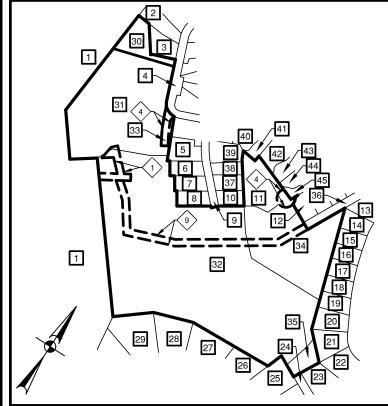


LOCATION MAP

NOT-TO-SCALE



AREA BEING REPLATTED THROUGH PUBLIC HEARING WITH WRITTEN NOTIFICATION

1.285 ACRES BEING REPLATTED WAS PREVIOUSLY PLATTED AS A REMAINING PORTION OF LOT 1, BLOCK 28, NCB 16385 OF THE INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137, AND LOT 1, BLOCK 53, NCB 16385 OF THE LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS A PORTION OF A 28' ELECTRIC EASEMENT OF THE DOMINION HEIGHTS, PHASE IA (PUD) RECORDED IN VOLUME 20001, PAGES 1330-1333 OF THE PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A VARIABLE WIDTH ACCESS EASEMENT RECORDED IN VOLUME 15163, PAGES 2137-2172 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

STATE OF TEXAS

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON PLAT INDEPENDENC VILLAGE AT DOMINION, PHASE I WHICH IS RECORDED IN VOLUME 9563, PAGES <u>132-137 AND LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, </u> BEXAR COUNTY PLAT AND DEED RECORDS. THE SAN ANTONIO PLANNING COMMISSION AT ITS MEETING OF (DATE) HELD A PUBLIC HEARING WHICH INVOLVED NOTIFICATION ON THE PROPOSED REPLATTING OF THIS PROPERTY. I(WE), THE OWNER(S) OF THE PROPERTY SHOWN ON THIS REPLAT HEREBY CERTIFY THAT THIS REPLAT DOES NOT AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS.

OWNER/DEVELOPER: GUILLERMO AGUAYO

AGORA ASSETS, LC 8 DOMINION DRIVE, SUITE 107 SAN ANTONIO, TEXAS 78257

(210) 698-3000

SWORN AND SUBSCRIBED BEFORE ME THIS THE ___ , A.D. 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

STATE OF TEXAS COUNTY OF BEXAF

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS COUNTY OF BEXAR LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS

REGISTERED PROFESSIONAL LAND SURVEYOR

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN

> PLAT NOTES APPLY TO EVERY PAC OF THIS MULTIPLE PAGE PLAT

> > NOTE: SEE SHEET 4 OF 4 FOR

URVE AND LINE TABLE

CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS . THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC. GAS. WATER, SEWER. DRAINAGE. TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE

ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED

DESCRIBED HEREON. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND FLECTRIC AND GAS FACILITIES. . ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE

LEGEND

DOC DOCUMENT NUMBER BLK BLOCK DEED AND PLAT RECORDS VOLUME OF BEXAR COUNTY, TEXAS PAGE(S) EASEMENT PLANNED UNIT (PUD) **DEVELOPMEN** GAS, ELECTRIC, TELEPHONE RIGHT-OF-WAY AND CABLE TELEVISION FOUND 1/2" IRON ROD (UNLESS OFFICIAL PUBLIC RECORDS SET 1/2" IRON ROD (PD) (OFFICIAL PUBLIC RECORDS SET 1/2" IRON ROD (PD)-ROW OF REAL PROPERTY) OF

BEXAR COUNTY, TEXAS 1234.56 MINIMUM FINISHED FLOOR ELEVATION -1140- — EXISTING CONTOURS

—1140— PROPOSED CONTOURS FEMA 1% ANNUAL CHANCE BASE FLOODPLAIN

DBAM 1% ANNUAL CHANCE BASE FLOODPLAIN

CBAM 1% ANNUAL CHANCE BASE FLOODPLAIN —— € —— CENTERLINE

1104.30

BLK 59 NCB 16385 6838

N: 13783072.88_

E: 2089965.74

LUCCHESE VILLAGE (VOL 9721, PGS

153-161, DPR)

6830

BLK 60 6826 NCB 16385

6818 15 1104.60

6814

MATCHLINE "A" - SHEET 2 OF 4

ESTABLISHING THE OAKS AT THE OF 4 901-902, BLOCK 60, LOTS 1-11, BLOCK61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563. PAGES 132-137. AND LOT 1. BLOCK 53. NCB 16385. LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721. PAGES 153-161. ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER

INDEX MAP

SCALE: 1"= 400'

RIVOLTA LANE

LOT 999, BLK 50, NCB 16385

(PRIVATE STREET) (VOL 9721, PGS 153-161, DPR)

LOT 1, BLK 54, NCB 16385

LUCCHESE VILLAGE (PUD)

(VOL 9721, PGS 153-161, DPR)

LOT 2, BLK 54, NCB 16385

(VOL 20002, PGS 297-304, PR)

SHEET 1 OF 4

LUCCHESE VILLAGE SOUTH

143 LF TO RIVOLTA

LN AND SIMICA LN

SCALE: 1"= 50' PAPE-DAWSON **ENGINEERS**

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT

20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS

BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAF

OUT OF THE LUDOVIC COLOUHOUN SURVEY NUMBER 24, ABSTRACT 133, COUNTY

2000 NW LOOP 410 I SAN ANTONIO, TX 78213 I 210.375.9000 TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800 DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS

THE OWNER OF LAND SHOWN ON THIS PLAT. IN PERSON OR THROUGH A DULLY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED

OWNER/DEVELOPER: GUILLERMO AGUAYO

REVISED 3:54 pm, Dec 13, 2024

APPROVED

COUNTY OF BEXAR

By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210 **Preliminary Parcel: 779572**

Please Note:

- 1. The address above is considered a preliminary address until the plat is recorded at which point it is then considered permanent.
- 2. An address is subject to change in accordance with San Antonio Codes Section 29-51.
- 3. Any changes to the Plat, site plan or MDP that could affect addressing must be resubmitted for an address review.
- 4. If multiple buildings are proposed on the property a site plan is required in order to assign building numbers per IB 501, prior to building

permit submittal.

5. If suite numbers are required, a floor plan must be submitted showing hallways, doorways, access points, linear measurements, all existing suite numbers, and proposed suite numbers in a PDF format.

City of San Antonio **Development Services Dept**

1901 S. Alamo St San Antonio, Texas 78283-3966 (210) 207-1111 DSD.addressing@sanantonio.gov



LOCATION MAP

THE CITY OF SAN ANTONIO AS PART OF ITS FLECTRIC, GAS, WATER, AND WASTEWATER YSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY. TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT", "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE, CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES

OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:

STATE OF TEXAS

STATE OF TEXAS COUNTY OF BEXAR

COUNTY OF BEXAR

SAN ANTONIO PLANNING COMMISSION.

PAPE-DAWSON ENGINEERS, INC.

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN

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THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE

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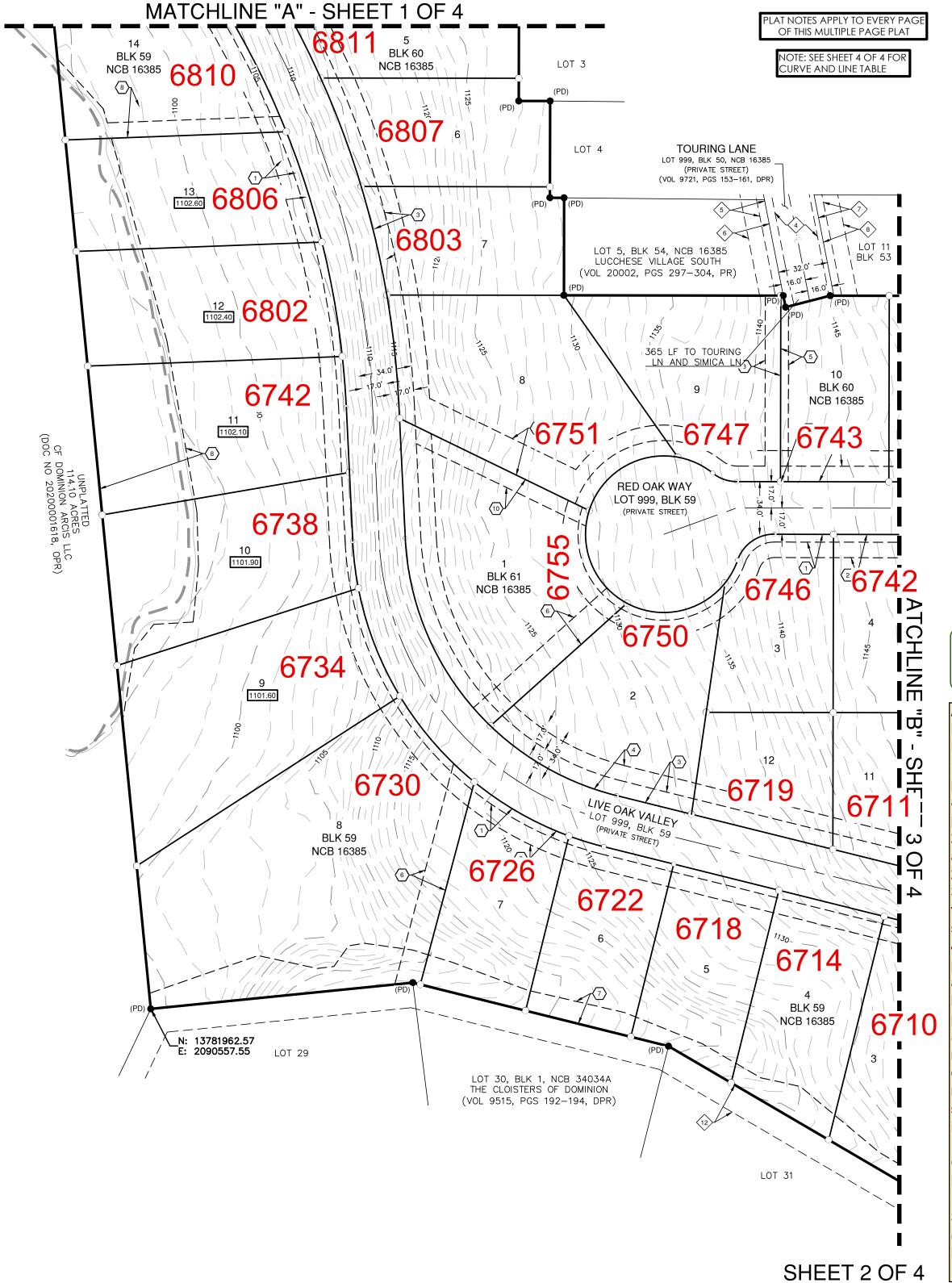
STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM

LICENSED PROFESSIONAL ENGINEER

REGISTERED PROFESSIONAL LAND SURVEYOR

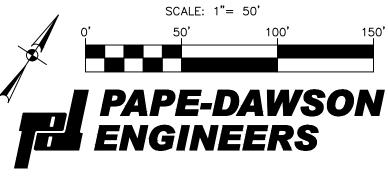


PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT ESTABLISHING

THE OAKS AT THE

901-902, BLOCK 60, LOTS 1-11, BLOCK61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE LRECORDED IN VOLUME 9563 PAGES 132-137 AND LOT 1 BLOCK 53 NCB 16385 LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE LUDOVIC COLOUHOUN SURVEY NUMBER 24, ABSTRACT 133, COUNTY BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAF



2000 NW LOOP 410 I SAN ANTONIO, TX 78213 I 210.375.9000 TEXAS ENGINEERING FIRM #470 I TEXAS SURVEYING FIRM #10028800 DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT. IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED

OWNER/DEVELOPER: GUILLERMO AGUAYO REVISED 3:53 pm, Dec 13, 2024 STATE OF TEXAS

APPROVED

By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210 **Preliminary Parcel: 779572**

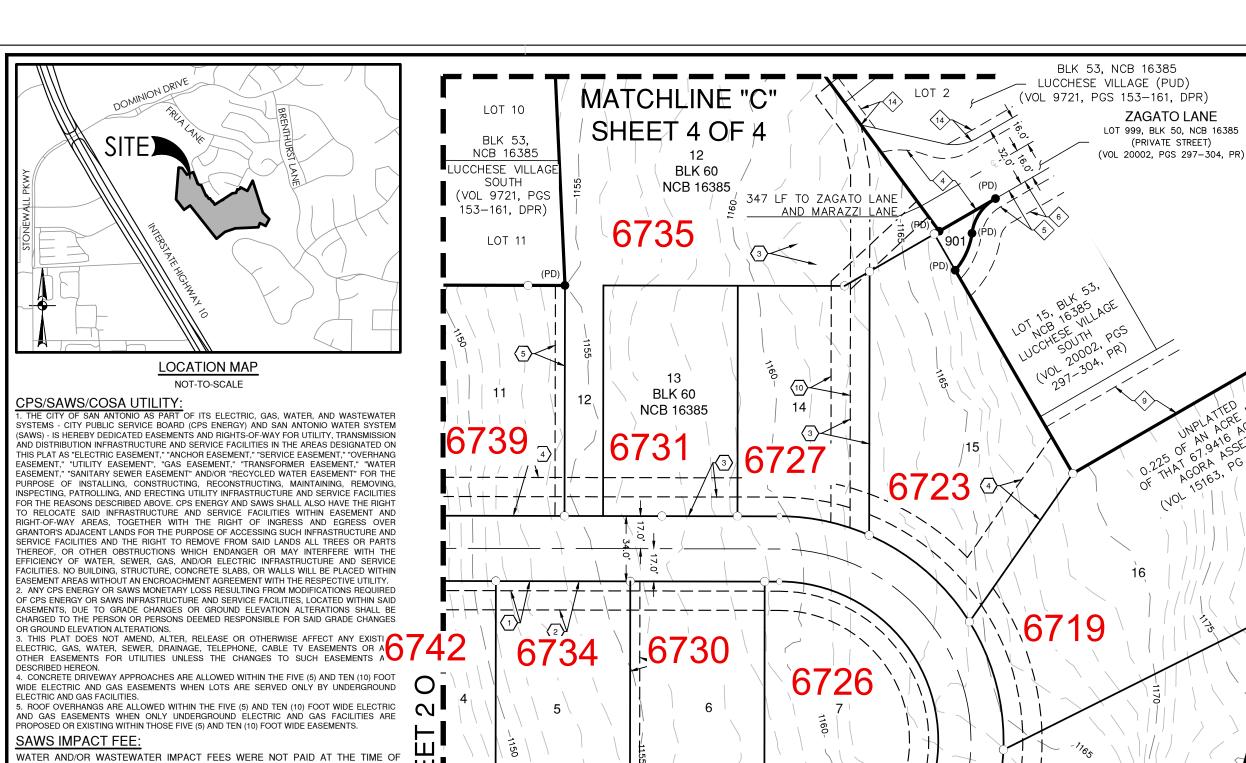
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5. If suite numbers are required, a floor plan must be submitted showing hallways, doorways, access points, linear measurements, all existing suite numbers, and proposed suite numbers in a PDF format.

City of San Antonio **Development Services Dept** 1901 S. Alamo St San Antonio, Texas 78283-3966 (210) 207-1111 DSD.addressing@sanantonio.gov



SAWS WASTEWATER EDU:

METER SET AND/OR WASTEWATER SERVICE CONNECTION.

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN

PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER

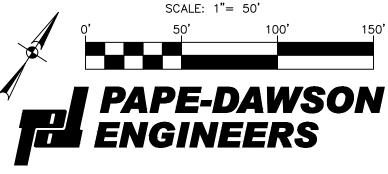
N: 13782868.24 E: 2091121.99 LOT 19 BLK 47, NCB 16385 DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356) NCB 16385 Site Plan Required 6702 BLK 60 NCB 16385 6630 BLK 59 NCB 16385 6623 LOT 14, BLK 47, NCB 16385 DOMINION HEIGHTS, PHASE II CONCURRENT (PLAT NO 22-11800356) LOT 33, BLK NCB 34034A LOT 1, BLK 48, NCB 16385 THE CLOISTERS AILEEN (1) DOMINION HEIGHTS, PHASE II CONCURRENT OF DOMINION LOT 999, BLK 48, NCB 16385 SHEET 3 OF 4 (PLAT NO 22-11800356) (VOL 9515, PGS (PRIVATE STREET) 192-194, DPR) (PLAT NO 22-11800356)

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT ESTABLISHING

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901-902, BLOCK 60, LOTS 1-11, BLOCK61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE LRECORDED IN VOLUME 9563 PAGES 132-137 AND LOT 1 BLOCK 53 NCB 16385 LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT OF THAT 67.942 ACRE TRACT, IN DEED RECORDED IN VOLUME 15163, PAGE 2072, ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE LUDOVIC COLOUHOUN SURVEY NUMBER 24, ABSTRACT 133, COUNTY BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAE



2000 NW LOOP 410 I SAN ANTONIO, TX 78213 I 210.375.9000 TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800 DATE OF PREPARATION: December 03, 2024

STATE OF TEXAS COUNTY OF BEXAR

LAT NOTES APPLY TO EVERY PAG

OF THIS MULTIPLE PAGE PLAT

NOTE: SEE SHEET 4 OF 4 FOR

CURVE AND LINE TABLE

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OWNER/DEVELOPER: GUILLERMO AGUAYO AGORA ASSETS, LC 8 DOMINION DRIVE, SUITE 107

STATE OF TEXAS

APPROVED

By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210 **Preliminary Parcel: 779572**

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City of San Antonio **Development Services Dept 1901 S. Alamo St** San Antonio, Texas 78283-3966 (210) 207-1111 DSD.addressing@sanantonio.gov

SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS

COUNTY OF BEXAR

LICENSED PROFESSIONAL ENGINEER

COUNTY OF BEXAR I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

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LOCATION MAP

LOT 901, BLK 47, NCB 16385

LOT 22, BLK 47, NCB 16385

LOT 21, BLK 47, NCB 16385

LOT 20, BLK 47, NCB 16385

LOT 19 BLK 47 NCB 16385

LOT 18. BLK 47. NCB 16385

LOT 17, BLK 47, NCB 16385

LOT 16, BLK 47, NCB 16385

LOT 15, BLK 47, NCB 16385

LOT 14, BLK 47, NCB 16385

DOMINION HEIGHTS, PHASE I

DOMINION HEIGHTS, PHASE II

DOMINION HEIGHTS, PHASE II

DOMINION HEIGHTS, PHASE II

I OT 999. BLK 48, NCB 16385

LOT 33, BLK 1, NCB 34034A

THE CLOISTERS OF DOMINION

(VOL 9515, PGS 192-194, DPR) LOT 32, BLK 1, NCB 34034A

THE CLOISTERS OF DOMINION

THE CLOISTERS OF DOMINION

(VOL 9515, PGS 192-194, DPR)

(VOL 9515, PGS 192-194, DPR)

THE CLOISTERS OF DOMINION (VOL 9515, PGS 192-194, DPR

REMAINING PORTION OF LOT 1

INDEPENDENCE VILLAGE AT

(VOL 9563, PGS 132-137, DPR)

R/A DOMINION DEVELOPMENT

(DOC NO 20180144981, OPR)

REMAINING PORTION OF LOT 1

(VOL 9563, PGS 132-137, DPR

1.167 OF AN ACRE PORTION OF 67.942 ACRES

(VOL 15163, PG 2072, OPR)

(VOL 15163, PG 2072, OPR)

UNPLATTED 0.225 OF AN ACRE PORTION

(VOL 15163, PG 2072, OPR

LOT 10, BLK 53, NCB 16385

LOT 9, BLK 53, NCB 16385

(VOL 9721, PGS 153-161, DPR)

LUCCHESE VILLAGE

LOT 29 BLK 1 NCB 34034A

(0.439 OF AN ACRE)

BLK 28, NCB 16385

DOMINION, PHASE I

UNPLATTED

UNPLATTED

10.390 ACRES

PROPERTIES LLC (VOL 15163, PGS 2072, OPR)

AGORA ASSETS LC

(0.131 OF AN ACRE) BLK 28, NCB 16385

DOMINION, PHASE I

AGORA ASSETS LC

0.228 OF AN ACRE

OF 67.942 ACRES

UNPLATTED

X ACRES

(VOL 9515, PGS 192-194, DPR

LOT 31, BLK 1, NCB 34034A

LOT 30, BLK 1, NCB 34034A

DOMINION HEIGHTS, PHASE II

(PLAT NO 22-11800356)

DOMINION HEIGHTS, PHASE I

DOMINION HEIGHTS, PHASE I

DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356)

NOT-TO-SCALE

1	VARIABLE WIDTH ELECTRIC ESMT (VOL 14223, PGS 215-226, OPR)
2	VARIABLE WIDTH DRAINAGE ESM (VOL 9563, PGS 132-137, DPR)
3	VARIABLE WIDTH WATER ESMT (VOL 9721, PGS 153-161, DPR)
4	VARIABLE WIDTH ACCESS ESMT (VOL 15163, PGS 2137-2172, OPR)
5	5' WATER ESMT (VOL 20002, PGS 297-304, DPR)
	15' GETCTV ESMT

(VOL 20002, PGS 297-304, DPR) 5' WATER ESMT (VOL 9721, PGS 153-161, DPR)

15' GETCTV ESMT (BY SEPARATE INSTRUMENT) 28' ELECTRIC ESM (VOL 20001, PGS 1333, PR) 10' WATER ESMI

(PLAT NO 22-11800356 20' GETCTV FSMT (PLAT NO 22-11800356

16' SANITARY SEWER FSMT (VOL 9515, PG 192-194, DPR) 5' PRIVATE PERMEABLE DRAINAGE (PLAT NO 22-11800356) 5' WATER ESM

(VOL 9721, PG 153-161, DPR 5' ELECTRIC ESMT (VOL 9721, PG 153-161, DPR 5' WATER ESMT

15' GETCTV ESMT $\langle 2 \rangle$ 10' WATER ESMT

20' GETCTV ESMT 5' PRIVATE PERMEABLE DRAINAGE

AND LANDSCAPE ESMT 16' SANITARY SEWER ESMT VARIABLE WIDTH DRAINAGE ESMT (0.244 ACRES) (PERMEABLE) VARIABLE WIDTH DRAINAGE ESMT (0.425 ACRES) (PERMEABLE) VARIABLE WIDTH DRAINAGE ESMT (0.079 ACRES) (PERMEABLE) 10' DRAINAGE ESMT

114.10 ACRES CF DOMINION ARCIS LLC (DOC NO 20200001618, OPR)

LOT 2, BLK 55, NCB 16385 (VOL 9721, PGS 153-161, DPR) LOT 1, BLK 55, NCB 16385 LUCCHESE VILLAGE (VOL 9721, PGS 153-161, DPR

RIVOLTA LANE LOT 999, BLK 50, NCB 16385 PRIVATE STREET) (VOL 9721, PGS 153-161, DPR) LOT 2, BLK 54, NCB 16385

(VOL 20002, PGS 297-304, PR) LOT 3, BLK 54, NCB 16385 LUCCHESE VILLAGE SOUTH (VOI 20002 PGS 297-304 PR) LOT 4, BLK 54, NCB 16385

LUCCHESE VILLAGE SOUTH LOT 5, BLK 54, NCB 16385 LUCCHESE VILLAGE SOUTH (VOL 20002, PGS 297-304, PR)

TOURING LANE LOT 999, BLK 50, NCB 16385 (PRIVATE STREET) (VOL 20002, PGS 297-304, PR) LOT 11, BLK 53, NCB 16385 LUCCHESE VILLAGE

(VOL 9721, PGS 153-161, DPR) LOT 1, BLK 53, NCB 16385 LUCCHESE VILLAGE (VOL 9721, PGS 153-161, DPR) LOT 15 BLK 53 NCB 16385

LUCCHESE VILLAGE SOUTH (VOL 20002, PGS 297-304, PR) STATE OF TEXAS

COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS COUNTY OF BEXAR LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

REGISTERED PROFESSIONAL LAND SURVEYOR

THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHAN EASEMENT," "UTILITY EASEMENT", "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGH TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE FEFICIENCY OF WATER, SEWER, GAS, AND/OR FLECTRIC INFRASTRUCTURE AND SERVICE EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND FI EVATION AI TERATIONS

THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING FLECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV FASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE

PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE

2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE, US SURVEY FEET, DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK

PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

DIMENSIONS SHOWN ARE SURFACE. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996), FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH

LOT 8, BLK 47, NCB 16385 DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356) LOT 6, BLK 47, NCB 16385 DOMINION HEIGHTS. PHASE II (PLAT NO 22-11800356) LOT 5 BLK 47 NCB 16385

DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356) LOT 4. BLK 47. NCB 16385 (PLAT NO 22-11800356) LOT 3, BLK 47, NCB 16385

DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356) LOT 2 BLK 47 NCB 16385 DOMINION HEIGHTS, PHASE II (PLAT NO 22-11800356) ZAGATO LANE

LOT 999, BLK 45, NCB 16385 (PRIVATE STREET) LUCCHESE VILLAGE SOUTH (VOL 20002, PGS 297-304, PR)

SAWS IMPACT FEE

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 1215 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER. AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO

COMMON AREA MAINTENANCE

THE MAINTENANCE OF ALL PRIVATE STREETS. OPEN SPACE. GREENBELTS. PARKS, TREE SAVE AREAS, INCLUDING LOT 900 & 999, BLOCK 56, NCB 16385, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

PRIVATE STREET DESIGNATION

LOT 999, BLOCK 56, NCB 16385, IS A PRIVATE STREET AND IS DESIGNATED AS AN UNDERGROUND AND AT-GRADE INFRASTRUCTURE AND SERVICE FACILITIES EASEMENT FOR GAS. ELECTRIC. STREET LIGHT. TELEPHONE CABLE TELEVISION DRAINAGE, PEDESTRIAN, PUBLIC WATER, WASTEWATER, AND RECYCLED WATER

RESIDENTIAL FINISHED FLOOR

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

LOT 900, BLOCK 56, NCB 16385, AND LOT 901-902, BLOCK 57, NCB 16385 IS DESIGNATED AS OPEN SPACE AND AS A COMMON AREA AND A DRAINAGE, SEWER, WATER, ELECTRIC, GAS, TELEPHONE AND CABLE TV EASEMENT.

LOT 8

LOT 9

BLK 53,

NCB 16385

LUCCHESE VILLAGE SOUTH

(VOL 9721, PGS 153-161, DPR

A LEGAL INSTRUMENT ESTABLISHING A PLAN FOR THE USE AND PERMANENT MAINTENANCE OF THE COMMON AREAS/FACILITIES DESIGNATED ON THIS PLAT IS

BEING RECORDED ON THE SAME DATE AS THIS PLAT EASEMENTS FOR FLOODPLAINS;

LOT 6

THE DRAINAGE EASEMENTS WERE DELINEATED TO CONTAIN THE LESSER OF THE BOUNDARIES OF THE 1% ANNUAL CHANCE (100-YEAR) FLOOD ZONE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) IN ACCORDANCE WITH DFIRM PANEL 48029C0115F. DATED 9/29/2010: OR THE 1% ANNUAL CHANCE (100-YEAR) ULTIMATE DEVELOPMENT CONDITION WATER SURFACE ELEVATION: OR THE 4% ANNUAL CHANCE (25-YEAR) ULTIMATE DEVELOPMENT FLOODPLAIN PLUS FREEBOARD. CONSTRUCTION, IMPROVEMENTS, OR STRUCTURES WITHIN THE DRAINAGE EASEMENTS AND FLOODPLAIN ARE PROHIBITED WITHOUT PRIOR WRITTEN APPROVAL FROM THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

LOT 5

BLK 60

MATCHLINE "C" - SHEET 3 OF 4

RESIDENTIAL FINISHED FLOOR ELEVATION

RESIDENTIAL STRUCTURES ARE NOT ALLOWED WITHIN THE CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN. FINISHED FLOOR ELEVATIONS FOR RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN ONE FOOT ABOVE THE BASE FLOOD ELEVATION OF THE REGULATORY FLOODPLAIN (CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN). THE LOWEST ADJACENT GRADE SHALL BE AT OR ABOVE THE BASE FLOOD ELEVATION. PRE-CONSTRUCTION ELEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO PERMIT APPROVAL, AND POST-CONSTRUCTION FLEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO OCCUPANCY OF RESIDENTIAL BUILDINGS. AS DETERMINED BY THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO.

DRAINAGE EASEMENT ENCROACHMENTS

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED. SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

RESIDENTIAL FIRE FLOW:

THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1750 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL

GREY FOREST UTILITY:

THE CITY OF GREY FOREST, BY AND THROUGH ITS GAS UTILITY SYSTEM, GREY FOREST UTILITIES IS HEREBY DEDICATED EASEMENTS AND RIGHT-OF-WAYS FOR GAS DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "GAS EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, AND PATROLLING SAID INFRASTRUCTURE AND SERVICE FACILITIES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND FOR THE PURPOSE OF ACCESSING ITS INFRASTRUCTURE AND SERVICE FACILITIES. GREY FOREST UTILITIES SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID AREA LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF GAS DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT

PLAT NO. 23-11800417

REPLAT & SUBDIVISION PLAT **ESTABLISHING**

THE OAKS AT THE

901-902, BLOCK 60, LOTS 1-11, BLOCK61, COMPRISED OF 0.570 OF AN ACRE PORTION OUT OF LOT 1, BLOCK 28, NCB 16385, INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563 PAGES 132-137 AND LOT 1 BLOCK 53 NCB 16385. LUCCHESE VILLAGE (PUD) RECORDED IN VOLUME 9721, PAGES 153-161, ALL OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND 1.395 OF AN ACRE OUT OF THAT 67.942 ACRE TRACT, IN DEED RECORDED IN VOLUME 15163, PAGE 2072, ALL OF A 10.390 ACRE TRACT IN DEED RECORDED IN DOCUMENT NUMBER 20180144981, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS OUT OF THE LUDOVIC COLOUHOUN SURVEY NUMBER 24 ABSTRACT 133 COUNTY BLOCK 4043, NOW IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAF

PAPE-DAWSON **ENGINEERS**

2000 NW LOOP 410 I SAN ANTONIO, TX 78213 I 210.375.9000 TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800 DATE OF PREPARATION: December 03, 2024

COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT. IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED

OWNER/DEVELOPER: GUILLERMO AGUAYO AGORA ASSETS, LC 8 DOMINION DRIVE, SUITE 107 SAN ANTONIO, TEXAS 78257

STATE OF TEXAS

APPROVED

By Reid Cassidy at 2:25 pm, Dec 13, 2024

ADDR-AVAA-24-10102210 Preliminary Parcel: 779572

Please Note:

- 1. The address above is considered a preliminary address until the plat is recorded at which point it is then considered permanent.
- 2. An address is subject to change in accordance with San Antonio Codes Section
- 3. Any changes to the Plat, site plan or MDP that could affect addressing must be resubmitted for an address review.
- 4. If multiple buildings are proposed on the property a site plan is required in order to assign building numbers per IB 501, prior to building

permit submittal.

5. If suite numbers are required, a floor plan must be submitted showing hallways. doorways, access points, linear measurements, all existing suite numbers, and proposed suite numbers in a PDF format.

City of San Antonio **Development Services Dept** 1901 S. Alamo St San Antonio, Texas 78283-3966 (210) 207-1111 DSD.addressing@sanantonio.gov

PLAT NOTES APPLY TO EVERY PAG OF THIS MULTIPLE PAGE PLAT

SHEET 4 OF 4