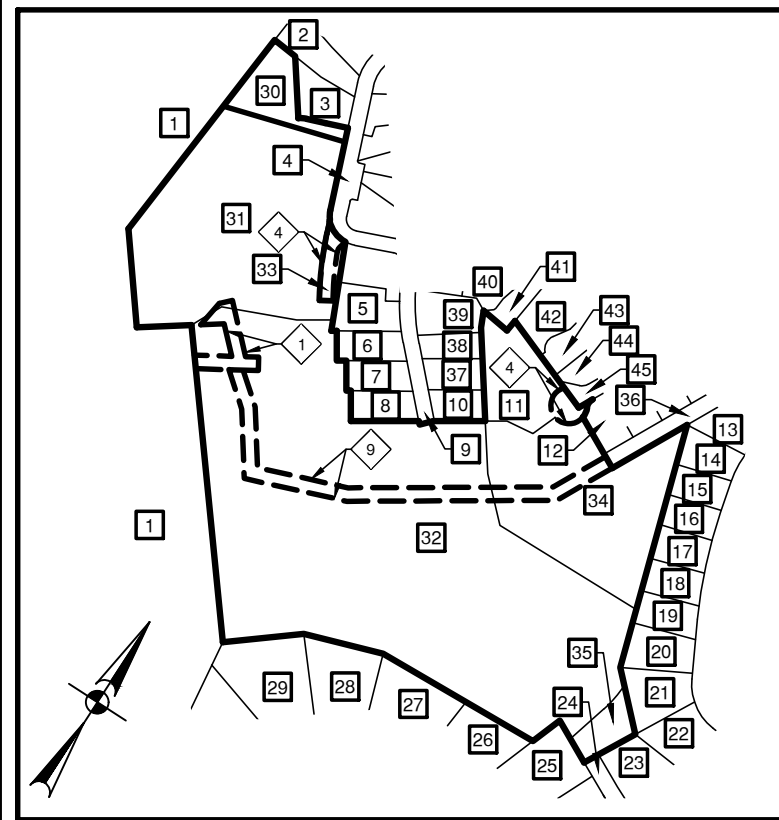


LOCATION MAP
NOT-TO-SCALE



AREA BEING REPLATTED
THROUGH PUBLIC HEARING WITH
WRITTEN NOTIFICATION

SCALE: 1"= 400'

1.285 ACRES BEING REPLATTED WAS PREVIOUSLY PLATTED AS A REMAINING PORTION OF LOT 1, BLOCK 28, NCB 16385 OF THE INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137, AND LOT 1, BLOCK 53, NCB 16385 OF THE LUCCHESI VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS. A PORTION OF A 28' ELECTRIC EASEMENT OF THE DOMINION HEIGHTS, PHASE IA (PUD) RECORDED IN VOLUME 20001, PAGES 1330-1333 OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A VARIABLE WIDTH ACCESS EASEMENT RECORDED IN VOLUME 15163, PAGES 2137-2172 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF BEXAR

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON PLAT INDEPENDENCE VILLAGE AT DOMINION, PHASE I WHICH IS RECORDED IN VOLUME 9563, PAGES 132-137 AND LUCCHESI VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, BEXAR COUNTY PLAT AND DEED RECORDS. THE SAN ANTONIO PLANNING COMMISSION AT ITS MEETING OF (DATE) HELD A PUBLIC HEARING WHICH INVOLVED NOTIFICATION ON THE PROPOSED REPLATTING OF THIS PROPERTY. (I/WE), THE OWNER(S) OF THE PROPERTY SHOWN ON THIS REPLAT HEREBY CERTIFY THAT THIS REPLAT DOES NOT AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS.

OWNER/DEVELOPER: GUILLERMO AGUAYO
AGORA ASSETS, LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 698-3000

SWORN AND SUBSCRIBED BEFORE ME THIS THE _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. 2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

LEGEND

DOC	DOCUMENT NUMBER	BLK	BLOCK
DPR	DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS	VOL	VOLUME
ESMT	EASEMENT	PG	PAGE(S)
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION	(PUD)	PLANNED UNIT DEVELOPMENT
NCB	NEW CITY BLOCK	ROW	RIGHT-OF-WAY
OPR	OFFICIAL PUBLIC RECORDS (SURVEYOR)	●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
	(OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS	○	SET 1/2" IRON ROD (PD)
		○	SET 1/2" IRON ROD (PD)-ROW
		1234.56	MINIMUM FINISHED FLOOR ELEVATION
---	EXISTING CONTOURS		
---	PROPOSED CONTOURS		
---	FEMA 1% ANNUAL CHANCE BASE FLOODPLAIN		
---	DBAM 1% ANNUAL CHANCE BASE FLOODPLAIN		
---	CBAM 1% ANNUAL CHANCE BASE FLOODPLAIN		
+	CENTERLINE		

SAWS IMPACT FEE:

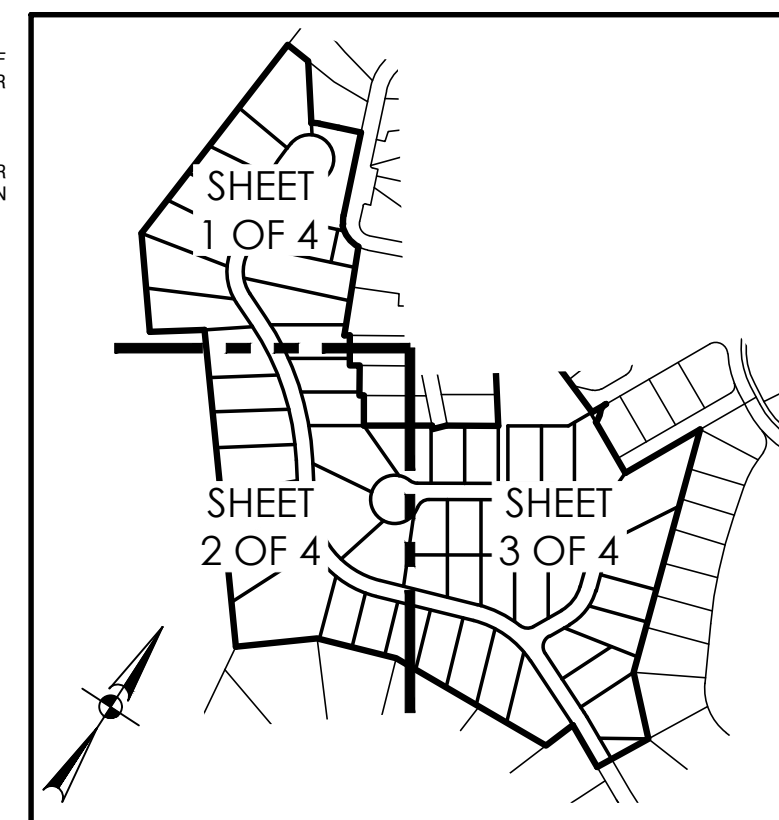
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

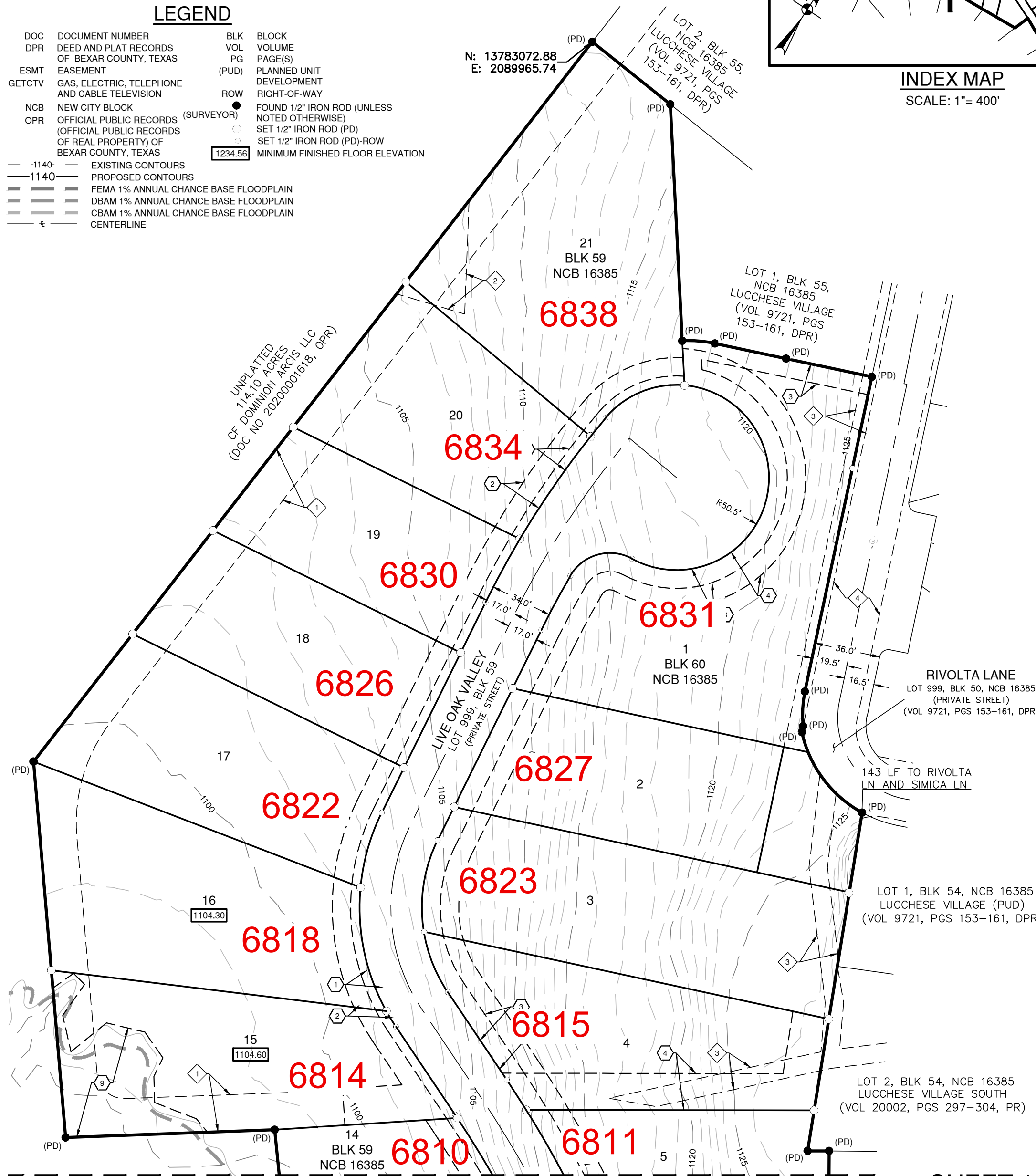
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU/S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

NOTE: SEE SHEET 4 OF 4 FOR
CURVE AND LINE TABLE



INDEX MAP
SCALE: 1"= 400'



MATCHLINE "A" - SHEET 2 OF 4

SHEET 1 OF 4

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT

ESTABLISHING

THE OAKS AT THE
DOMINION (PUD)

BEING 17.5917 ACRES, ESTABLISHING LOTS 1-20, 900, & 999, BLOCK 59, LOTS 1-22, & 901-902, BLOCK 60, LOTS 1-11, BLOCK 61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137, AND LOT 1, BLOCK 53, NCB 16385, LUCCHESI VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT OF THAT 67.942 ACRE TRACT, IN DEED RECORDED IN VOLUME 15163, PAGE 2072, ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LUDOVIC COLQUHOUN SURVEY NUMBER 24, ABSTRACT 133, COUNTY BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

SCALE: 1"= 50'



**PAPE-DAWSON
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: GUILLERMO AGUAYO
AGORA ASSETS, LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
REVISED
3:54 pm, Dec 13, 2024
STATE OF TEXAS
COUNTY OF BEXAR

APPROVED
By Reid Cassidy at 2:25 pm, Dec 13, 2024

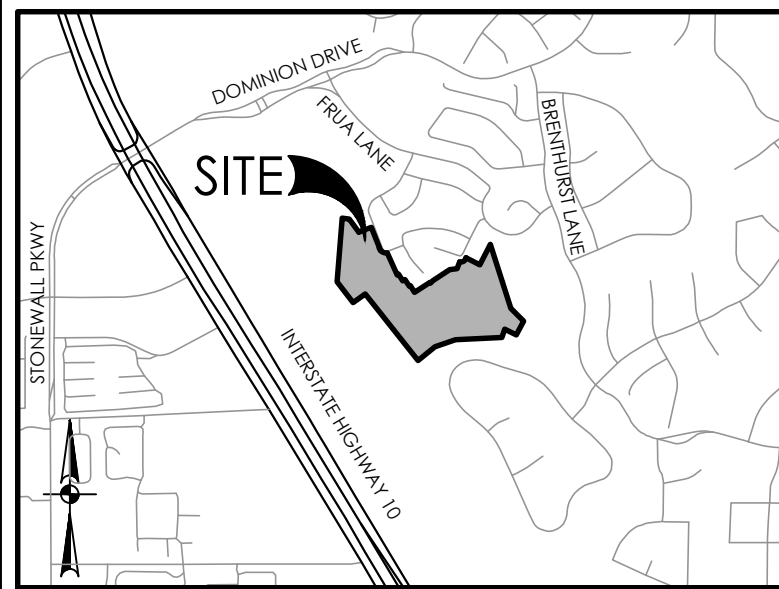
ADDR-AVAA-24-10102210

Preliminary Parcel: 779572

Please Note:

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- Any changes to the Plat, site plan or MDP that could affect addressing must be re-submitted for an address review.
- If multiple buildings are proposed on the property a site plan is required in order to assign building numbers per IB 501, prior to building permit submittal.
- If suite numbers are required, a floor plan must be submitted showing hallways, doorways, access points, linear measurements, all existing suite numbers, and proposed suite numbers in a PDF format.

City of San Antonio
Development Services Dept
1901 S. Alamo St
San Antonio, Texas 78283-3966
(210) 207-1111
DSD.addressing@sanantonio.gov



LOCATION MAP
NOT-TO-SCALE

CPS/SAWS/COSA UTILITY:

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4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

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SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

STATE OF TEXAS
COUNTY OF BEXAR

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STATE OF TEXAS
COUNTY OF BEXAR

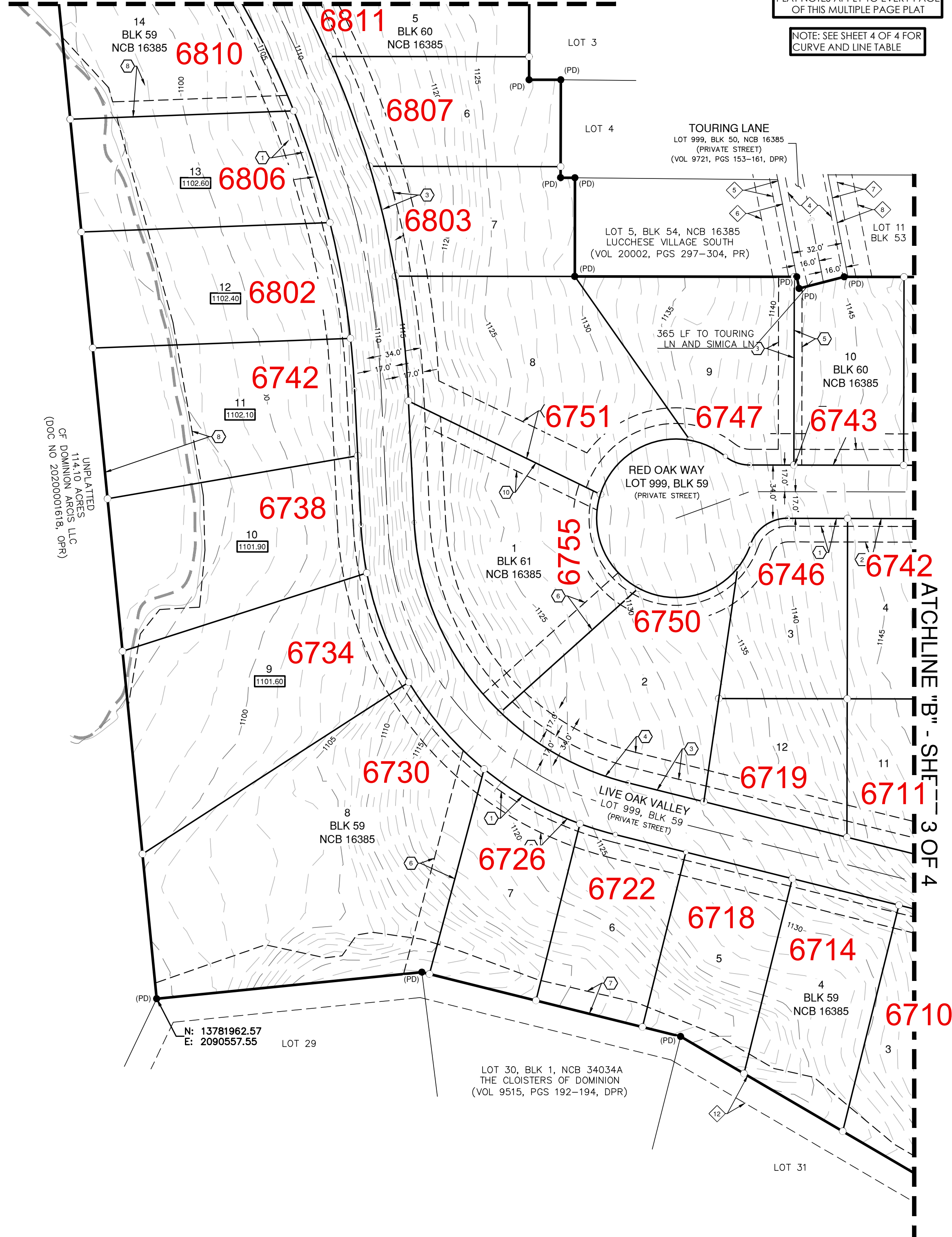
LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

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REGISTERED PROFESSIONAL LAND SURVEYOR

MATCHLINE "A" - SHEET 1 OF 4



PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

NOTE: SEE SHEET 4 OF 4 FOR
CURVE AND LINE TABLE

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT

ESTABLISHING

THE OAKS AT THE

DOMINION (PUD)

BEING 17.5917 ACRES, ESTABLISHING LOTS 1-20, 900, & 999, BLOCK 59, LOTS 1-22, & 901-902, BLOCK 60, LOTS 1-11, BLOCK 61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137, AND LOT 1, BLOCK 53, NCB 16385, LUCCHESI VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT OF THAT 67.942 ACRE TRACT, IN DEED RECORDED IN VOLUME 15163, PAGE 2072, ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LUDOVIC COLQUHOUN SURVEY NUMBER 24, ABSTRACT 133, COUNTY BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

SCALE: 1"= 50'



**PAPE-DAWSON
ENGINEERS**

2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000

TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: GUILLERMO AGUAYO

AGUAYO ASSETS, LLC
8 D
SA
(21)
REVISED
3:53 pm, Dec 13, 2024

STATE OF TEXAS
COUNTY OF BEXAR

APPROVED
By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210

Preliminary Parcel: 779572

Please Note:

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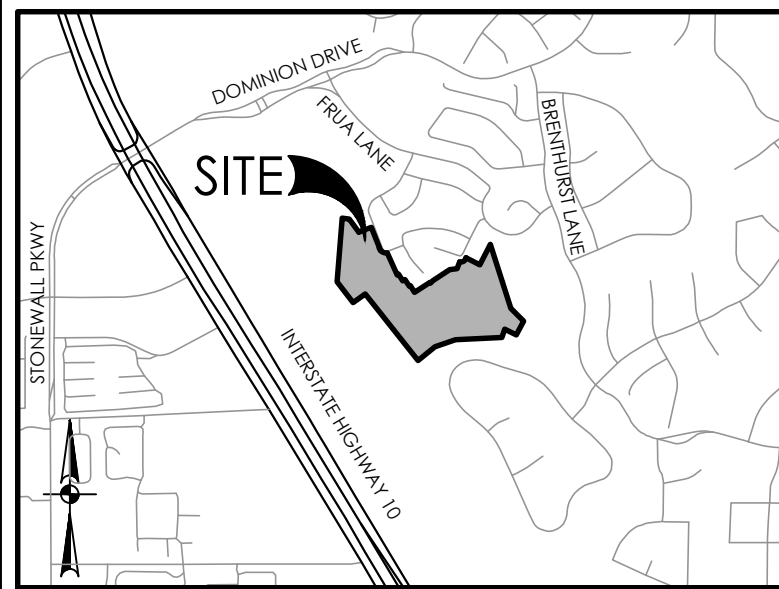
City of San Antonio
Development Services Dept
1901 S. Alamo St
San Antonio, Texas 78283-3966
(210) 207-1111
DSD.addressing@sanantonio.gov

SHEET 2 OF 4

THE OAKS AT THE DOMINION (PUD)

Civil Job No. 12610-06; Survey Job No. 9185-11

Date: Dec 03, 2024, 9:51am User: ID: mfielder
File: \\pape-dawson.com\sat-psd\12610-06\Design\Civil\Plot\PL-1261006.dwg



LOCATION MAP
NOT-TO-SCALE

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COUNTY OF BEXAR

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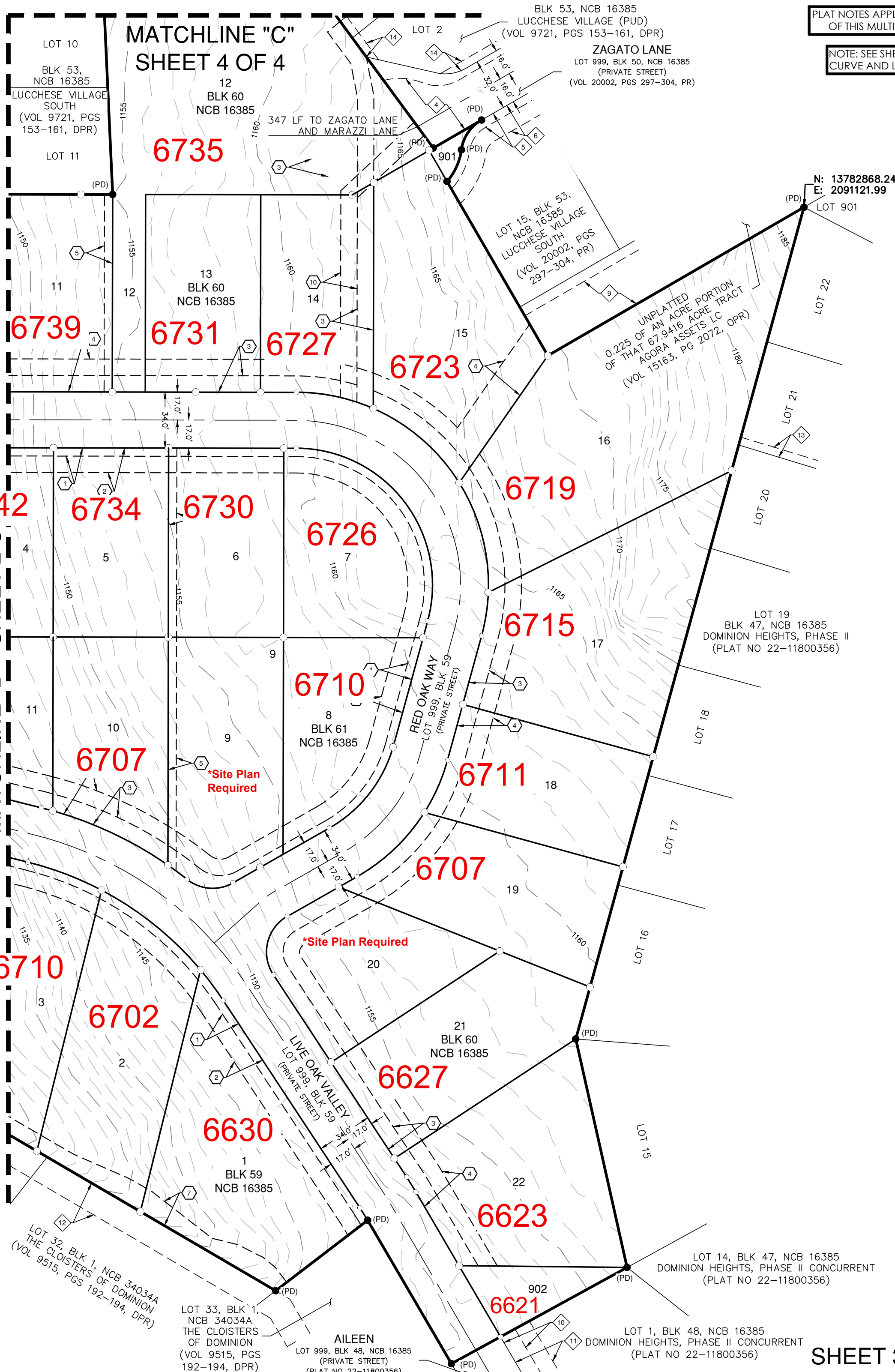
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REGISTERED PROFESSIONAL LAND SURVEYOR

MATCHLINE "B" - SHEET 20



PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

NOTE: SEE SHEET 4 OF 4 FOR
CURVE AND LINE TABLE

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT

ESTABLISHING

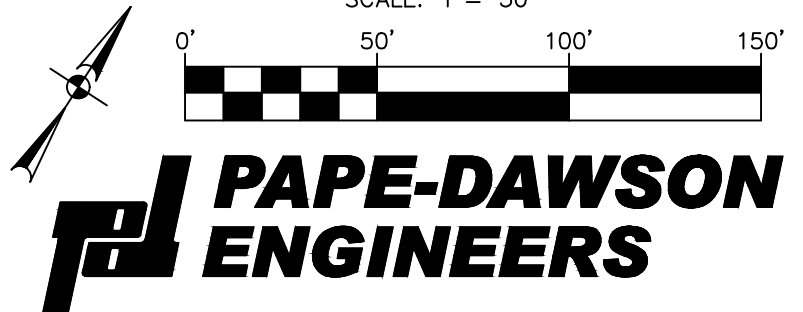
THE OAKS AT THE

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SCALE: 1" = 50'

0' 50' 100' 150'



2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000

TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: GUILLERMO AGUAYO
AGORA ASSETS, LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 698-3000

STATE OF TEXAS
COUNTY OF BEXAR

APPROVED
By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210

Preliminary Parcel: 779572

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City of San Antonio
Development Services Dept
1901 S. Alamo St
San Antonio, Texas 78283-3966
(210) 207-1111
DSD.addressing@sanantonio.gov

SHEET 3 OF 4

THE OAKS AT THE DOMINION (PUD)

Civil Job No. 12610-06; Survey Job No. 9185-11

Date: Dec 03, 2024, 9:52am User: ID: mfeiler
File: \\pape-dawson.com\atl-atl-pd\10102210\06 Design\Civil\Plat\1261006.dwg



STATE OF TEXAS
COUNTY OF BEXAR

STATE OF TEXAS
COUNTY OF BEXAR

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

REGISTERED PROFESSIONAL LAND SURVEYOR

THE CITY OF SAN ANTONIO AS PART OF IT ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) ARE HEREBY GRANTING EASEMENTS TO THE CITY OF SAN ANTONIO FOR THE INSTALLATION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "WASTEWATER EASEMENT," "ANCHOR EASEMENT," "CABLE TV EASEMENT" OR PARTS THEREOF, FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES WITHIN SAID AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO THE AREAS, AND THE RIGHT OF EGRESS TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES WITHIN SAID AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID AREAS, AND NO OTHER OBSTRUCTIONS WILL BE PLACED WITHIN SAID AREAS.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID AREAS, SHALL BE THE SOLE RESPONSIBILITY OF CPS ENERGY OR SAWS, AND SHALL BE FULLY CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING EASEMENTS, RIGHTS, OR INTERESTS IN THE PROPERTY, INCLUDING BUT NOT LIMITED TO, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

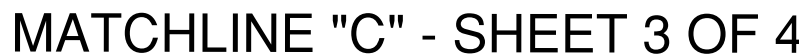
4. THE FOLLOWING APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE SERVED BY PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

1. PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE.
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE, US SURVEY FEET, DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORNS NETWORK.
3. DIMENSIONS SHOWN ARE SURFACE.
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

45 ZAGATO LANE
LOT 999, BLK 45, NCB 16385
(PRIVATE STREET)
LUCCHESE VILLAGE SOUTH
(VOL 20002, PGS 297-304, PR)

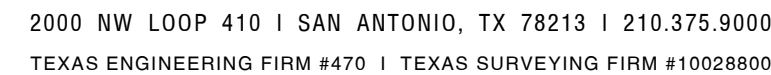
THE DRAINAGE EASEMENTS WERE DELINEATED TO CONTAIN THE LESSER OF THE BOUNDARIES OF THE 1% ANNUAL CHANCE (100-YEAR) FLOOD ZONE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) IN ACCORDANCE WITH DFIRM PLAN 4802920115F, DATED 9/29/2010; OR THE 1% ANNUAL CHANCE (100-YEAR) ULTIMATE DEVELOPMENT CONDITION WATER SURFACE ELEVATION; OR THE 4% ANNUAL CHANCE (25-YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN PLUS FREEBOARD, CONSTRUCTION, IMPROVEMENTS, OR STRUCTURES WITHIN THE DRAINAGE EASEMENTS AND FLOODPLAIN ARE PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.



THE CITY OF GREY FOREST, BY AND THROUGH ITS GAS UTILITY SYSTEM, GREY FOREST UTILITIES IS HEREBY DEDICATED EASEMENTS AND RIGHT-OF-WAYS FOR GAS DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "GAS EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, AND PATROLLING SAID INFRASTRUCTURE AND SERVICE FACILITIES IN CONNECTION WITH THE GREY FOREST GAS UTILITY SYSTEM. GREY FOREST UTILITIES AGREE TO PROVIDE ACCESS TO THE AREAS DESIGNATED AS "GAS EASEMENT" FOR THE PURPOSE OF ACCESSING ITS INFRASTRUCTURE AND SERVICE FACILITIES. GREY FOREST UTILITIES SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID AREA LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OF MAY INTERFERE WITH THE EFFICIENCY OF GAS DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES, BUILDINGS, GORGETE SLOUCH, OR WELLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH GREY FOREST UTILITIES.

BEING 17.5917 ACRES, ESTABLISHING LOTS 1-20, 900, AND 909, BLOCK 59, LOTS 1-22; AND 901-902, BLOCK 60, LOTS 1-11, BLOCK#61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, VOLUME 28, NCM 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137, AND LOT 1, BLOCK #3, NCM 16385.

THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT OF THAT 67.942 ACRE TRACT, IN DEED RECORDED IN VOLUME 15163, PAGE 2072, ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20190149861, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, TOGETHER WITH THE SURVEY NUMBER 24, ARSTON, TOWNSHIP 36N, RANGE 24E, COUNTY 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS,



DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS
COUNTY OF BEXAR

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SHEET 4 OF 4

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT