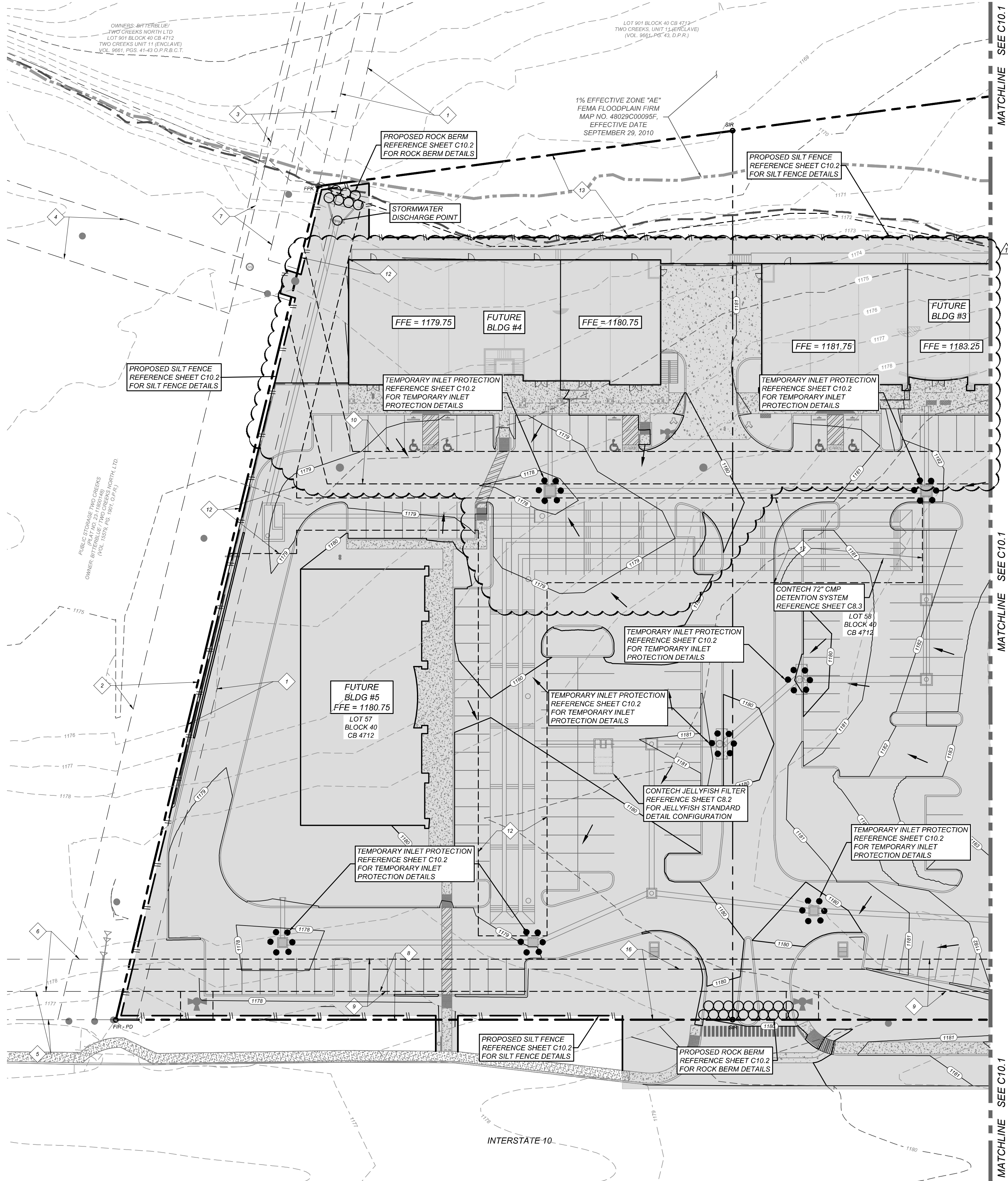
1. CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS PLAN. IF ADDITIONAL VEGETATED AREAS ARE DISTURBED, THEY SHOULD BE PROTECTED WITH APPROPRIATE BEST MANAGEMENT PRACTICES UNTIL THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWPPP. THE AREAS OF THIS ADDITIONAL SOIL DISTURBANCE AND THE MEASURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROLS AS NECESSARY TO PREVENT SEDIMENT RUNOFF. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND EQUIPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS SHALL BE UPDATED ON THIS PLAN.

PROJECT COMPLETION:

1. ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER THE SWPPP AND PROJECT SPECIFICATIONS PRIOR TO REMOVAL OF ANY BMP'S AND/OR PRIOR TO FILING A NOTICE OF TERMINATION (NOT).
2. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADEMENT AREAS HAVE BEEN STABILIZED PER SWPPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWPPP BEFORE FILING A NOTICE OF TERMINATION (NOT).

TREE PROTECTION NOTES:

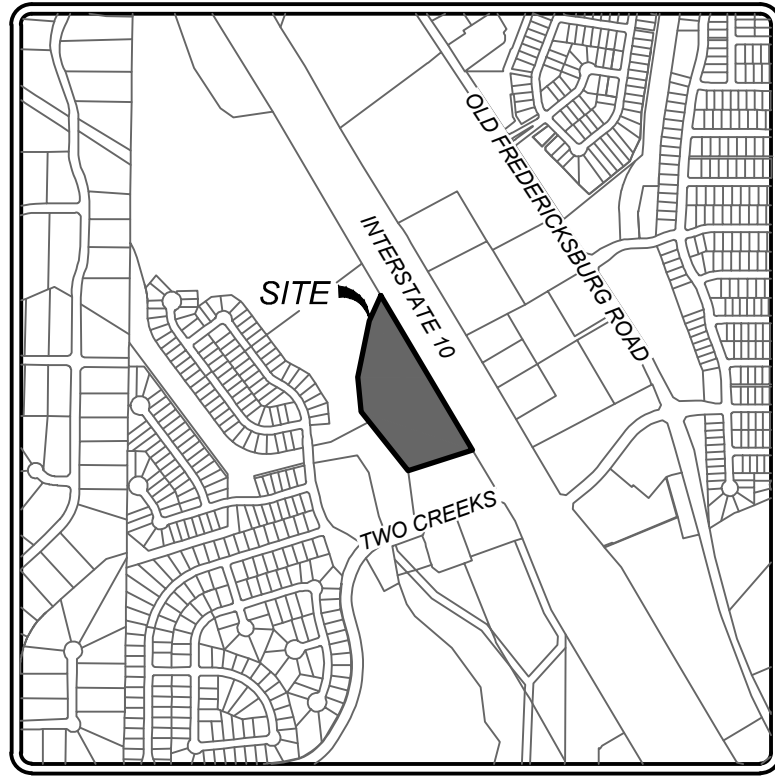
1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADII EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADII ROOT PROTECTION ZONE.
2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
3. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND OR WASHING FOLIAGE.
11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.



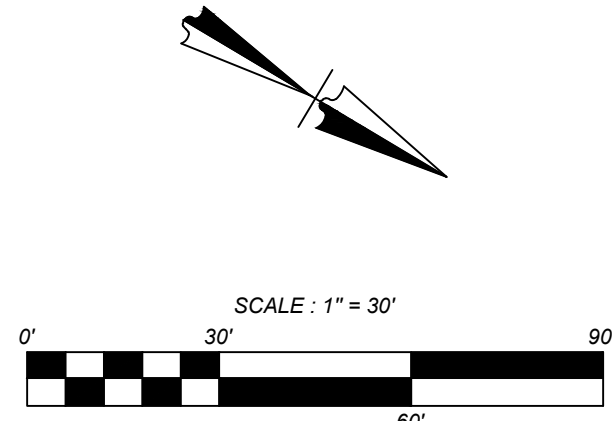
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SW3P MODIFICATIONS

| DATE | SIGNATURE | DESCRIPTION |
|------|-----------|-------------|
| | | |
| | | |
| | | |
| | | |



LOCATION MAP
NOT-TO SCALE



LEGEND

- PROPERTY LINE
EXISTING CONCRETE CURB
EXISTING CONTOUR
PROPOSED CONTOUR
STABILIZED CONSTRUCTION ENTRANCE / EXIT
CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA
CONCRETE WASHOUT PIT
TEMPORARY INLET PROTECTION
SILT FENCE
FLOW ARROW
ROCK BERM
DISTURBED AREA

ENGINEERS + SURVEYING
has joined Collins Engineering & Design
3421 Palisades Pkwy, Suite 200, San Antonio, TX 78231
Phone #: (210) 979-9444 • Fax #: (210) 979-9441
1521 E. Palm St., Suite 200 • San Antonio, TX 78205

ISSUE DATE: 09/12/2023
0. ISSUED FOR PRICING
1. SITE UPDATES
03/26/2024



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
EROSION CONTROL PLAN

PLAT NO.
LAND-PLAT-21-11800516
JOB NO. 943-01-02
DATE: March 26, 2024
DRAWN: J.W. CHECKED: J.W.
SHEET NUMBER:
C10.0

Date: Mar 26, 2024, 11:55am User ID: J.Warren
File: K:\94\01\02\Design\CH\EC\43\01\02.dwg

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

LEGAL DESCRIPTION
SHERIDAN PLAT #1, BLOCK 41, LOT 12, OF THE TC COMMERCIAL PLAT, RECORDED IN VOL. XXXXX, PG. XXX OF THE PLAT RECORDS OF BEAR, COUNTY, TEXAS

- COORDINATION NOTE:**
1. CONTACT SPECTRUM TO COORDINATE CABLE TV SERVICE (210) 344-0900.
 2. CONTACT CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND ELECTRICAL SERVICES. (210) 353-2256.
 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7268.
 4. CONTACT GFW (GREY FOREST UTILITIES) TO PLAN GAS SERVICES. (210) 695-5985.
 5. CONTACT SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- EASEMENT KEY NOTES**
- | | |
|---|--|
| 10' SOUTHWESTERN BELL EASEMENT (VOL. 1319, PG. 231, O.P.R.) | 16' WATER EASEMENT |
| 28' GAS & ELECTRIC EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 16' SANITARY SEWER EASEMENT |
| VARIABLE WIDTH GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (VOL. 9661, PGS. 41-43, D.P.R.) | 28' X 22' SANITARY SEWER TURNAROUND EASEMENT |
| 28' ELECTRIC EASEMENT (VOL. 17042, PG. 1973, O.P.R.) | VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT (0.483 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.421 ACRES PERMEABLE) |
| 16' WATER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.278 ACRES PERMEABLE) |
| 16' SEWER EASEMENT (PLAT NO. 23-11800148) | VARIABLE WIDTH PUBLIC DRAINAGE EASEMENT (0.212 ACRES PERMEABLE) |
| 14' GAS, ELECTRIC, TELEPHONE & CABLE TELEVISION EASEMENT | 25' BUILDING SETBACK LINE |

GENERAL:

1. THIS EXHIBIT IS TO BE USED FOR THE PURPOSES OF STORM WATER POLLUTION PREVENTION ONLY. ALL OTHER CIVIL ENGINEERING INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE CONSTRUCTION DOCUMENTS.
2. THE PURPOSE OF THE SIGNATURE AND SEAL OF THE ENGINEER ON THIS DOCUMENT IS TO DEMONSTRATE COMPLIANCE WITH THE TPOES STORM WATER POLLUTION PREVENTION PLAN REGULATIONS ONLY.
3. ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND COMPLYING WITH THE REGULATIONS CONTAINED WITHIN IT.
4. CITY PUBLIC SERVICE (CPS) ENERGY IS A SECONDARY OPERATOR IN THIS PROJECT. THEY WILL BE INSTALLING THE ELECTRIC UTILITIES.

INSTALLATION:

1. ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED WITHIN THE LIMITS OF THE SITE BOUNDARY.
3. CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT COINCIDE WITH THE DISTURBANCE OF UPGRADE AREAS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
4. CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IN AREAS DENOTED AS VEGETATED FILTER STRIP. IF INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT BEST MANAGEMENT PRACTICE AND WILL SHOW IT ON THIS PLAN WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

MAINTENANCE AND INSPECTION:

1. CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS PLAN. IF ADDITIONAL VEGETATED AREAS ARE DISTURBED, THEY SHOULD BE PROTECTED WITH APPROPRIATE BEST MANAGEMENT PRACTICES UNTIL THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWPPP. THE AREAS OF THIS ADDITIONAL SOIL DISTURBANCE AND THE MEASURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROLS AS NECESSARY TO PREVENT SEDIMENT RUNOFF. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND EQUIPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS SHALL BE UPDATED ON THIS PLAN.

PROJECT COMPLETION:

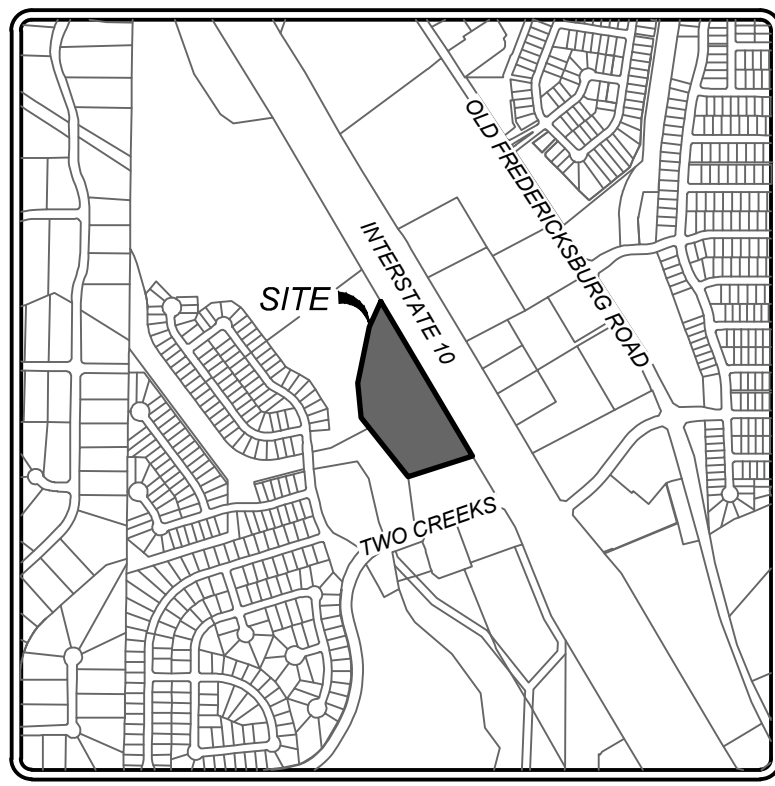
1. ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER THE SWPPP AND PROJECT SPECIFICATIONS PRIOR TO REMOVAL OF ANY BMP'S AND/OR PRIOR TO FILING A NOTICE OF TERMINATION (NOT).
2. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADE AREAS HAVE BEEN STABILIZED PER SWPPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWPPP BEFORE FILING A NOTICE OF TERMINATION (NOT).

TREE PROTECTION NOTES:

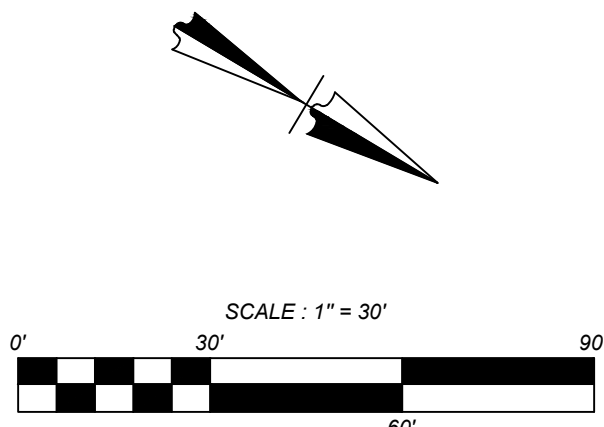
1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED TO MEET THE LANDSCAPE OR TREE PRESERVATION ORDINANCES. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADII EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADII ROOT PROTECTION ZONE.
2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
3. ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY AND OAK WOUNDS PAINTED WITHIN 30 MINUTES.
4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
6. NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL OAK WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION.
8. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST (207-8053).
9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED.
10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE.
11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.

SW3P MODIFICATIONS

| DATE | SIGNATURE | DESCRIPTION |
|------|-----------|-------------|
| | | |
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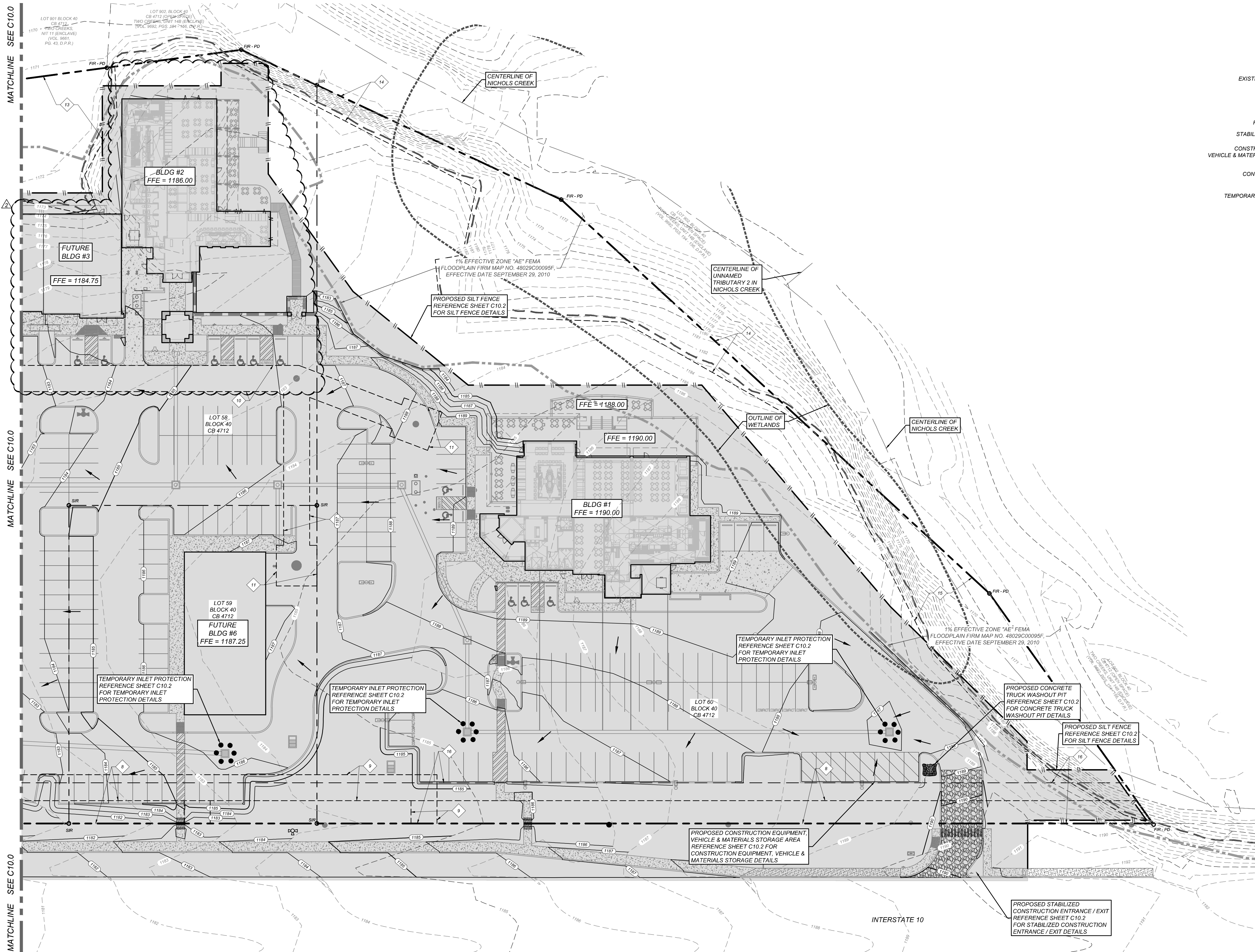


LOCATION MAP
NOT-TO SCALE



LEGEND

- PROPERTY LINE
- EXISTING CONCRETE CURB
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STABILIZED CONSTRUCTION ENTRANCE / EXIT
- CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA
- CONCRETE WASHOUT PIT
- TEMPORARY INLET PROTECTION
- SILT FENCE
- FLOW ARROW
- ROCK BERM
- DISTURBED AREA



THE CRESCENT
25839 INTERSTATE 10, SAN ANTONIO, TX 78255
EROSION CONTROL PLAN

PLAT NO.
LAND-PLAT-21-11800516

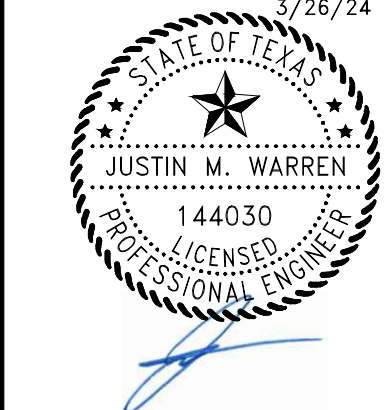
JOB NO. 943-01-02

DATE: March 26, 2024

DRAWN: J.W. CHECKED: J.W.

SHEET NUMBER:

C10.1



ISSUE DATE
09/13/2023
0. ISSUED FOR PRICING
01/14/2024
1. REVISIONS
03/25/2024
2. SITE UPDATES

ENGINEERS + SURVEYING
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Date: Mar 26, 2024, 11:58am User ID: JWarren
File: K:\9430102\Design\CHW\ECDD\9430102.dwg

