

PLAT NO. 22-11800251

**CONTRACTOR SHALL VERIFY BENCHMARKS AND CONTACT SURVEYOR WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION**

**GEOTECHNICAL**  
**ENGINEER:** TTL, INC.  
17215 JONES MALTSBERGER ROAD, SUITE 101  
SAN ANTONIO, TEXAS 78247  
(210) 888-6100  
CONTACT: AMIT BAKANE, P.E.

**SURVEY BASIS:**

BEARINGS SHOWN HEREON ARE BASED ON ACTUAL GPS OBSERVATIONS  
TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE, GRID.

**VICINITY MAP**  
NOT TO SCALE

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
2. BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
3. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION AND/OR A FIELD SURVEY, AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT THE "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH UTILITIES COMPANY TO BE USED FOR UTILITY AND/OR FIELD SURVEY PRIOR TO EXCEEDING ANY EXISTING UTILITY DURING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. OSHA STANDARDS MAY BE PURCHASED FROM THE COVERED PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, FOUNTAINEHEAD TOWER, SUITE 605, 8200 W. INTERSTATE 10, SAN ANTONIO, TEXAS 78230.
5. CONTRACTOR SHALL RESTORE ALL SIGNS AND PAVEMENT MARKINGS TO EXISTING CONDITIONS FOLLOWING THE COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTORS SHALL REFER TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) FOR SIGN AND MARKING DIMENSIONS AND COLORS.

|                 |   |
|-----------------|---|
| CR300           | SIGNAGE & STRIPING PLANS                    |
| CR301           | STREET DETAILS                              |
| CR302           | STREET DETAILS                              |
| OVERALL GRADING |   |
| CG100           | OVERALL GRADING                             |
| CG101           | GRADING PLAN 1                              |
| CG102           | GRADING PLAN 2                              |
| DRAINAGE SHEETS |   |
| CG200           | EXISTING UNIT 2 DRAINAGE AREA MAP           |
| CG300           | PROPOSED FULL DEVELOPMENT DRAINAGE AREA MAP |
| CG302           | DRAINAGE CALCULATIONS                       |
| CG400           | PROPOSED UNIT 2 DRAINAGE AREA MAP           |
| CG401           | STORM DRAIN LINE A                          |
| CG402           | STORM DRAIN LINE A                          |
| CG403           | STORM DRAIN LIN A                           |
| CG404           | STORM DRAIN LINE A1                         |
| CG405           | SHEET REMOVED                               |
| CG406           | STORM DRAIN LINE A3                         |
| CG407           | STORM DRAIN LINE B                          |
| CG408           | SHEET REMOVED                               |
| CG409           | SHEET REMOVED                               |
| CG410           | SHEET REMOVED                               |
| CG411           | SHEET REMOVED                               |
| CG412           | SHEET REMOVED                               |
| CG413           | SHEET REMOVED                               |
| CG414           | SHEET REMOVED                               |
| CG415           | STORM DRAIN LINE D                          |
| CG416           | STORM DRAIN LINE D                          |
| CG417           | STORM DRAIN LINE D1                         |
| CG418           | I-35 BYPASS CHANNEL                         |
| CG419           | I-35 BYPASS CHANNEL                         |

|                          |   |
|--------------------------|---|
| CG420                    | I-35 BYPASS CHANNEL                       |
| CG500                    | UNIT 2 - SOUTHERLY DETENTION POND         |
| <b>WASTEWATER SHEETS</b> |   |
| CU000                    | SAWS SANITARY SEWER COVER SHEET           |
| CU100                    | OVERALL UTILITY LAYOUT                    |
| CU200                    | WASTEWATER LINE A                         |
| CU201                    | WASTEWATER LINE B                         |
| CU202                    | WASTEWATER LINE B                         |
| CU203                    | WASTEWATER LINE C                         |
| CU204                    | WASTEWATER LINE D                         |
| CU205                    | EXISTING WASTEWATER LINE A - REMEMBER WAY |
| CU206                    | WASTEWATER LINE E                         |
| <b>WATER SHEETS</b>      |   |
| CU400                    | SAWS WATER COVER SHEET                    |
| CU401                    | WATER SYSTEM (1)                          |
| CU402                    | WATER SYSTEM (2)                          |
| <b>DETAILS</b>           |   |
| C600                     | CONSTRUCTION DETAILS 1                    |
| C601                     | CONSTRUCTION DETAILS 2                    |
| C602                     | CONSTRUCTION DETAILS 3                    |
| C603                     | CONSTRUCTION DETAILS 4                    |
| C604                     | CONSTRUCTION DETAILS 5                    |

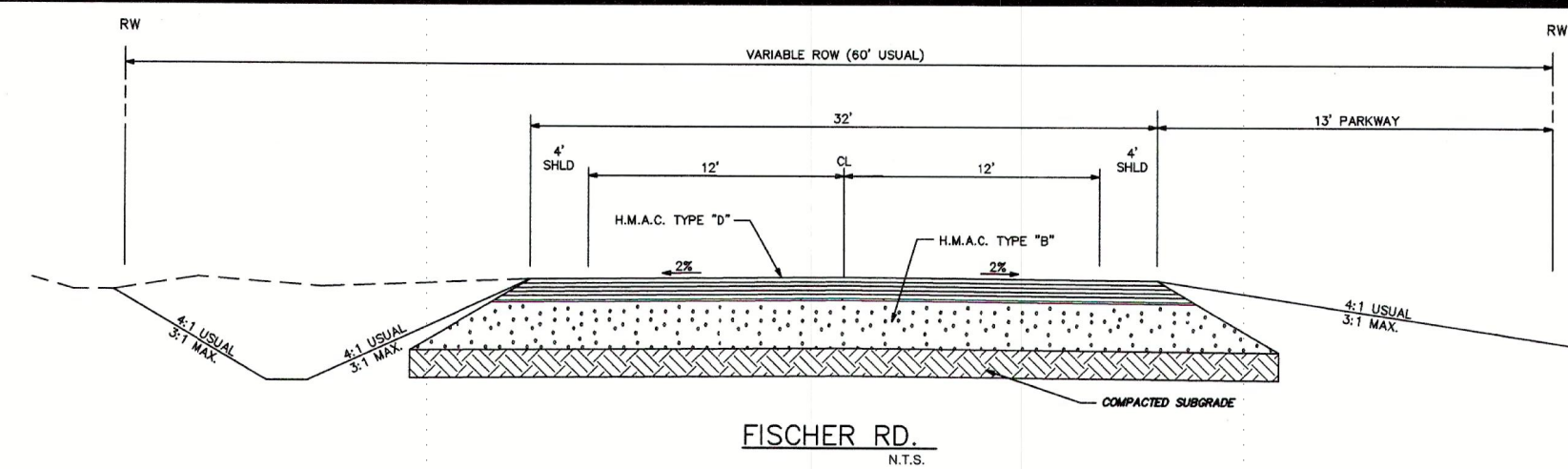
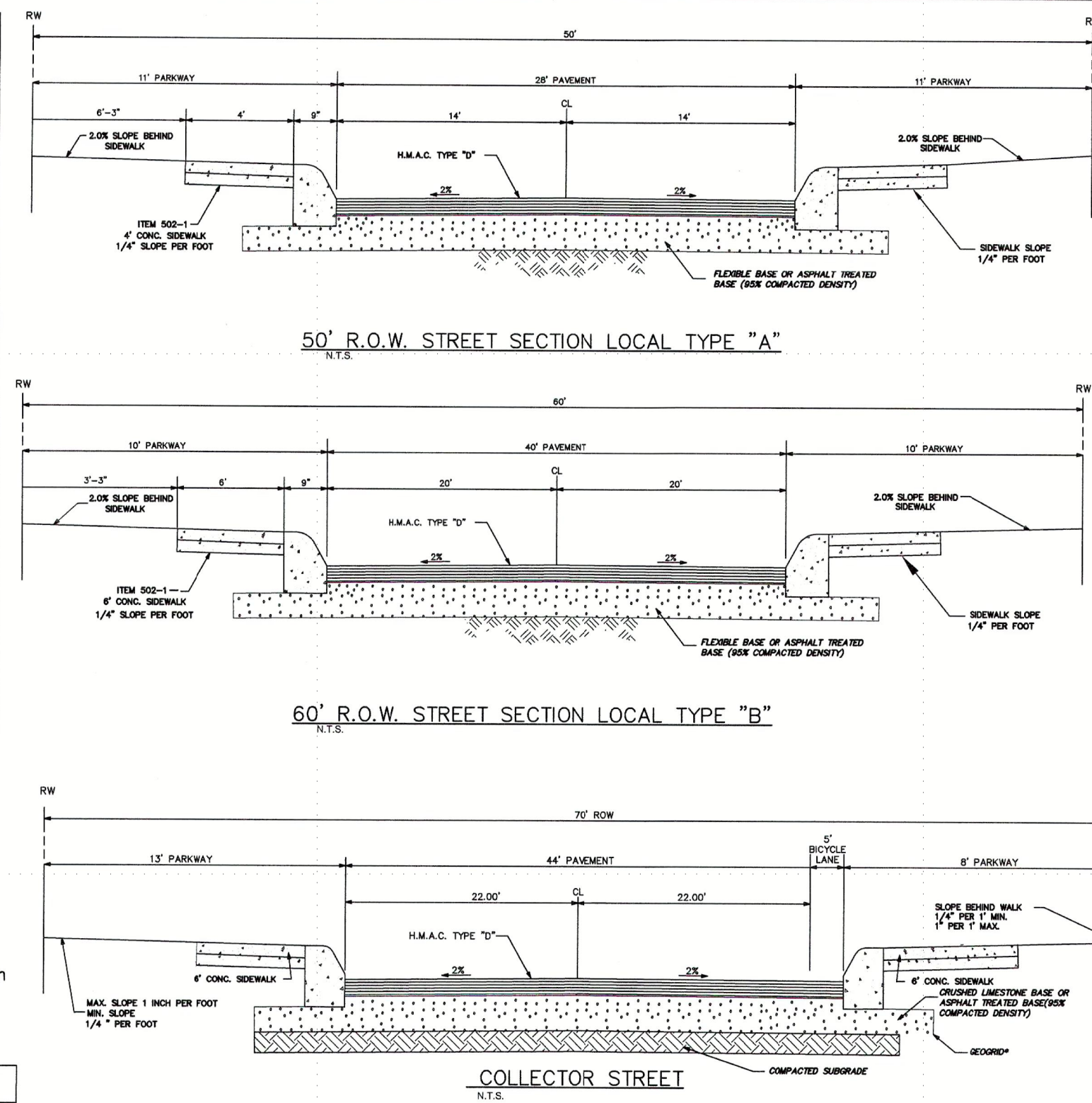
1 REVISED SHEET

# COVER SHEET

[illegible]

SHEET  
**C001**  
1 OF 65





1. BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM ESTABLISHED FOR THE TEXAS SOUTH CENTRAL ZONE 4204, NORTH AMERICAN DATUM (NAD) OF 1983.
2. ALL INTERNAL STREETS WITHIN THE M.D.P. LIMITS ARE LOCAL TYPE "A" WITH A 50' R.O.W., 28' PAVEMENT, AND 2'-11" PARKWAYS UNLESS OTHERWISE NOTED.
3. THIS PROPERTY IS NOT WITHIN THE EDWARDS AQUIFER RECHARGE ZONE.
4. THE FRONT, SIDE, AND REAR SETBACKS WILL CONFORM TO THE MINIMUM SETBACKS REQUIRED BY THE UNIFIED DEVELOPMENT CODE ZONING REQUIREMENTS.
5. SEWER SERVICE TO BE PROVIDED BY S.A.W.S., ELECTRIC SERVICE TO BE PROVIDED BY CITY PUBLIC SERVICE, & WATER SERVICE TO BE PROVIDED BY S.A.W.S.
6. A VARIANCE SIGHT CLEARANCE EASEMENT WILL BE REQUIRED AT CORNER LOTS IF THE INTERSECTION DOES NOT MEET SIGHT DISTANCE REQUIREMENTS AS DEFINED IN LATEST EDITION OF AASHTO MANUAL.
7. SIDEWALKS WILL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY PER UDC ARTICLE 5, DIVISION 2-35-508 (f). THE MINIMUM WIDTH OF SIDEWALKS ADJOINING A PLANTING STRIP SHALL BE FOUR (4) FEET IN WIDTH. THE MINIMUM WIDTHS OF SIDEWALKS ADJOINING SIDEWALKS SHALL BE SIX (6) FEET IN WIDTH FOR COLLECTORS (MINIMUM 70 FEET OF RIGHT-OF-WAY WIDTH) AND FOUR (4) FEET FOR RESIDENTIAL (MINIMUM 35 FEET RIGHT-OF-WAY WIDTH).
8. SIDEWALKS AND BICYCLE FACILITIES ARE REQUIRED ON ALL ARTERIALS AND COLLECTORS PER UDC TABLE 506-3, NOTE 5.
9. INTERNAL STREETS WILL MEET INTERSECTION REQUIREMENTS PER UDC SECTION 35-506(f)(1).
10. INTERNAL STREETS WILL MEET MAXIMUM STREET LENGTH REQUIREMENTS PER UDC SECTION 35-515(c)(3)(b).
11. BLOCK WILL MEET BLOCK LENGTH REQUIREMENTS PER UDC SECTION 35-515(b)(3)(A).
12. PLATED UNITS WILL NOT EXCEED 125 LOTS WITHOUT PROVIDING SUNDOWN ACCESS AS SITUATED IN THE UDC SECTION 35-506(e)(7).
13. STREETS WITH ANY PROPOSED SUBDIVISION WILL PROVIDE A CONNECTIVITY RATIO OF NO LESS THAN 1.20 AS OUTLINED IN THE UDC SECTION 35-506(e)(1). THE CONNECTIVITY INDEX WILL NOT APPLY TO SUBDIVISIONS WITH LESS THAN 125 SINGLE FAMILY LOTS.
14. SUBJECT PROPERTY IS LOCATED IN THE SOUTHWEST INDEPENDENT SMOOK DISTRICT.

## LEGEND

|                 |  |
|-----------------|--|
| =====           | BOUNDARY / RIGHT OF WAY LINE                     |
| -----           | EASEMENT   |
| ----- -102----- | EXISTING CONTOUR                                 |
| ROW             | BOUNDARY / RIGHT OF WAY LINE                     |
| O.P.R.          | OFFICIAL PUBLIC RECORDS OF<br>BEXAR COUNTY TEXAS |
| D.P.R.          | DEED AND PLAT RECORDS OF<br>BEXAR COUNTY TEXAS   |
| D.R.            | DEED RECORDS OF BEXAR COUNTY<br>TEXAS            |
| NTS             | NOT TO SCALE                                     |
| V.W.            | VARIABLE WIDTH                                   |

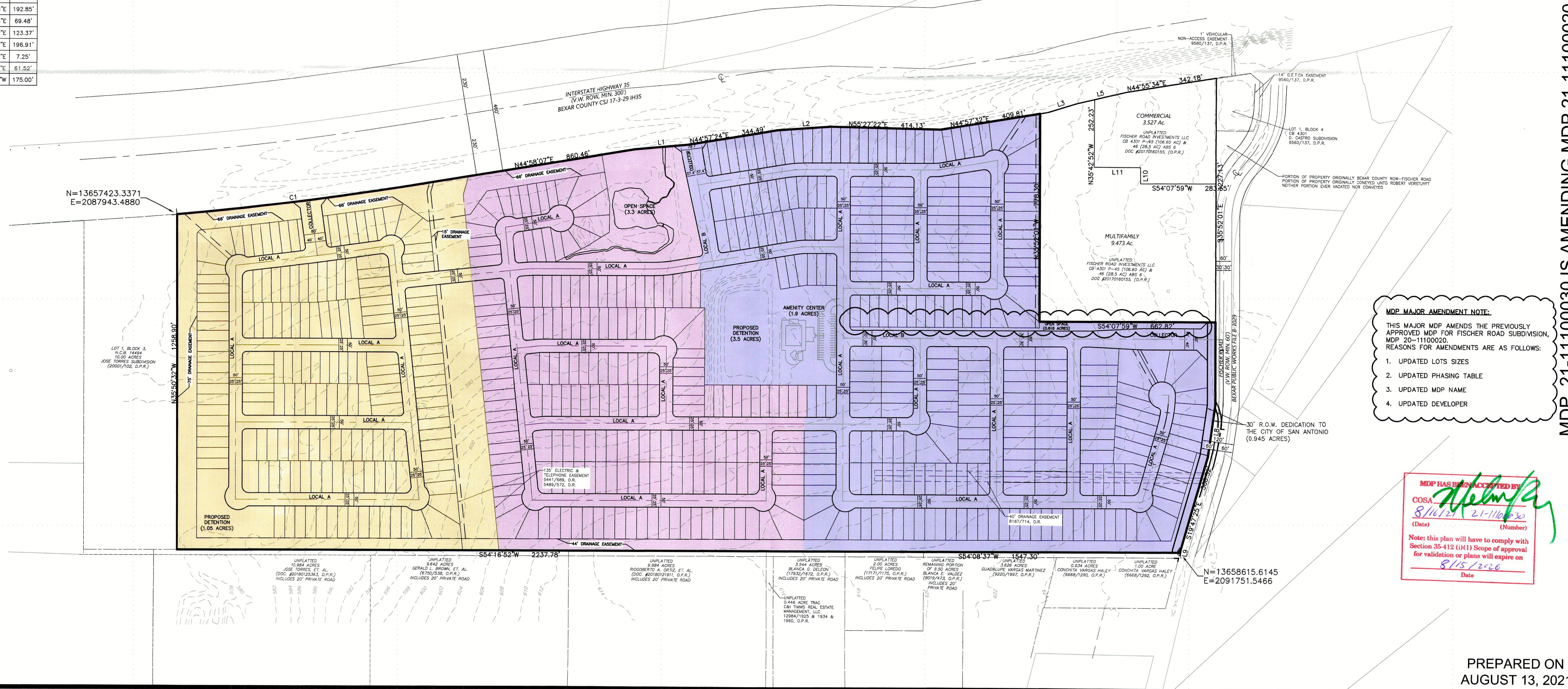
| LOT DATA   |                  |                        |
|------------|------------------|------------------------|
| LOT ZONING | MINIMUM LOT AREA | TYPICAL LOT DIMENSIONS |
| R4         | 4,000            | 40'x120' & 35'x120'    |

| PHASING TABLE |        |              |      |                                 |                               |                      |
|---------------|--------|--------------|------|---------------------------------|-------------------------------|----------------------|
| PHASE         | ZONING | AREA (ACRES) | LOTS | REQUIRED SPACE PARK/OPEN ACRES) | DENSITY (DWELLING UNITS/ACRE) | ESTIMATED BEGIN DATE |
| PHASE 1       | R4     | 53.7         | 293  | 4.2                             | 5.46                          | November 2021        |
| PHASE 2       | R4     | 33.6         | 195  | 2.8                             | 5.80                          | November 2022        |
| PHASE 3       | R4     | 34.8         | 170  | 2.4                             | 4.89                          | November 2023        |
| TOTAL         |        | 122.1        | 658  | 9.4                             | 5.39                          |                      |

| LINE TABLE |             |         |
|------------|-------------|---------|
| LINE       | BEARING     | LENGTH  |
| L1         | N49°15'29"E | 200.41' |
| L2         | N50°16'27"E | 200.96' |
| L3         | N37°03'41"E | 111.65' |
| L4         | N44°57'32"E | 30.96'  |
| L5         | N40°56'03"E | 192.85' |
| L6         | N40°56'03"E | 69.48'  |
| L7         | N40°56'03"E | 123.37' |
| L8         | S27°50'47"E | 196.91' |
| L9         | S27°24'50"E | 7.25'   |
| L10        | S35°52'01"E | 61.52'  |
| L11        | S54°17'08"W | 175.00' |

| CURVE TABLE |           |         |          |         |               |
|-------------|-----------|---------|----------|---------|---------------|
| CURVE       | RADIUS    | LENGTH  | DELTA    | CHORD   | CHORD BEARING |
| C1          | 11609.20' | 880.69' | 4°20'48" | 880.48' | N47°10'35"E   |

Being a total 122.092 acre tract of land, inclusive of a 0.945 acre Right of Way dedication to the City of San Antonio, situated in the Francisco Ricardo Hernandez Survey No. 6, Abstract 6, County Block 4301, Bexar County, Texas and being a portion of that 135.090 acre tract of land conveyed unto Fischer Road Investments LLC by warranty deed recorded in Volume 18683, Pg. 2207, Bexar County Official Property Records.



MDP 21-11100030 IS AMENDING MDP 21-11100020

VALLE SOL SUBDIVISION

# MASTER DEVELOPMENT PLAN

MDP MAJOR AMENDMENT 21-11100020

**LENNAR HOMES**  
1922 DRY CREEK WAY  
SAN ANTONIO, TX 78259

**UP**  
**ENGINEERING**  
**+ SURVEYING**  
111903 JONES MALTSBERGER ROAD, SUITE 100  
SAN ANTONIO, TX 78216 TEL 210-771-1119  
FAX 210-771-1120  
WWW.UPENGINEERING.COM

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

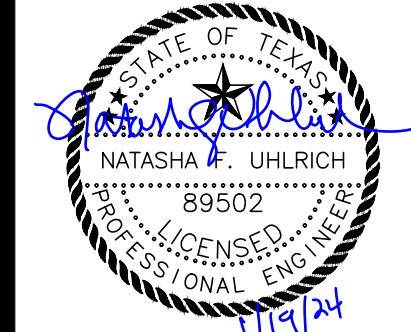
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

**APPROVED MDP**

|              |         |
|--------------|---------|
| DESIGNED BY: | JOS/TS  |
| DRAFTED BY:  | JOS     |
| CHECKED BY:  | NFU/RRP |

**C002**

2 OF 65







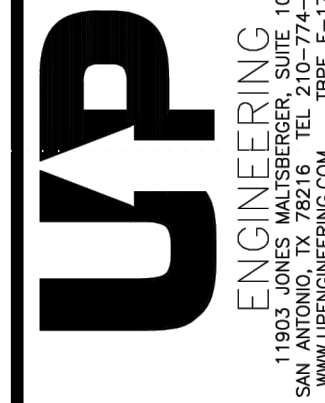
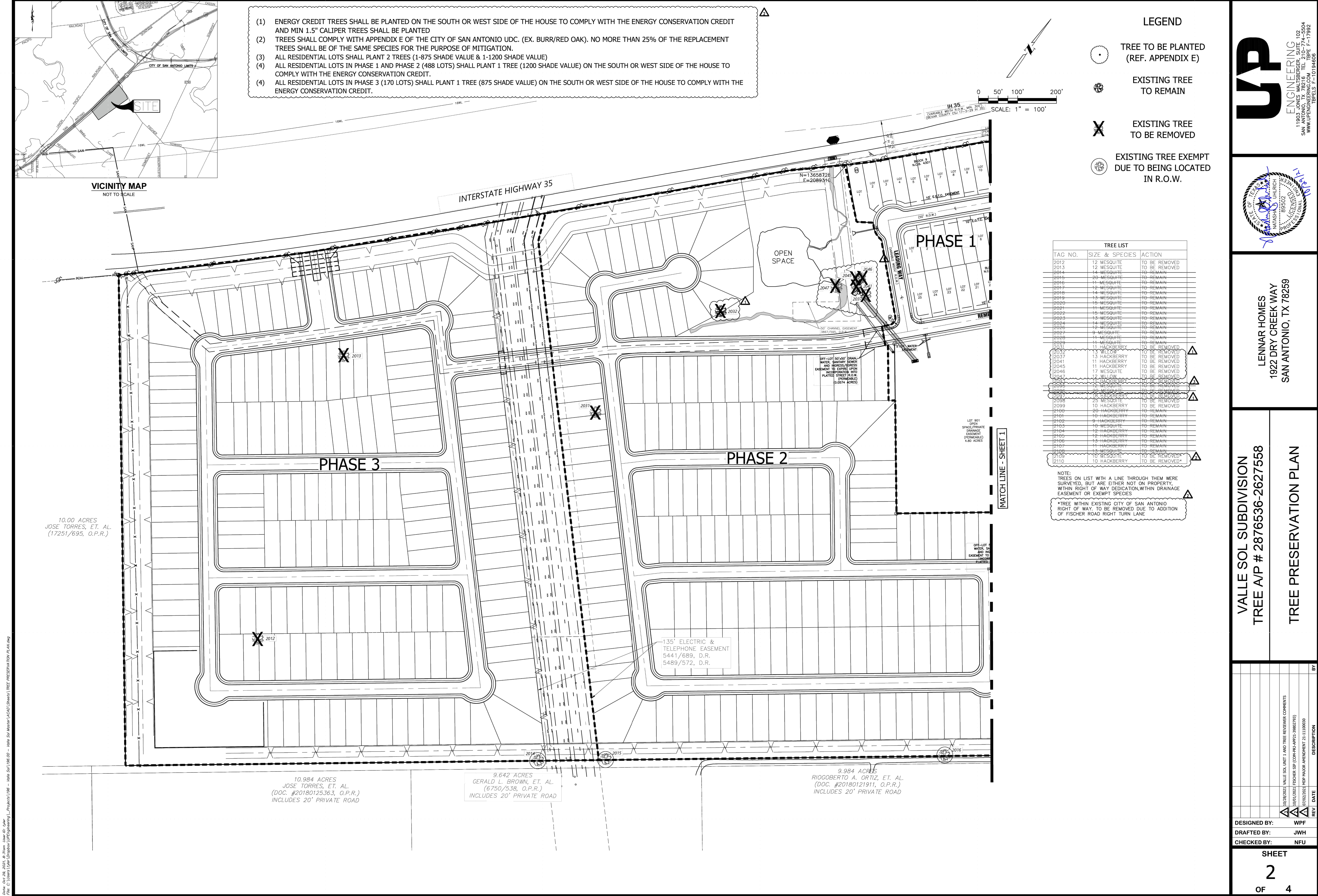


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DATE: Oct 28, 2024, 8:27am, User: GJ, User: GJ  
FILE: C:\Users\GJ\OneDrive\Engineering\Projects\199 - Valle Sol\199-05 - Valle Sol\199-05.dwg  
PLOT TITLE: V13 DP PRODUCTION STANDARD CTB

DESIGNED BY: JWS/TS  
DRAFTED BY: JWS  
CHECKED BY: NFU/RRP

LAST MODIFIED ON: January 2, 2024  
LAST PLOTTED ON: January 9, 2024  
PLOT TITLE: V13 DP PRODUCTION STANDARD CTB



LENNAR HOMES  
1922 DRY CREEK WAY  
SAN ANTONIO, TX 78259

VALLE SOL SUBDIVISION  
TREE A/P # 2876536-2627558

TREE PRESERVATION PLAN

| REV | DATE     | DESCRIPTION                           | BY  |
|-----|----------|---------------------------------------|-----|
| 1   | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
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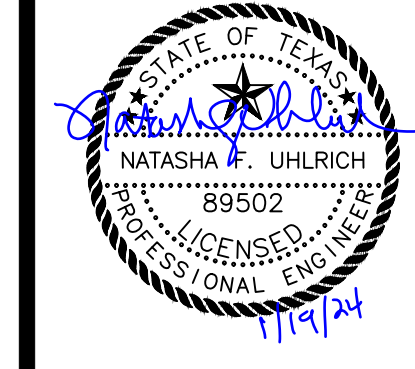
SHEET  
2  
OF 4

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
APPROVED TREE PRESERVATION PLAN  
SHEET 2

| REV | DATE     | DESCRIPTION                           | BY  |
|-----|----------|---------------------------------------|-----|
| 1   | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
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DESIGNED BY: JWS/TS  
DRAFTED BY: JWS  
CHECKED BY: NFU/RRP

SHEET  
C004  
4 OF 65



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216









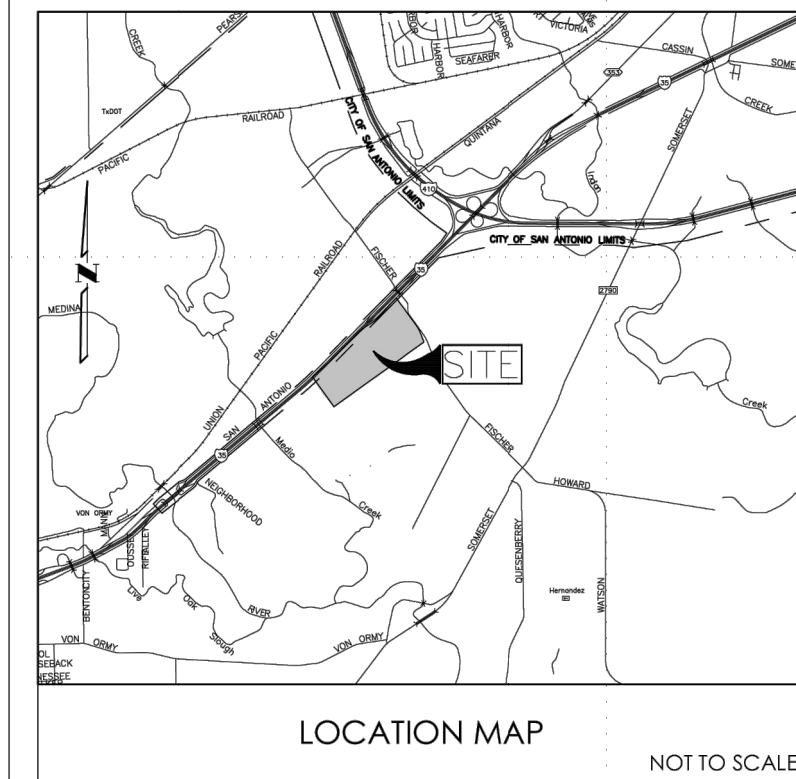




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LAST MODIFIED ON: January 19, 2024  
LAST PLOTTED ON: January 19, 2024  
PLOT TITLE: UP STD PENS C7B

U:\Projects\1981-Valle Sol Unit 2-Valle Sol Unit 2 Original\ACAD\PLAT\Valle Sol Unit 2 Subdivision Plat.dwg 2024/01/19 12:27pm Tmr



#### LEGEND

- PLAT BOUNDARY
- ADJOINER BOUNDARY
- CENTERLINE
- FOUND 1/2" IRON PIN CONTROLLING MONUMENTATION
- IRON PIN SET
- FOUND TYPE B RIGHT-OF-WAY MONUMENT
- E.G.T.C. = ELECTRIC, GAS, TELE, & CABLE TV
- D.P.R. = DEED AND PLAT RECORDS OF BEAR COUNTY TEXAS
- O.P.R. = OFFICIAL PUBLIC RECORDS OF BEAR COUNTY TEXAS
- N.C.B. = NEW CITY BLOCK
- MIN. = MINIMUM
- V.N.A.E. = VEHICULAR NON-ACCESS EASEMENT
- 1234/56 = VOLUME/PAGE
- R.O.W. = RIGHT OF WAY
- BSL = BUILDING SETBACK LINE
- 636 = EXISTING CONTOUR
- 630 = PROPOSED CONTOUR
- — — — — EASEMENT

**STORM WATER DETENTION NOTE:**  
1. STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFF-SITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNER'S ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEAR COUNTY.

**TREE NOTE:**  
1. THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP #8827558) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES, AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(i).

STATE OF TEXAS  
COUNTY OF BEAR  
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNITED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

NATASHA F. UHLIRCH, P.E.  
TEXAS REGISTRATION NO. 89502

STATE OF TEXAS  
COUNTY OF BEAR  
I HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY:

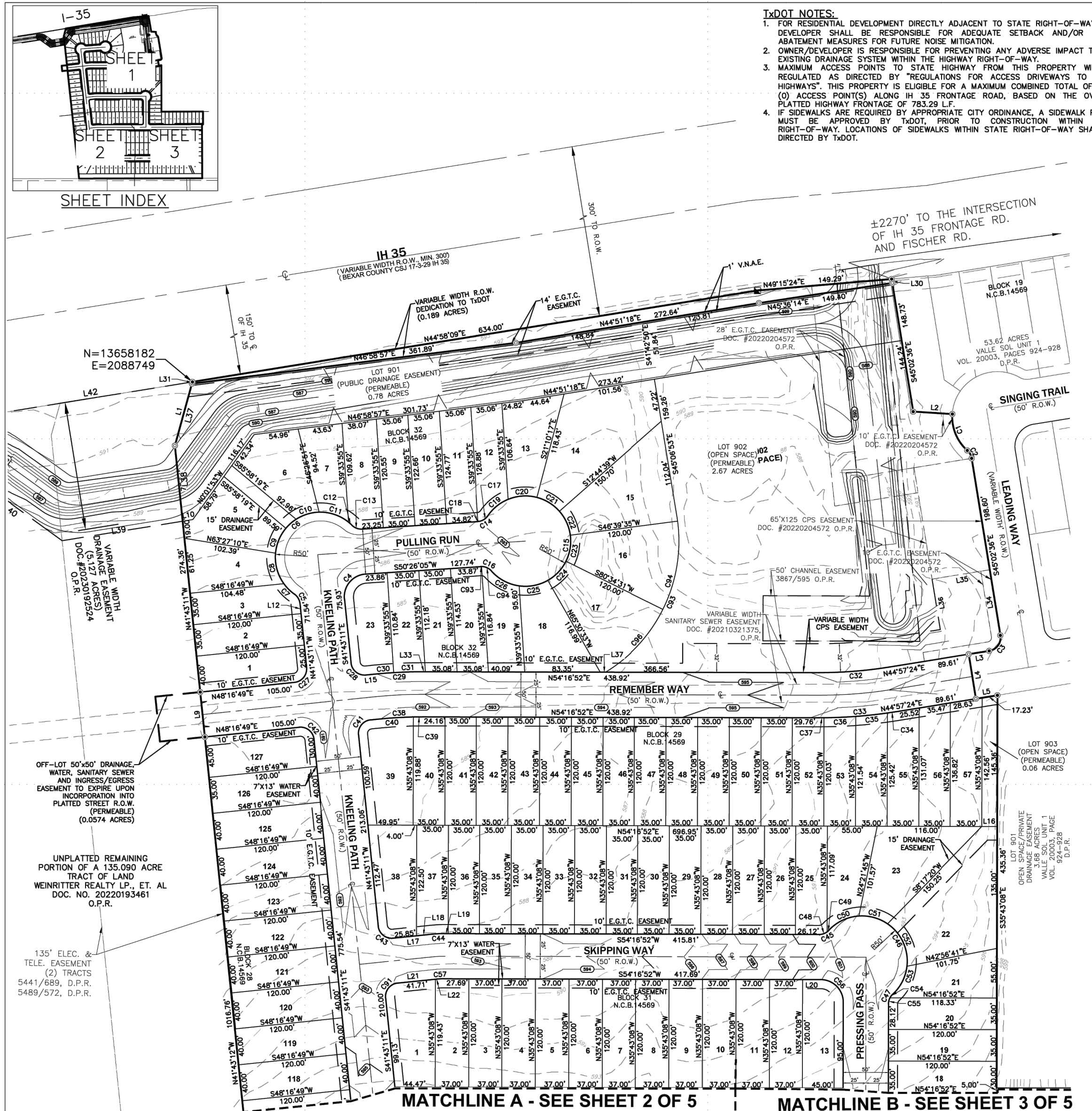
RICHARD L. NEUBAUER III, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6887

**CPS/SAWS/COSA UTILITY NOTES:**  
1. THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY AND SAN ANTONIO WATER SYSTEMS (SAWS)) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LOTS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.  
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.  
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.  
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

**CPS/SAWS/COSA UTILITY NOTES:**  
2. ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.  
**SAWS NOTES:**  
1. WASTEWATER EDU NOTE: THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.  
2. SAWS HIGH PRESSURE NOTE: A PORTION OF THIS TRACT IS BELOW THE GROUND ELEVATION OF 605 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER IS REQUIRED TO INSTALL ON EACH LOT, ON THE CUSTOMER SIDE OF THE WATER METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.  
3. IMPACT FEE NOTE: WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SEWER SERVICE CONNECTION.  
4. THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.  
5. FIRE FLOW NOTE: THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 22 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.  
**FIRE ACCESS NOTE:**  
1. INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT ACCESS FOR THE CITY OF SAN ANTONIO FIRE. THE CROSS ACCESS SHALL NOT BE BLOCKED NOR MAY THIS NOTE BE TAKEN OFF THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

**CLEAR VISION NOTE:**  
1. ALL ACCESS DRIVEWAYS AND INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION AREAS IN ACCORDANCE WITH UDC 35-506 (d)(5).  
**FINISHED FLOOR NOTE:**  
1. RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8 INCHES ABOVE FINISHED ADJACENT GRADE.  
**SURVEY NOTE:**  
1. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 1983, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.  
2. NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA FIRM PANELS 48020C056F AND 48020C045F. EFFECTIVE DATE OF 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.  
**MAINTENANCE NOTE:**  
1. THE MAINTENANCE OF PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREES, SAME AREAS, INCLUDING LOTS 901-902, BLOCK 32, NCB 14569, LOT 903, BLOCK 29, NCB 14569 AND LOT 904, BLOCK 28, NCB 14569, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEAR COUNTY.  
**DRAINAGE NOTES:**  
1. NO STRUCTURES, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TO OR PUBLIC WORKS, THE CITY OF SAN ANTONIO AND BEAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.  
2. THE MAINTENANCE OF THE DETENTION POND AND OUTLET STRUCTURE SHALL BE THE RESPONSIBILITY OF THE LOT OWNERS OR HOME OWNER'S ASSOCIATION, THEIR SUCCESSORS OR ASSIGNS, AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEAR COUNTY.

**TxDOT NOTES:**  
1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.  
2. OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY.  
3. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY "REGULATIONS FOR ACCESS DRIVEWAYS TO STATE HIGHWAY". THIS PROPERTY IS ELIGIBLE FOR A MAXIMUM COMBINED TOTAL OF 2,000 (2) ACCESS POINTS) ALONG IN 35' FRONTAGE ROAD, BASED ON THE OVERALL PLATED HIGHWAY FRONTAGE OF 183.23 L.F.  
4. IF SIGNALS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TxDOT, PRIOR TO CONSTRUCTION. WITHIN STATE RIGHT-OF-WAY, LOCATIONS OF SIGNALS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TxDOT.



## PLAT NO. 22-11800251

### SUBDIVISION PLAT ESTABLISHING

#### VALLE SOL UNIT 2

BEING 33.62 ACRES OF LAND, INCLUSIVE OF A 0.189 ACRE RIGHT OF WAY DEDICATION TO TxDOT, OUT OF A 135.080 ACRE TRACT OF LAND, OUT OF THE FRANCISCO RICARDO HERNANDEZ SURVEY NO. 6, ABSTRACT NO. 6, COUNTY BLOCK 4301, CONVEYED UNTO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., RECORDED IN DOCUMENT NO. 20230192523, OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

SCALE: 1"=100'



**UP  
ENGINEERING  
+ SURVEYING**

11903 JONES WALSERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM E-1-1992  
TBPELS F-10194606

STATE OF TEXAS  
COUNTY OF BEAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINAGE EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER:  
LENNAR HOMES OF TEXAS LAND  
AND CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TX 78216

OWNER

BY: U.S. HOME, L.L.C. A DELAWARE  
LIMITED LIABILITY COMPANY (AS  
SUCCESSOR-IN-INTEREST BY  
CONVERSION TO U.S. HOME  
CORPORATION, A DELAWARE  
CORPORATION), ITS GENERAL PARTNER

DULY AUTHORIZED AGENT  
NAME: RICHARD MOTT  
TITLE: VICE PRESIDENT OF  
LAND DEVELOPMENT

STATE OF TEXAS  
COUNTY OF BEAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND  
ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND  
CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

NOTARY PUBLIC BEAR COUNTY, TEXAS

THIS PLAT OF \_\_\_\_\_ VALLE SOL UNIT 2 \_\_\_\_\_ HAS BEEN SUBMITTED  
TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN  
ANTONIO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION IN  
ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE  
ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

BY: \_\_\_\_\_ CHAIRMAN

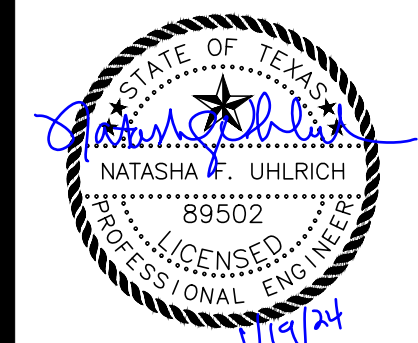
BY: \_\_\_\_\_ SECRETARY

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

VALLE SOL UNIT 2 CURRENT PLAT  
SHEET 1

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

**UP  
ENGINEERING  
+ SURVEYING**  
11903 JONES WALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM E-1-1992  
TBPELS F-10194606



| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFURRP  |                                       |     |

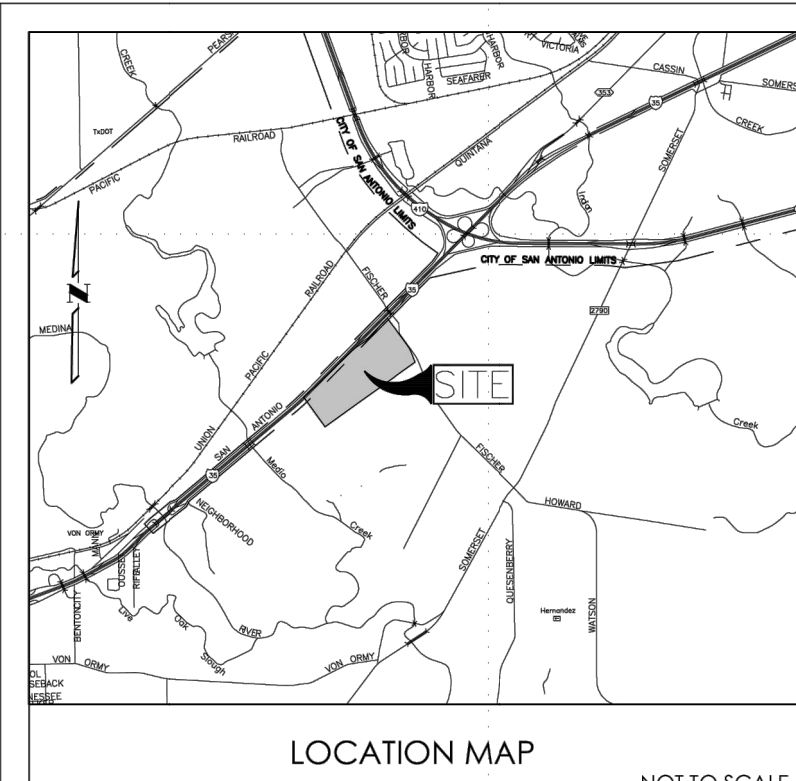
SHEET  
**C007**  
7 OF 65







FILE NAME: U:\PROJECTS\196 - VALLE SOL UNIT 2\VALLE SOL - UNIT 2\REDRAW\ACAD\SHETS\196-2-C09-1-UNIT 2 PLAT\SHETS\DWG  
LAST MODIFIED ON: 12/01/2024  
PLOT DATE: 12/01/2024  
PLOTTER: HP DesignJet T1100  
PLOT TITLE: UP STD PENS C78



#### LEGEND

- = PLAT BOUNDARY
- = ADJOINER BOUNDARY
- = CENTERLINE
- = FOUND 1/2" IRON PIN CONTROLLING MONUMENTATION
- = IRON PIN SET
- E.G.T.C. = ELECTRIC, GAS, TELE, & CABLE TV
- D.P.R. = DEED AND PLAT RECORDS OF BEKAR COUNTY TEXAS
- O.P.R. = OFFICIAL PUBLIC RECORDS OF BEKAR COUNTY TEXAS
- N.C.B. = NEW CITY BLOCK
- MIN. = MINIMUM
- V.N.A.E. = VEHICULAR NON-ACCESS EASEMENT
- 1234/56 = VOLUME/PAGE
- R.O.W. = RIGHT OF WAY
- BSL = BUILDING SETBACK LINE
- 6.36 — = EXISTING CONTOUR
- 6.36 — = PROPOSED CONTOUR
- — — = EASEMENT

#### STORM WATER DETENTION NOTE:

1. STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATION. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATION. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS' ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEKAR COUNTY.

#### TREE NOTE:

1. THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP #2627558) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(h).

#### STATE OF TEXAS

COUNTY OF BEKAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNITED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

NATASHA F. UHLIRICH, P.E.  
LICENSED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 89502

DATE

#### STATE OF TEXAS

COUNTY OF BEKAR

I HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY:

RICHARD L. NEUBAUER III, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6887

DATE

#### CPS/SAWS/COSA UTILITY NOTES:

1. THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

#### CPS/SAWS/COSA UTILITY NOTES:

5. ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.
- #### SAWS NOTES:
1. WASTEWATER EDU NOTE: THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.
  2. SAWS HIGH PRESSURE NOTE: A PORTION OF THIS TRACT IS BELOW THE GROUND ELEVATION 105 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER IS REQUIRED TO INSTALL ON EACH LOT, ON THE CUSTOMER'S SIDE OF THE WATER METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.
  3. IMPACT FEE NOTE: WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SEWER SERVICE CONNECTION.
  4. THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.
  5. FIRE FLOW NOTE: THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 20 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.
- #### FIRE ACCESS NOTE:
1. INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT ACCESS PER THE CITY OF SAN ANTONIO FIRE CODE. THE CROSS ACCESS SHALL NOT BE BLOCKED NOR MAY THIS NOTE BE TAKEN OFF THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

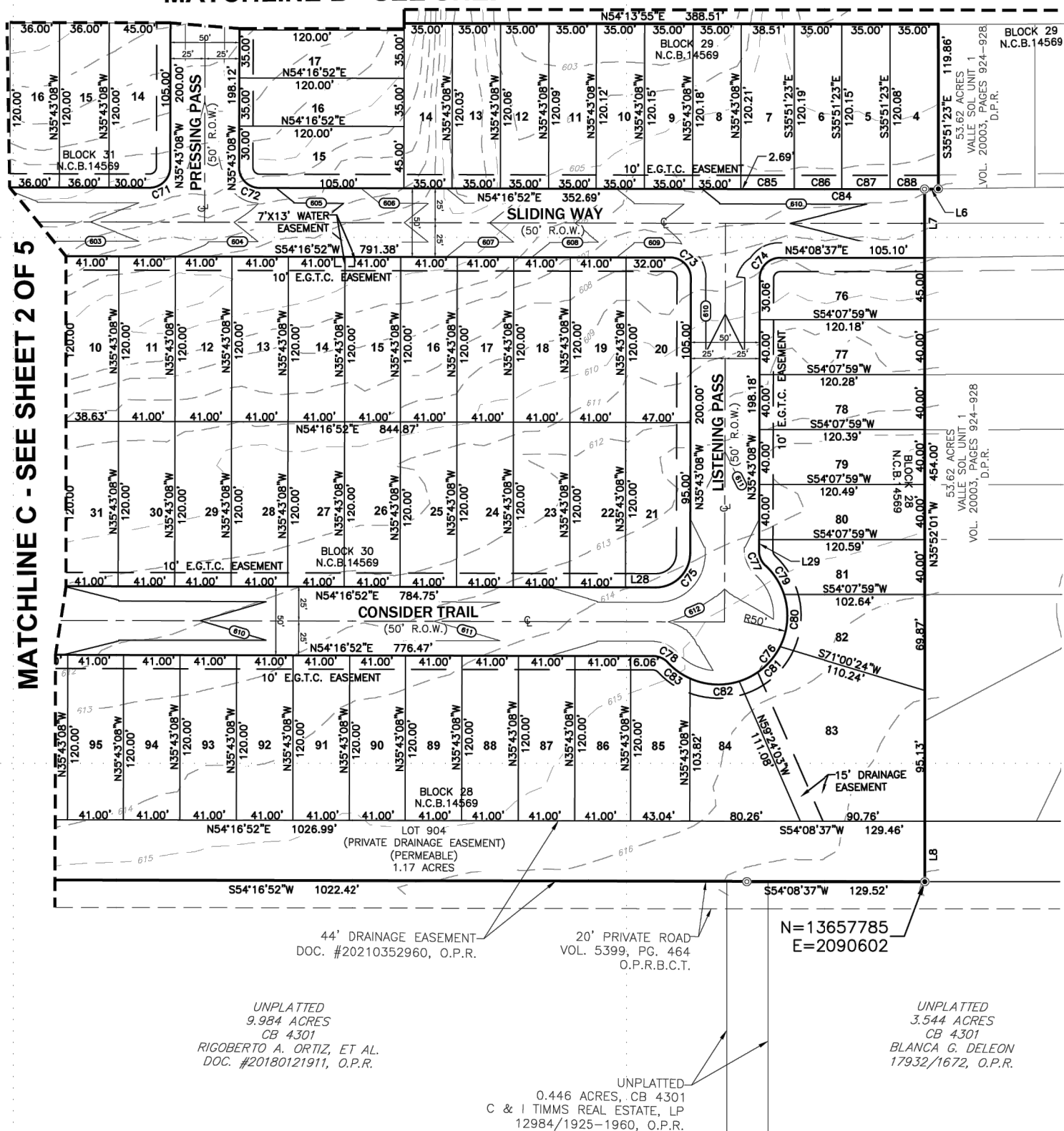
#### CLEAR VISION NOTE:

1. ALL ACCESS DRIVEWAYS AND INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION AREAS IN ACCORDANCE WITH UDC 35-506 (4)(5).
- #### FINISHED FLOOR NOTE:
1. RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8 INCHES ABOVE FINISHED ADJACENT GRADE.
- #### SURVEY NOTE:
1. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 1983, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
  2. NO PORTION OF THE FIRM 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA FIRM PANELS 48028C0565F AND 48028C0545F, EFFECTIVE DATE OF 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.
- #### MAINTENANCE NOTE:
1. THE MAINTENANCE OF PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, INCLUDING LOTS 901-902, BLOCK 32, NCB 14569; LOT 903, BLOCK 29, NCB 14569 AND LOT 904, BLOCK 28, NCB 14569, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEKAR COUNTY.
- #### DRAINAGE NOTES:
1. NO STRUCTURES, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TDD OR PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEKAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
  2. THE MAINTENANCE OF THE DETENTION POND AND OUTLET STRUCTURE SHALL BE THE RESPONSIBILITY OF THE LOT OWNER'S OR HOME OWNER'S ASSOCIATION, THEIR SUCCESSORS OR ASSIGNS, AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEKAR COUNTY.

#### TxDOT NOTES:

1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
2. OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY.
3. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY REGULATIONS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS. THIS PROPERTY IS ELIGIBLE FOR A MAXIMUM COMBINED TOTAL OF ZERO (0) ACCESS POINT(S) ALONG IH 35 FRONTAGE ROAD, BASED ON THE OVERALL PLATTED HIGHWAY FRONTAGE OF 783.29 L.F.
4. IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY DRAINAGE, A SIDEWALK PERMIT MUST BE APPROVED BY TxDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE DIRECTED BY TxDOT.

#### MATCHLINE B - SEE SHEET 1 OF 5

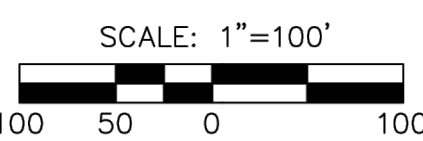


## PLAT NO. 22-11800251

### SUBDIVISION PLAT ESTABLISHING

#### VALLE SOL UNIT 2

BEING 33.62 ACRES OF LAND, INCLUSIVE OF A 0.189 ACRE RIGHT OF WAY DEDICATION TO TxDOT, OUT OF A 135.090 ACRE TRACT OF LAND, OUT OF THE FRANCISCO RICARDO HERNANDEZ SURVEY NO. 6, ABSTRACT NO. 5, COUNTY BLOCK 4301, CONVEYED UNTO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., RECORDED IN DOCUMENT NO. 20230182523, OFFICIAL PUBLIC RECORDS OF BEKAR COUNTY, TEXAS.



**UP**  
ENGINEERING  
+ SURVEYING

11903 JONES WALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216, TEL: 210-774-5504  
WWW.UPENGINEERING.COM, TOLL FREE 1-779-22  
TBBELS E-10194606

#### STATE OF TEXAS

COUNTY OF BEKAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

#### OWNER/DEVELOPER

LENNAR HOMES OF TEXAS LAND  
AND CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TX 78216

OWNER

#### BY: U.S. HOME LLC, A DELAWARE

LIMITED LIABILITY COMPANY (AS  
SUCCESSOR-IN-INTEREST BY  
CONVERSION TO U.S. HOME  
CORPORATION, A DELAWARE  
CORPORATION), ITS GENERAL PARTNER

DULY AUTHORIZED AGENT  
NAME: RICHARD MOLT  
TITLE: VICE PRESIDENT OF  
LAND DEVELOPMENT

#### STATE OF TEXAS

COUNTY OF BEKAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND  
ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND  
CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_

DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_

NOTARY PUBLIC BEKAR COUNTY, TEXAS

THIS PLAT OF VALLE SOL UNIT 2 HAS BEEN SUBMITTED  
TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN  
ANTONIO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION IN  
ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS AND/OR WHERE  
ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., \_\_\_\_\_

BY: \_\_\_\_\_ CHAIRMAN

BY: \_\_\_\_\_ SECRETARY

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

VALLE SOL UNIT 2 CURRENT PLAT  
SHEET 3

DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFURRP

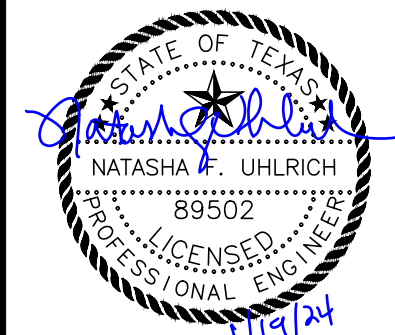
SHEET  
C009

9 OF 65

| REV | DATE    | DESCRIPTION                           | BY  |
|-----|---------|---------------------------------------|-----|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

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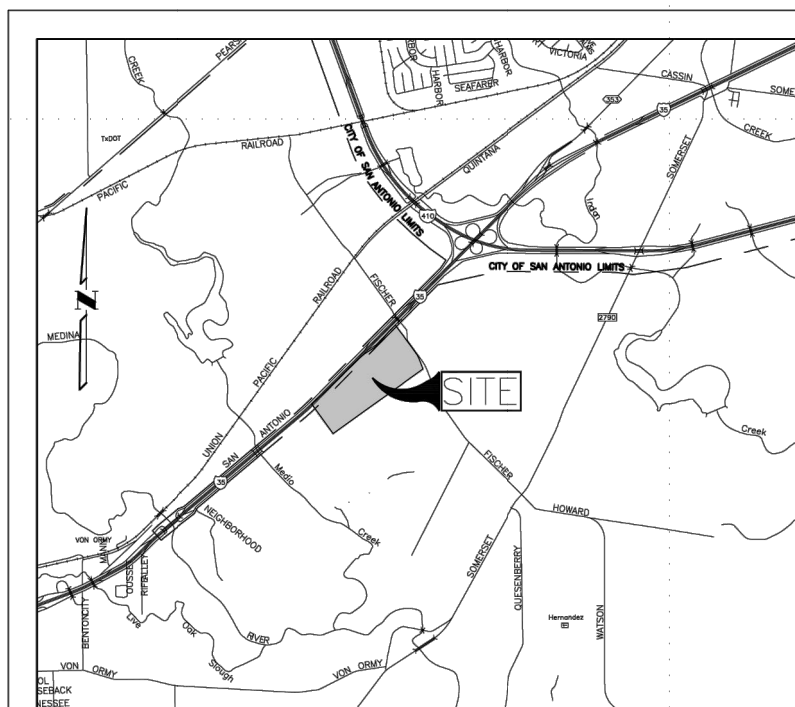


LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



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LAST MODIFIED ON: January 19, 2024  
LAST MODIFIED BY: JTS  
PLOTTED ON: January 19, 2024  
PLOT TITLE: UP STD PENS C7B



LOCATION MAP

NOT TO SCALE

LEGEND

- PLAT BOUNDARY
- - - ADJOINER BOUNDARY
- CENTERLINE
- \* FOUND 1/2" IRON PIN CONTROLLING MONUMENTATION
- IRON PIN SET
- E.G.T.C. = ELECTRIC, GAS, TELE, & CABLE TV
- D.P.R. = DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS
- O.P.R. = OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS
- N.C.B. = NEW CITY BLOCK
- 1234/56 = VOLUME/PAGE
- R.O.W. = RIGHT OF WAY
- BSL = BUILDING SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- - - EASEMENT

STORM WATER DETENTION NOTE:

1. STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS' ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

TREE NOTE:

1. THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP #2627558) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES, AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(N).

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNITED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

NATASHA F. UHLRICH, P.E.  
LICENSED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 89502

DATE

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY:

RICHARD L. NEUBAUER III, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 6897

DATE

CPS/SAWS/COSA UTILITY NOTES:

- THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES LOCATED WITHIN SAID EASEMENTS DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

CPS/SAWS/COSA UTILITY NOTES:

- ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.
- WASTEWATER EOU NOTE: THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.
- SAWS HIGH PRESSURE NOTE: A PORTION OF THIS TRACT IS BELOW THE GROUND ELEVATION OF 505 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER IS REQUIRED TO INSTALL ON EACH LOT, ON THE CUSTOMERS SIDE OF THE WATER METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.
- IMPACT FEE NOTE: WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SEWER SERVICE CONNECTION.
- THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.
- FIRE FLOW NOTE: THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

FIRE ACCESS NOTE:

1. INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT ACCESS PER THE CITY OF SAN ANTONIO FIRE CODE. THE CROSS ACCESS SHALL NOT BE BLOCKED NOR MAY THIS NOTE BE TAKEN OFF THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

CLEAR VISION NOTE:

1. ALL ACCESS DRIVEWAYS AND INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION AREAS IN ACCORDANCE WITH UDC 35-506 (d)(5).

FINISHED FLOOR NOTE:

1. RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8 INCHES ABOVE FINISHED ADJACENT GRADE.

SURVEY NOTE:

1. BASES OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 1983, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

2. NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA FIRM PANELS 4802020505R AND 480202045R. EFFECTIVE DATE OF 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

MAINTENANCE NOTE:

1. THE MAINTENANCE OF PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREES, SAVES AREAS, INCLUDING LOTS 801-902, BLOCK 32, NCB 14569, LOT 903, BLOCK 25, NCB 14569 AND LOT 904, BLOCK 28, NCB 14569, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

DRAINAGE NOTES:

- NO STRUCTURES, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TO OR PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY VIOLATING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
- THE MAINTENANCE OF THE DETENTION POND AND OUTLET STRUCTURE SHALL BE THE RESPONSIBILITY OF THE LOT OWNER'S OR HOME OWNER'S ASSOCIATION, THEIR SUCCESSORS OR ASSIGNS, AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEXAR COUNTY.

PLAT NO. 22-11800251

SUBDIVISION PLAT  
ESTABLISHING  
VALLE SOL UNIT 2

BEING 33.62 ACRES OF LAND, INCLUSIVE OF A 0.189 ACRE RIGHT OF WAY DEDICATION TO TxDOT, OUT OF A 138.080 ACRE TRACT OF LAND, OUT OF THE FRANCISCO RICARDO HERNANDEZ SURVEY NO. 6, ABSTRACT NO. 6, COUNTY BLOCK 4301, CONVEYED UNTO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., RECORDED IN DOCUMENT NO. 20230192523, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

SCALE: 1"=200'



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+ SURVEYING

11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM TBP# F-17992  
TBP#LS F-10194606

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER:  
LENNAR HOMES OF TEXAS LAND  
AND CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TX 78216

OWNER

BY: U.S. HOME LLC, A DELAWARE  
LIMITED LIABILITY COMPANY (AS  
SUCCESSOR-IN-INTEREST BY  
CONVERSION TO U.S. HOME  
CORPORATION, A DELAWARE  
CORPORATION), ITS GENERAL PARTNER

DULY AUTHORIZED AGENT  
NAME: RICHARD MOITZ  
TITLE: VICE PRESIDENT OF  
LAND DEVELOPMENT

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

KNOWN TO ME TO BE THE PERSON  
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND  
ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND  
CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_

DAY OF \_\_\_\_\_ A.D., \_\_\_\_\_

NOTARY PUBLIC BEXAR COUNTY, TEXAS

THIS PLAT OF VALLE SOL UNIT 2 HAS BEEN SUBMITTED  
TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN  
ANTONIO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION IN  
ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE  
ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., \_\_\_\_\_

BY: \_\_\_\_\_ CHAIRMAN

BY: \_\_\_\_\_ SECRETARY

January 2024 SHEET 4 OF 5

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

VALLE SOL UNIT 2 CURRENT PLAT  
SHEET 4

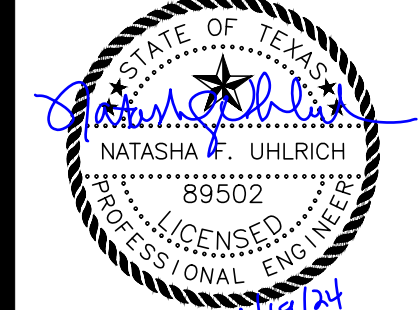
| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |

DESIGNED BY: JTS/TS  
DRAFTED BY: JTS  
CHECKED BY: NFUR/RR

SHEET  
C010

10 OF 65

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



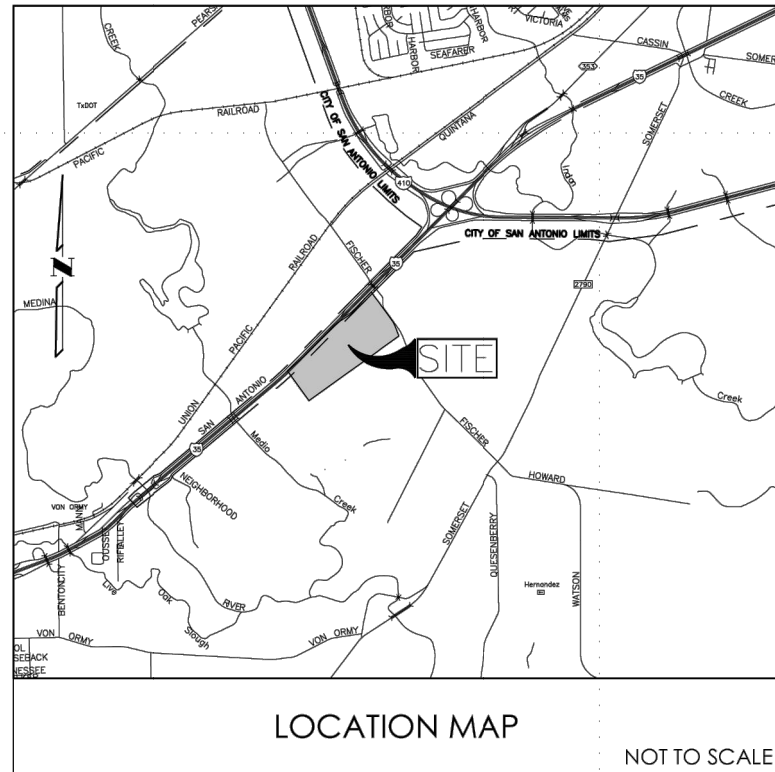
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LAST MODIFIED ON: January 19, 2024  
LAST PLOTTED ON: January 19, 2024  
PLOT TITLE: UP STD PENS C7B

U:\Projects\106 - Valle Sol Unit 2 - Valle Sol - Unit 2 Original\CAD\PLAT\Valle Sol Unit 2 Subdivision Plat.dwg 2/20/2024 11:22am Tjyler



#### LEGEND

- PLAT BOUNDARY
- ADJOINER BOUNDARY
- CENTERLINE
- FOUND 1/2" IRON PIN CONTROLLING MONUMENTATION
- IRON PIN SET
- E.G.T.C. = ELECTRIC, GAS, TELE, & CABLE TV
- D.P.R. = DEED AND PLAT RECORDS OF BEKAR COUNTY TEXAS
- O.P.R. = OFFICIAL PUBLIC RECORDS OF BEKAR COUNTY TEXAS
- N.C.B. = NEW CITY BLOCK
- 1234/56 = VOLUME/PAGE
- R.O.W. = RIGHT OF WAY
- BSL = BUILDING SETBACK LINE
- 6.16 — = EXISTING CONTOUR
- 6.16 — = PROPOSED CONTOUR
- — = EASEMENT

#### STORM WATER DETENTION NOTE:

1. STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY WITHIN THE BOUNDARY OF THIS PLAT. BUILDING PERMITS SHALL BE ISSUED ONLY IN CONJUNCTION WITH NECESSARY STORM WATER DETENTION APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. THE PROPERTY MAY BE ELIGIBLE TO POST A FEE IN LIEU OF DETENTION (FLO) IF OFFSITE DRAINAGE CONDITIONS ALLOW BUT ONLY WHEN APPROVED BY THE CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. MAINTENANCE OF ON-SITE STORM WATER DETENTION SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR THE PROPERTY OWNERS' ASSOCIATION AND ITS SUCCESSORS OR ASSIGNS AND IS NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEKAR COUNTY.

#### TREE NOTE:

1. THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP #2627568) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(5).

#### STATE OF TEXAS

COUNTY OF BEKAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

NATASHA F. UHLIRICH, P.E.  
LICENSED PROFESSIONAL ENGINEER  
TEXAS REGISTRATION NO. 89502

DATE

#### STATE OF TEXAS

COUNTY OF BEKAR

I HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY:

RICHARD L. NEUBAUER III, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 5897

DATE

#### CPS/SAWS/COSA UTILITY NOTES:

1. THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT", "WATER EASEMENT", "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

#### CPS/SAWS/COSA UTILITY NOTES:

1. ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.
1. WASTEWATER EDDU NOTE: THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.
2. SAWS HIGH PRESSURE NOTE: A PORTION OF THIS TRACT IS BELOW THE GROUND ELEVATION OF 805 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER IS REQUIRED TO INSTALL ON EACH LOT, ON THE CUSTOMER'S SIDE OF THE WATER METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.
3. IMPACT FEE NOTE: WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SEWER SERVICE CONNECTION.
4. THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.
5. FIRE FLOW NOTE: THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL, IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

#### FIRE ACCESS NOTE:

1. INGRESS AND EGRESS SHALL BE PROVIDED BETWEEN ALL ADJACENT LOTS FOR ADEQUATE FIRE DEPARTMENT ACCESS PER THE CITY OF SAN ANTONIO FIRE CODE. THE CROSS ALLEYS SHALL NOT BE BLOCKED NOR MAY THEY BE TAKEN OFF THE PLAT WITHOUT WRITTEN PERMISSION FROM THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

#### CLEAR VISION NOTE:

1. ALL ACCESS DRIVEWAYS AND INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION AREAS IN ACCORDANCE WITH UDC 35-506 (d)(5).
1. RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF 8 INCHES ABOVE FINISHED ADJACENT GRADE.

#### SURVEY NOTE:

1. BASIS OF BEARINGS IS THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 1983, SOUTH CENTRAL ZONE (4204). ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
2. NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT, AS VERIFIED BY FEMA FIRM PANELS 48020405F AND 48020404F, EFFECTIVE DATE OF 06/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

#### MAINTENANCE NOTE:

1. THE MAINTENANCE OF PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, INCLUDING LOTS 901-902, BLOCK 32, NCB 14569; LOT 903, BLOCK 25, NCB 14569 AND LOT 904, BLOCK 28, NCB 14569, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEKAR COUNTY.
1. NO STRUCTURES, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF T.O. OR PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEKAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

#### DRAINAGE NOTES:

1. NO STRUCTURES, FENCES, WALLS, OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF T.O. OR PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEKAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
2. THE MAINTENANCE OF THE DRAINAGE POND AND OUTLET STRUCTURE SHALL BE THE RESPONSIBILITY OF THE LOT OWNER'S OR HOME OWNER'S ASSOCIATION, THEIR SUCCESSORS OR ASSIGNS, AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEKAR COUNTY.

## PLAT NO. 22-11800251

### SUBDIVISION PLAT ESTABLISHING

#### VALLE SOL UNIT 2

BEING 33.62 ACRES OF LAND INCLUSIVE OF A 0.189 ACRE RIGHT OF WAY DEDICATION TO TxDOT, OUT OF A 135.080 ACRE TRACT OF LAND, OUT OF THE FRANCISCO RICARDO HERNANDEZ SURVEY NO. 6, ABSTRACT NO. 8, COUNTY BLOCK 4301, CONVEYED UNTO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., RECORDED IN DOCUMENT NO. 2023019253, OFFICIAL PUBLIC RECORDS OF BEKAR COUNTY, TEXAS.

SCALE: 1"=100'



## UP

ENGINEERING  
+ SURVEYING

11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216 TEL: 210-774-5504  
WWW.UPENGINEERING.COM TOLL FREE 1-774-5504  
TIBELS F-10194606

STATE OF TEXAS  
COUNTY OF BEKAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREIN SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

#### OWNER/DEVELOPER:

LENNAR HOMES OF TEXAS LAND  
AND CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TX 78216

OWNER

#### BY:

U.S. HOME LLC, A DELAWARE  
LIMITED LIABILITY COMPANY (AS  
SUCCESSOR-IN-INTEREST BY  
CONVERSION TO U.S. HOME  
CORPORATION, A DELAWARE  
CORPORATION), ITS GENERAL PARTNER

DULY AUTHORIZED AGENT

NAME: RICHARD MOTT  
TITLE: VICE PRESIDENT OF  
LAND DEVELOPMENT

#### STATE OF TEXAS

COUNTY OF BEKAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_

DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

NOTARY PUBLIC BEKAR COUNTY, TEXAS

#### THIS PLAT OF

VALLE SOL UNIT 2 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. \_\_\_\_\_

BY:

CHAIRMAN

BY:

SECRETARY

January 2024 SHEET 5 OF 5

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

VALLE SOL UNIT 2 CURRENT PLAT  
SHEET 5

UP  
ENGINEERING  
+ SURVEYING  
11903 JONES MALTSBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL: 210-774-5504  
WWW.UPENGINEERING.COM TOLL FREE 1-774-5504  
TIBELS F-10194606



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFURRP  |                                       |     |

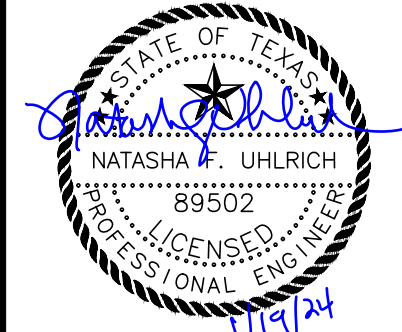
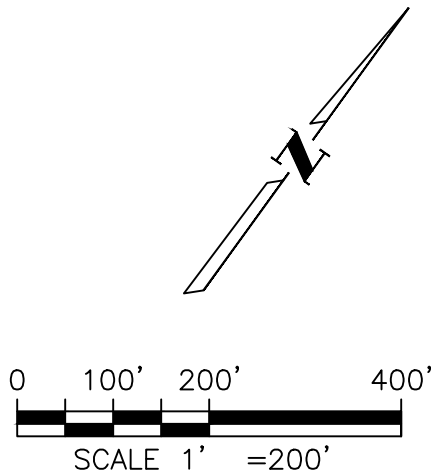
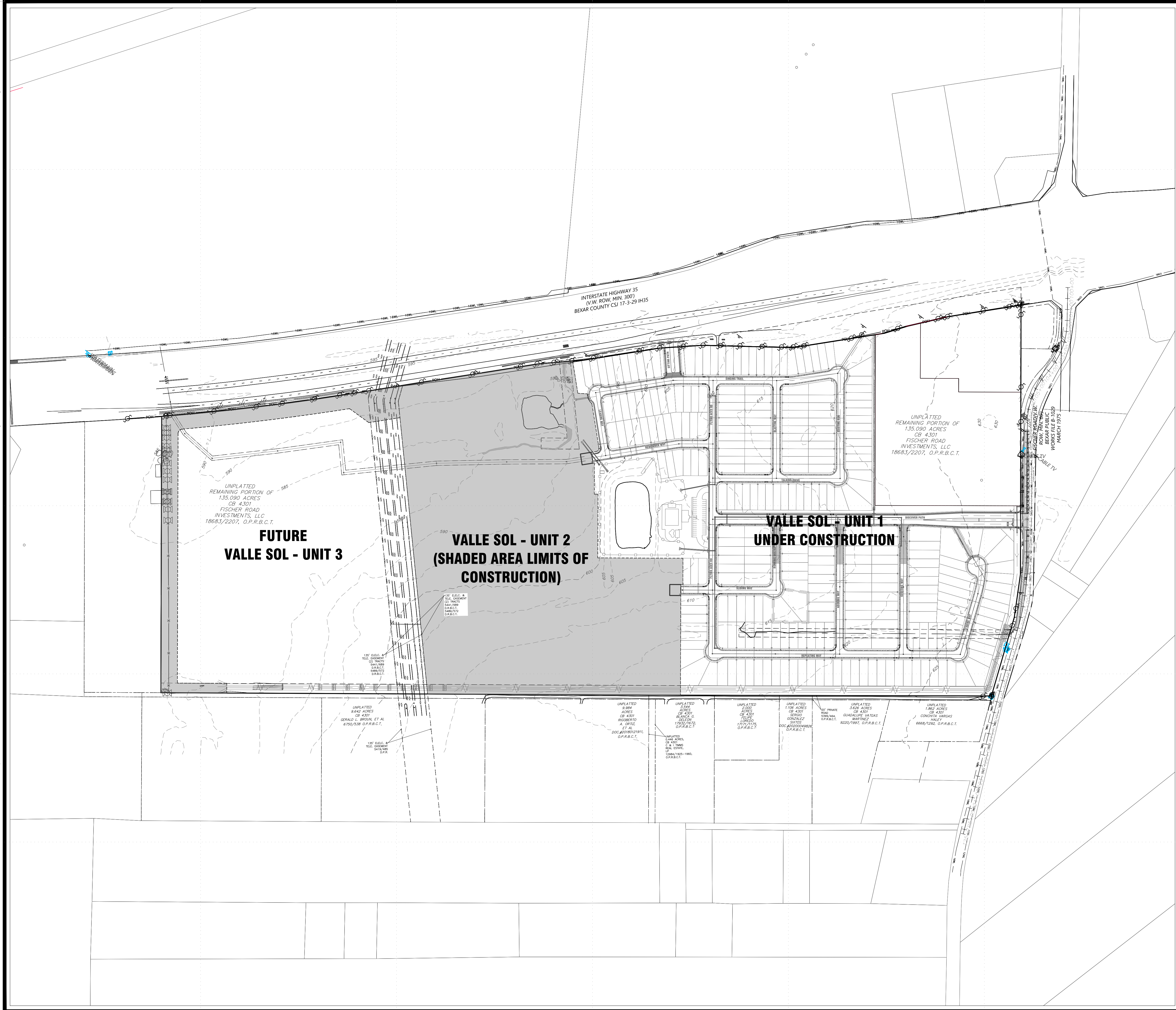
SHEET  
C011







FILE NAME: \\P:\PROJECTS\189 - VALLE SOL\189.2A - VALLE SOL - UNIT 2 PREDESIGN\CAD\SHETS\189.2 - C013 - EXISTING CONDITIONS.DWG  
LAST MODIFIED ON: January 16, 2024  
LAST MODIFIED BY: JCS  
PLOTTED ON: January 19, 2024  
PLOT TITLE: V13 DP PRODUCTION STANDARD C7B



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

EXISTING CONDITIONS  
OVERALL PROPERTY

| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFURRP  |                                       |     |

SHEET  
**C013**  
13 OF 65







FILE NAME: \\P:\PROJECTS\1896 - VALLE SOL\1896-2A - VALLE SOL - UNIT 2\EROSION & SEDIMENTATION CONTROL PLAN.DWG  
LAST MODIFIED ON: January 17, 2024  
LAST MODIFIED BY: JACOB  
PLOTTED ON: January 18, 2024  
PLOT STYLE: V18 (PLOT PRODUCTION STANDARD) CTE

6

5

4

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G

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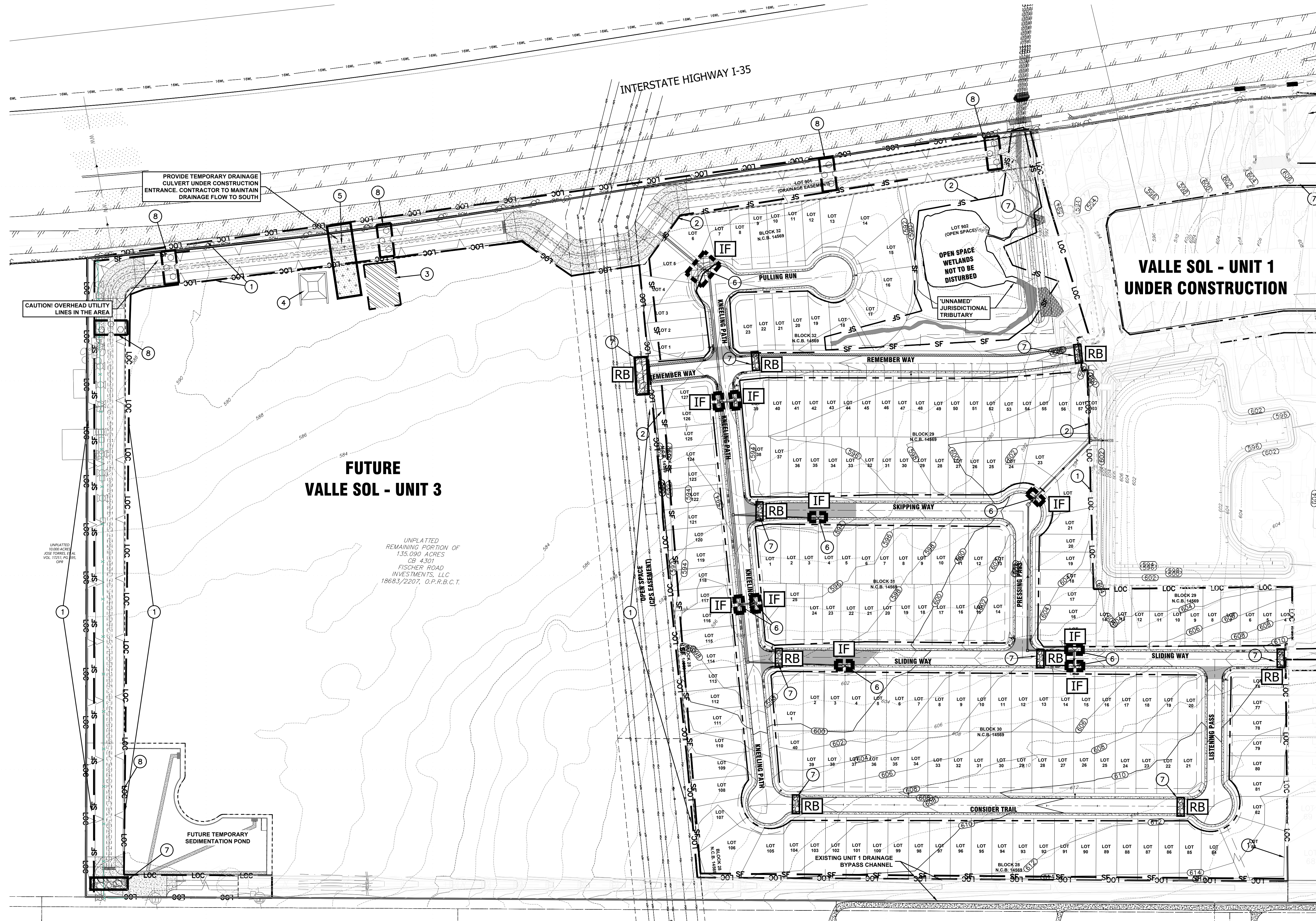
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### LEGEND

- BOUNDARY / RIGHT OF WAY
- EXIST. GRADE ELEVATIONS
- SF TEMPORARY SILT FENCE (PHASE 1)
- TEMPORARY SILT FENCE (PHASE 2)
- LOC LIMITS OF CONSTRUCTION / DISTURBANCE
- CHAIN LINK FENCE
- LIMITS OF TEMPORARY PARKING, STORAGE, SPOILS, AND STAGING AREA
- STABILIZED CONSTRUCTION ENTRANCE
- ROCK FILTER DAM
- CHECK DAM
- CONCRETE WASHOUT

### EROSION CONTROL MEASURES

|   |   |
|---|---|
| 1 | LIMITS OF CONSTRUCTION                                  |
| 2 | INSTALL SILT FENCE (REFERENCE SHEET C015)               |
| 3 | STAGING AREA  |
| 4 | CONCRETE WASHOUT PIT (REFERENCE SHEET C015)             |
| 5 | STABILIZED CONSTRUCTION ENTRANCE (REFERENCE SHEET C015) |
| 6 | INLET PROTECTION (REFERENCE SHEET C015) - IF            |
| 7 | ROCK FILTER DAM (REFERENCE SHEET C015) - RB             |
| 8 | CHECK DAM (REFERENCE SHEET C015)                        |

### NOTES:

- FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED (SEE NOTE #6).
- INSPECTOR HAS THE AUTHORITY TO ADD AND OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH CITY RULES AND REGULATIONS.
- THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE INTO EXISTING RIGHT-OF-WAY A MINIMUM OF ONCE PER DAY.
- CONTRACTOR TO INSTALL CHAIN LINK FENCE AT ALL POINTS WHERE SHOWN.
- ALL STORM WATER LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES MUST PASS THROUGH THE SILT FENCE OR ROCK BERMS.
- IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
- CONTRACTOR RESPONSIBLE FOR REMOVING TEMPORARY SEDIMENT CONTROLS ONCE CERTIFICATE OF OCCUPANCY OR COMPLETION HAS BEEN ISSUED.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL PROTECT AND MAINTAIN JURISDICTIONAL WATERS. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION OR FILLING IN A US CORPS OF ENGINEER DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER, AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- IF WATER IS ENCOUNTERED DURING CONSTRUCTION CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER. DEWATERING OPERATIONS SHALL CONFORM WITH SAWS ITEM NO. 804.
- SILT FENCE PHASE 1 INDICATES THE LOCATION OF SILT FENCE DURING THE CONSTRUCTION OF STREETS AND UTILITIES. SILT FENCE PHASE 2 INDICATES THE LOCATION OF SILT FENCE DURING THE CONSTRUCTION OF HOMES.
- MORE THAN 10 ACRES ARE TO BE DISTURBED, THEREFORE THE 2-YR 24-HR STORM EVENT SHALL BE TREATED/CAPTURED BY THE RESPECTIVE SEDIMENTATION POND AND ROCK FILTER DAMS.

| AREA DISTURBED (ACRES) | AREA UNDISTURBED (ACRES) | TOTAL AREA (ACRES) |
|------------------------|--------------------------|--------------------|
| 40.25                  | 0                        | 40.25              |

### SEQUENCE OF CONSTRUCTION ACTIVITIES

- INSTALLATION OF TEMPORARY BEST MANAGEMENT PRACTICES (40.25 ACRES)
- SITE CLEARING & DEMOLITION (40.25 ACRES)
- FINAL SITE GRADING (40.25 ACRES)

LENNAR HOMES OF TEXAS  
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SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

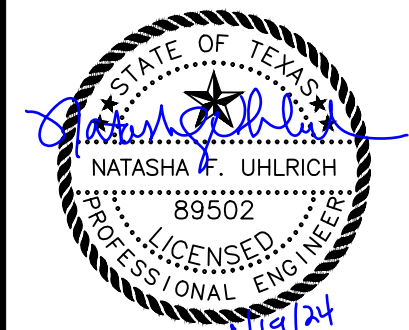
EROSION AND SEDIMENTATION  
CONTROL PLAN

DESIGNED BY: XXX  
DRAFTED BY: XXX  
CHECKED BY: XXX

SHEET

C015

15 OF 65

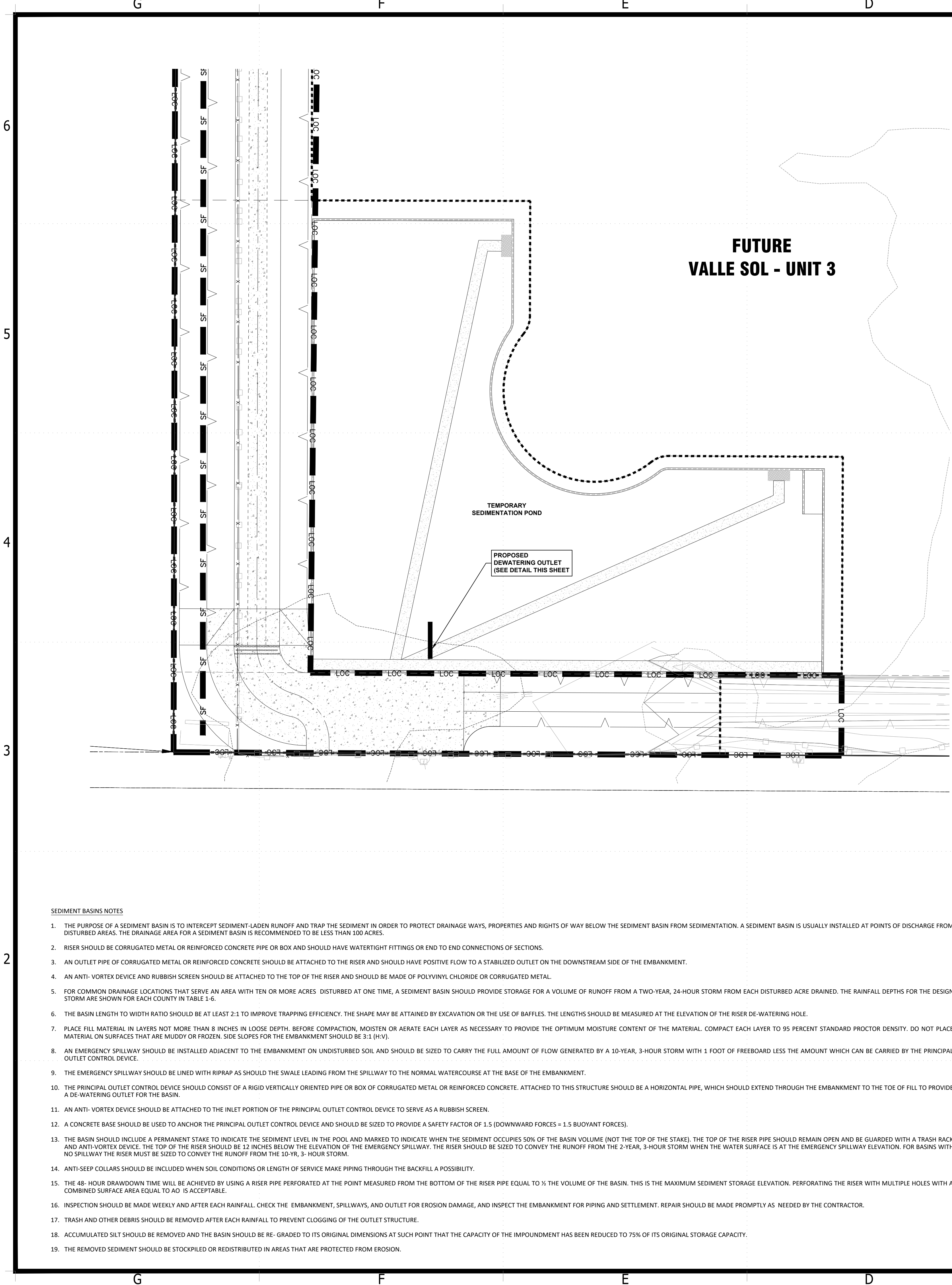


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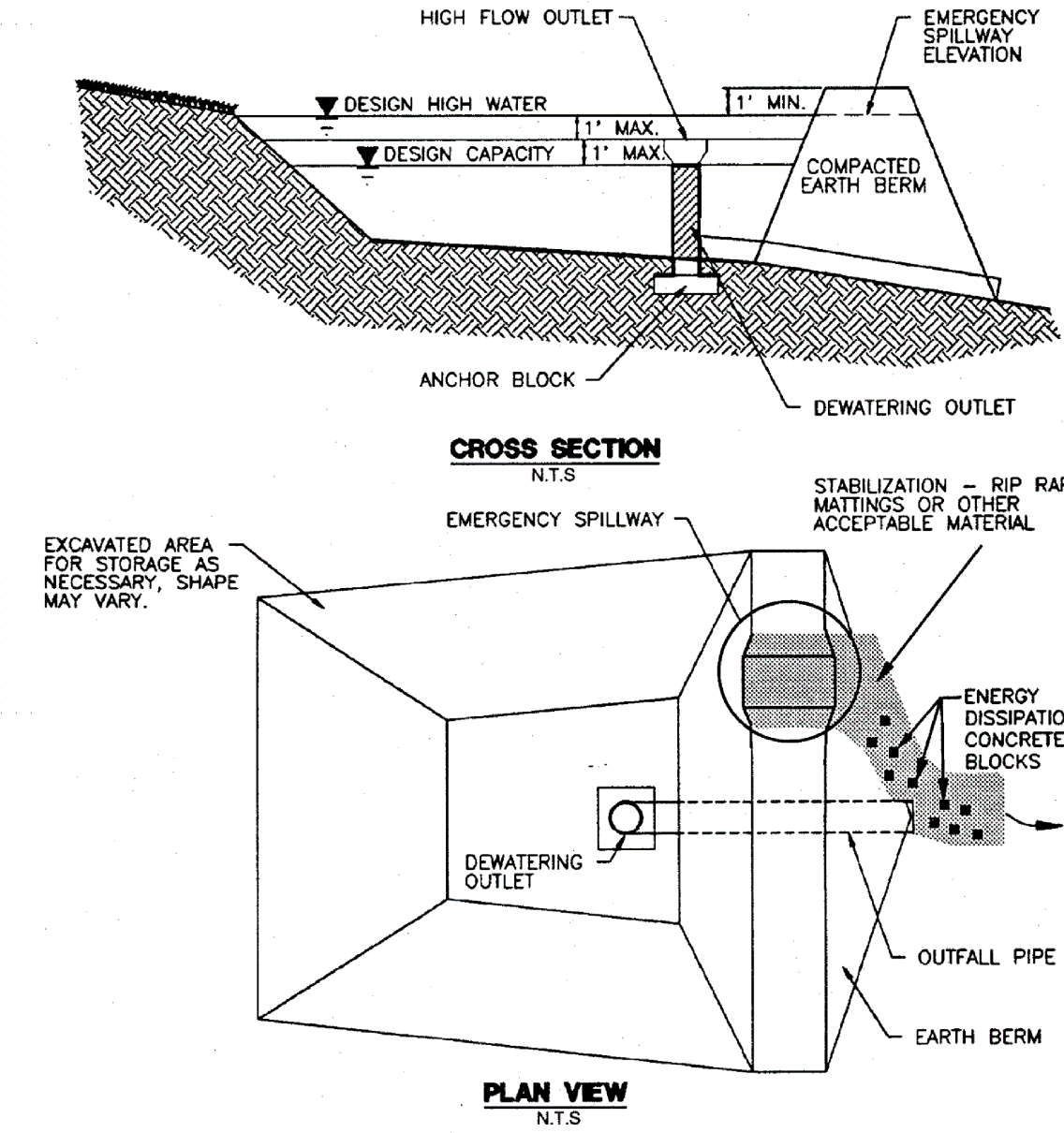








- SEDIMENT BASINS NOTES
1. THE PURPOSE OF A SEDIMENT BASIN IS TO INTERCEPT SEDIMENT-LADEN RUNOFF AND TRAP THE SEDIMENT IN ORDER TO PROTECT DRAINAGE WAYS, PROPERTIES AND RIGHTS OF WAY BELOW THE SEDIMENT BASIN FROM SEDIMENTATION. A SEDIMENT BASIN IS USUALLY INSTALLED AT POINTS OF DISCHARGE FROM DISTURBED AREAS. THE DRAINAGE AREA FOR A SEDIMENT BASIN IS RECOMMENDED TO BE LESS THAN 100 ACRES.
  2. RISER SHOULD BE CORRUGATED METAL OR REINFORCED CONCRETE PIPE OR BOX AND SHOULD HAVE WATERTIGHT FITTINGS OR END TO END CONNECTIONS OF SECTIONS.
  3. AN OUTLET PIPE OF CORRUGATED METAL OR REINFORCED CONCRETE SHOULD BE ATTACHED TO THE RISER AND SHOULD HAVE POSITIVE FLOW TO A STABILIZED OUTLET ON THE DOWNSTREAM SIDE OF THE EMBANKMENT.
  4. AN ANTI- VORTEX DEVICE AND RUBBISH SCREEN SHOULD BE ATTACHED TO THE TOP OF THE RISER AND SHOULD BE MADE OF POLYVINYL CHLORIDE OR CORRUGATED METAL.
  5. FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH TEN OR MORE ACRES' DISTURBED AT ONE TIME, A SEDIMENT BASIN SHOULD PROVIDE STORAGE FOR A VOLUME OF RUNOFF FROM A TWO-YEAR, 24-HOUR STORM FROM EACH DISTURBED ACRE DRAINED. THE RAINFALL DEPTHS FOR THE DESIGN STORM ARE SHOWN FOR EACH COUNTY IN TABLE 1-6.
  6. THE BASIN LENGTH TO WIDTH RATIO SHOULD BE AT LEAST 2:1 TO IMPROVE TRAPPING EFFICIENCY. THE SHAPE MAY BE ATTAINED BY EXCAVATION OR THE USE OF BAFFLES. THE LENGTHS SHOULD BE MEASURED AT THE ELEVATION OF THE RISER DE-WATERING HOLE.
  7. PLACE FILL MATERIAL IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE THE OPTIMUM MOISTURE CONTENT OF THE MATERIAL. COMPACT EACH LAYER TO 95 PERCENT STANDARD PROCTOR DENSITY. DO NOT PLACE MATERIAL ON SURFACES THAT ARE MUDDY OR FROZEN. SIDE SLOPES FOR THE EMBANKMENT SHOULD BE 3:1 (H:V).
  8. AN EMERGENCY SPILLWAY SHOULD BE INSTALLED ADJACENT TO THE EMBANKMENT ON UNDISTURBED SOIL AND SHOULD BE SIZED TO CARRY THE FULL AMOUNT OF FLOW GENERATED BY A 10-YEAR, 3-HOUR STORM WITH 1 FOOT OF FREEBOARD LESS THE AMOUNT WHICH CAN BE CARRIED BY THE PRINCIPAL OUTLET CONTROL DEVICE.
  9. THE EMERGENCY SPILLWAY SHOULD BE LINED WITH RIPRAP AS SHOULD THE SWALE LEADING FROM THE SPILLWAY TO THE NORMAL WATERCOURSE AT THE BASE OF THE EMBANKMENT.
  10. THE PRINCIPAL OUTLET CONTROL DEVICE SHOULD CONSIST OF A RIGID VERTICALLY ORIENTED PIPE OR BOX OF CORRUGATED METAL OR REINFORCED CONCRETE. ATTACHED TO THIS STRUCTURE SHOULD BE A HORIZONTAL PIPE, WHICH SHOULD EXTEND THROUGH THE EMBANKMENT TO THE TOE OF FILL TO PROVIDE A DE-WATERING OUTLET FOR THE BASIN.
  11. AN ANTI- VORTEX COLLARS SHOULD BE ATTACHED TO THE INLET PORTION OF THE PRINCIPAL OUTLET CONTROL DEVICE TO SERVE AS A RUBBISH SCREEN.
  12. A CONCRETE BASE SHOULD BE USED TO ANCHOR THE PRINCIPAL OUTLET CONTROL DEVICE AND SHOULD BE SIZED TO PROVIDE A SAFETY FACTOR OF 1.5 (DOWNWARD FORCES = 1.5 BOUYANT FORCES).
  13. THE BASIN SHOULD INCLUDE A PERMANENT STAKE TO INDICATE THE SEDIMENT LEVEL IN THE POOL AND MARKED TO INDICATE WHEN THE SEDIMENT OCCUPIES 50% OF THE BASIN VOLUME (NOT THE TOP OF THE STAKE). THE TOP OF THE RISER PIPE SHOULD REMAIN OPEN AND BE GUARDED WITH A TRASH RACK AND ANTI-VORTEX DEVICE. THE TOP OF THE RISER SHOULD BE 12 INCHES BELOW THE ELEVATION OF THE EMERGENCY SPILLWAY. THE RISER SHOULD BE SIZED TO CONVEY THE RUNOFF FROM THE 2-YEAR, 3-HOUR STORM WHEN THE WATER SURFACE IS AT THE EMERGENCY SPILLWAY ELEVATION. FOR BASINS WITH NO SPILLWAY THE RISER MUST BE SIZED TO CONVEY THE RUNOFF FROM THE 10-YR, 3- HOUR STORM.
  14. ANTI-SEEP COLLARS SHOULD BE INCLUDED WHEN SOIL CONDITIONS OR LENGTH OF SERVICE MAKE PIPING THROUGH THE BACKFILL A POSSIBILITY.
  15. THE 48- HOUR DRAWDOWN TIME WILL BE ACHIEVED BY USING A RISER PIPE PERFORATED AT THE POINT MEASURED FROM THE BOTTOM OF THE RISER PIPE EQUAL TO 1/3 THE VOLUME OF THE BASIN. THIS IS THE MAXIMUM SEDIMENT STORAGE ELEVATION. PERFORATING THE RISER WITH MULTIPLE HOLES WITH A COMBINED SURFACE AREA EQUAL TO AO IS ACCEPTABLE.
  16. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. REPAIR SHOULD BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
  17. TRASH AND OTHER DEBRIS SHOULD BE REMOVED AFTER EACH RAINFALL TO PREVENT CLOGGING OF THE OUTLET STRUCTURE.
  18. ACCUMULATED SILT SHOULD BE REMOVED AND THE BASIN SHOULD BE RE- GRADED TO ITS ORIGINAL DIMENSIONS AT SUCH POINT THAT THE CAPACITY OF THE IMPOUNDMENT HAS BEEN REDUCED TO 75% OF ITS ORIGINAL STORAGE CAPACITY.
  19. THE REMOVED SEDIMENT SHOULD BE STOCKPILED OR REDISTRIBUTED IN AREAS THAT ARE PROTECTED FROM EROSION.



| TEMPORARY SEDIMENTATION BASIN                     |  |                                 |                 |
|---|--|---------------------------------|-----------------|
| PROJECT NAME                                      |  | VALLE SOL UNIT 2                |                 |
| TOTAL PROJECT ACRES DISTURBED                     |  | 40.25                           | AC              |
| TOTAL PROJECT AREA SERVICES BY TEMPORARY          |  | 9.73                            | AC              |
| RAINFALL INFORMATION - SAN ANTONIO PA4 (ATLAS 14) |  |                                 |                 |
| 2-YR 24 HR STORM EVENT                            |  | 3.91                            | INCHES          |
| 10-YR 3 HR STORM EVENT                            |  | 4.07                            | INCHES          |
| TEMPORARY SEDIMENTATION BASIN VOLUME CALCULATIONS |  |                                 |                 |
| REQUIRED VOLUME FOR THE 2-YR 24 HR STORM EVENT    |  | 3.17                            | AC-FT           |
| REQUIRED VOLUME FOR THE 10-YR 3 HR STORM EVENT    |  | 3.30                            | AC-FT           |
| PROPOSED DETENTION POND SURFACE AREA              |  | 3.31                            | AC-FT           |
|   |  | 35,777.57                       | SF              |
|   |  | 0.82                            | AC              |
| REQUIRED DEPTH FOR THE 2-YR 24 HR STORM EVENT     |  | 3.86                            | FT              |
| REQUIRED DEPTH FOR THE 10-YR 3 HR STORM EVENT     |  | 4.02                            | FT              |
| CONCRETE BASE =1.5 BOUYANT FORCES                 |  |                                 |                 |
| $F_b = \rho gV$                                   |  | $\rho = 62.43 \text{ lb/cu ft}$ |                 |
|   |  | $v = 4.02 \text{ ft}^3$         |                 |
|   |  | $g = 32.17 \text{ ft/s}^2$      |                 |
|   |  | $F_b = 12,104.27$               | lbs             |
| BASIN BOTTOM ELEVATION                            |  | 580.30                          | FT              |
| BASIN DESIGN CAPACITY                             |  | 584.16                          | FT              |
| DESIGN HIGH WATER                                 |  | 584.32                          | FT              |
| ELEVATION OF EMERGECNY SPILL WAY                  |  | 584.32                          | FT              |
| RISER PIPE PERFORATION - AREA OF DEWATERING HOLE  |  |                                 |                 |
| $A_o = \frac{A_s \sqrt{2h}}{980,000 C_d}$         |  | $A_s = 35777.57 \text{ ft}^2$   |                 |
|   |  | $C_d = 0.60$                    |                 |
|   |  | $h = 4.02 \text{ ft}$           |                 |
|   |  | $A_o = 0.17$                    | FT <sup>2</sup> |

| LEGEND                   |   |
|--------------------------|---|
|                          | BOUNDARY / RIGHT OF WAY   |
|                          | EXIST. GRADE ELEVATIONS   |
|                          | TEMPORARY SILT FENCE PHASE 1                                    |
|                          | TEMPORARY SILT FENCE PHASE 2                                    |
|                          | LIMITS OF CONSTRUCTION / DISTURBANCE                            |
|                          | CHAIN LINK FENCE  |
|                          | LIMITS OF TEMPORARY PARKING, STORAGE, SPOILS, AND STAGING AREA. |
|                          | STABILIZED CONSTRUCTION ENTRANCE                                |
|                          | ROCK FILTER DAM   |
|                          | CONCRETE WASHOUT  |
| EROSION CONTROL MEASURES |   |
| 1                        | LIMITS OF CONSTRUCTION  |
| 2                        | INSTALL SILT FENCE (REFERENCE SHEET C015)                       |
| 3                        | STAGING AREA  |
| 4                        | CONCRETE WASHOUT PIT (REFERENCE SHEET C015)                     |
| 5                        | STABILIZED CONSTRUCTION ENTRANCE (REFERENCE SHEET C015)         |
| 6                        | INLET PROTECTION (REFERENCE SHEET C015)                         |
| 7                        | ROCK FILTER DAM (REFERENCE SHEET C015)                          |
| 8                        | CHECK DAM (REFERENCE SHEET C015)                                |

- NOTES:
1. FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED (SEE NOTE #6).
  2. INSPECTOR HAS THE AUTHORITY TO ADD AND OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH CITY RULES AND REGULATIONS.
  3. THE CONTRACTOR MAY NOT BLOCK, DIRECT, IMPEDE, OR REROUTE PEDESTRIAN AND VEHICULAR TRAFFIC, NOR PLACE A BARRICADE OR OTHER TRAFFIC CONTROL DEVICE IN A RIGHT-OF-WAY, WITHOUT FIRST OBTAINING A TEMPORARY USE OF RIGHT-OF-WAY PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
  4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS THAT ARE REQUIRED TO COMPLY WITH THE CITY CODE REGARDING EXCAVATION IN PUBLIC RIGHT-OF-WAY.
  5. CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE INTO EXISTING RIGHT-OF-WAY A MINIMUM OF ONCE PER DAY.
  6. CONTRACTOR TO INSTALL CHAIN LINK FENCE AT ALL POINTS WHERE SHOWN.
  7. ALL STORM WATER LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES MUST PASS THROUGH THE SILT FENCE OR ROCK BERMS.
  8. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
  9. CONTRACTOR RESPONSIBLE FOR REMOVING TEMPORARY SEDIMENT CONTROLS ONCE CERTIFICATE OF OCCUPANCY OR COMPLETION HAS BEEN ISSUED.
  10. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL PROTECT AND MAINTAIN JURISDICTIONAL WATERS. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION OR FILLING IN A US CORPS OF ENGINEER DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER, AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
  11. IF WATER IS ENCOUNTERED DURING CONSTRUCTION CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER. DEWATERING OPERATIONS SHALL CONFORM WITH SAWS ITEM NO. 804.
  12. SILT FENCE PHASE 1 INDICATES THE LOCATION OF SILT FENCE DURING THE CONSTRUCTION OF STREETS AND UTILITIES. SILT FENCE PHASE 2 INDICATES THE LOCATION OF SILT FENCE DURING THE CONSTRUCTION OF HOMES.
  13. MORE THAN 10 ACRES ARE TO BE DISTURBED, THEREFORE THE 2-YR 24-HR STORM EVENT SHALL BE TREATED/CAPTURED BY THE RESPECTIVE SEDIMENTATION POND AND ROCK FILTER DAMS.

| AREA DISTURBED (ACRES) | AREA UNDISTURBED (ACRES) | TOTAL AREA (ACRES) |
|------------------------|--------------------------|--------------------|
| 40.25                  | 0                        | 40.25              |

- SEQUENCE OF CONSTRUCTION ACTIVITIES
- \* INSTALLATION OF TEMPORARY BEST MANAGEMENT PRACTICES (40.25 ACRES)
  - \* SITE CLEARING & DEMOLITION (40.25 ACRES)
  - \* FINAL SITE GRADING (40.25 ACRES)



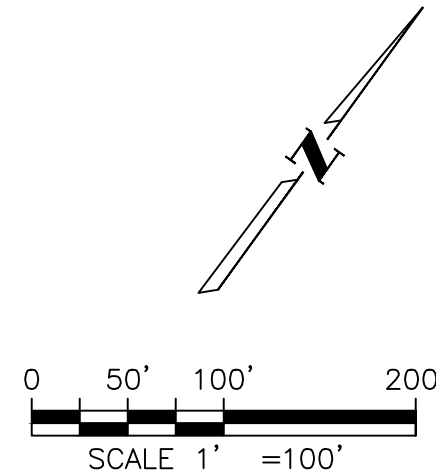
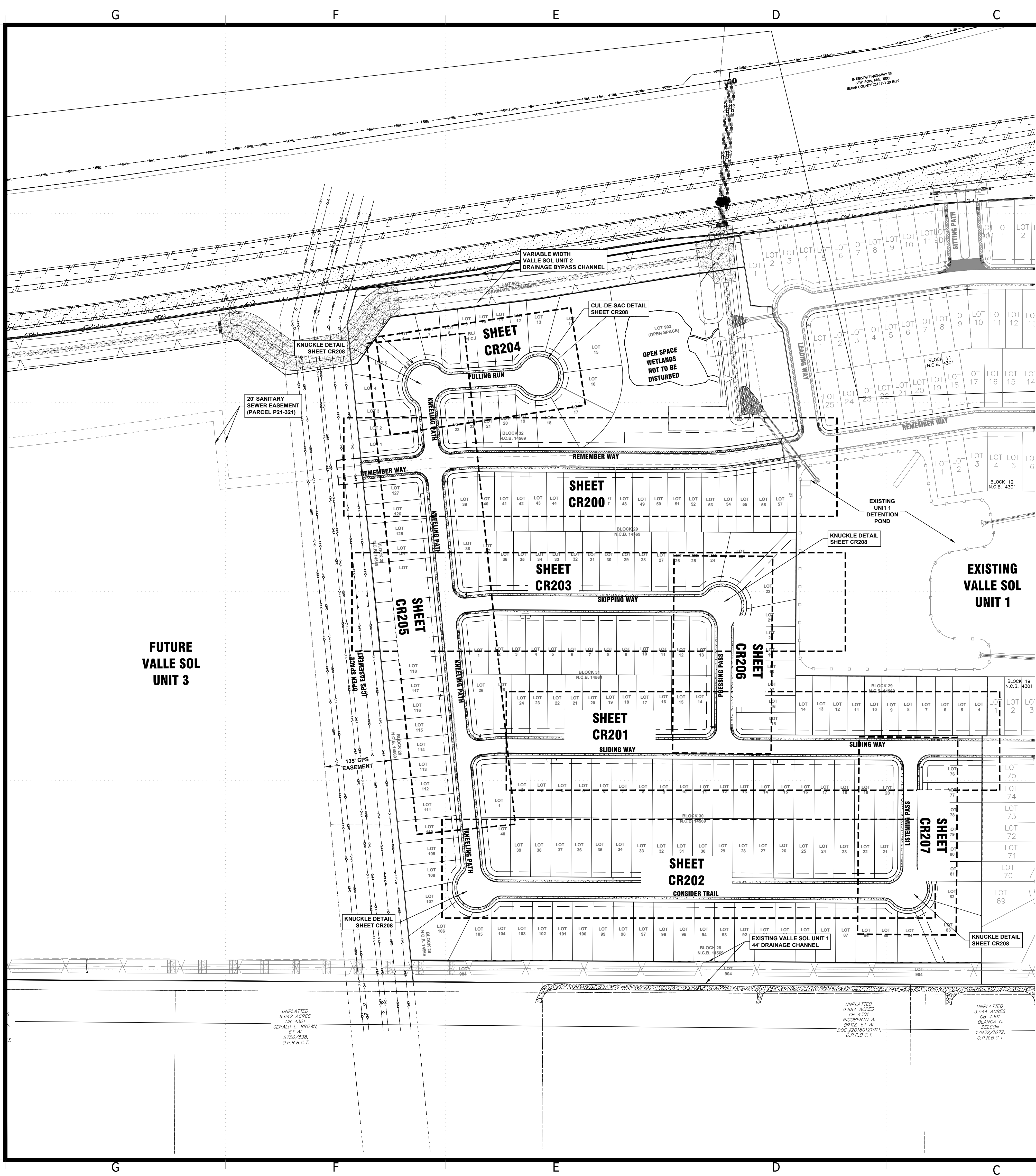
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
TEMP SEDIMENTATION POND

| REV          | DATE     | DESCRIPTION                           |
|--------------|----------|---------------------------------------|
| 1            | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| DESIGNED BY: | xxx      |                                       |
| DRAFTED BY:  | xxx      |                                       |
| CHECKED BY:  | xxx      |                                       |

SHEET  
**C017**  
xxx OF 65

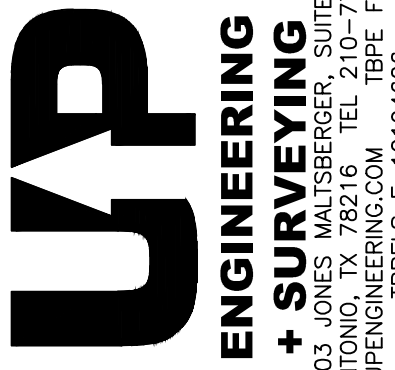




- LEGEND**
- BOUNDARY / RIGHT OF WAY
  - EASEMENT / SETBACK
  - CURB / EDGE OF PAVEMENT
  - EXIST. GRADE ELEVATIONS
  - PROP. GRADE ELEVATIONS
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING OVERHEAD UTILITIES
  - EXISTING UNDERGROUND ELECTRIC
  - EXISTING GAS LINE
  - PROPOSED DRAINAGE
  - PROPOSED WASTEWATER LINE
  - EXISTING WASTEWATER LINE
  - TC TOP OF CURB ELEVATION
  - G GUTTER ELEVATION
  - FL FLOW LINE ELEVATION
  - HP HIGH POINT ELEVATION
  - LP LOW POINT ELEVATION
  - ME MATCH EXISTING ELEVATION
  - ROW RIGHT OF WAY
  - FC FACE OF CURB
  - LT LEFT
  - RT RIGHT
  - WASHOUT CROWN
  - HANDICAP RAMP
  - SIDEWALK (HOME BUILDER'S RESPONSIBILITY)
  - SIDEWALK (DEVELOPER'S RESPONSIBILITY)
  - 95% COMPACTED FILL AREA
  - EXISTING UTILITY POLE
  - EXISTING SIGN
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER VALVE
  - PROPOSED CAP/PLUG
  - EXISTING WATER METER
  - PROPOSED WATER METER
  - EXISTING GUY WIRE
  - PROPOSED WASTEWATER MANHOLE
  - EXISTING WASTEWATER MANHOLE
  - PROPOSED DRAINAGE JUNCTION BOX
  - PROPOSED CURB INLET
  - PROPOSED 60" DRAINAGE MANHOLE
  - PROPOSED STREET LIGHT
  - PROPOSED WASTEWATER LATERAL
  - DIRECTION OF FLOW

- GENERAL STREET CONSTRUCTION NOTES**
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  - REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
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  - REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  - REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  - REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
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PLAT NO. 22-11800251

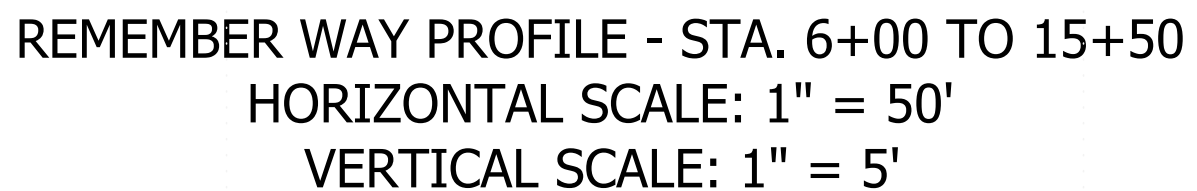
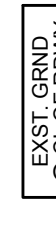
OVERALL STREETS

| REV | DATE     | DESCRIPTION                           | BY  |
|-----|----------|---------------------------------------|-----|
| 1   | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

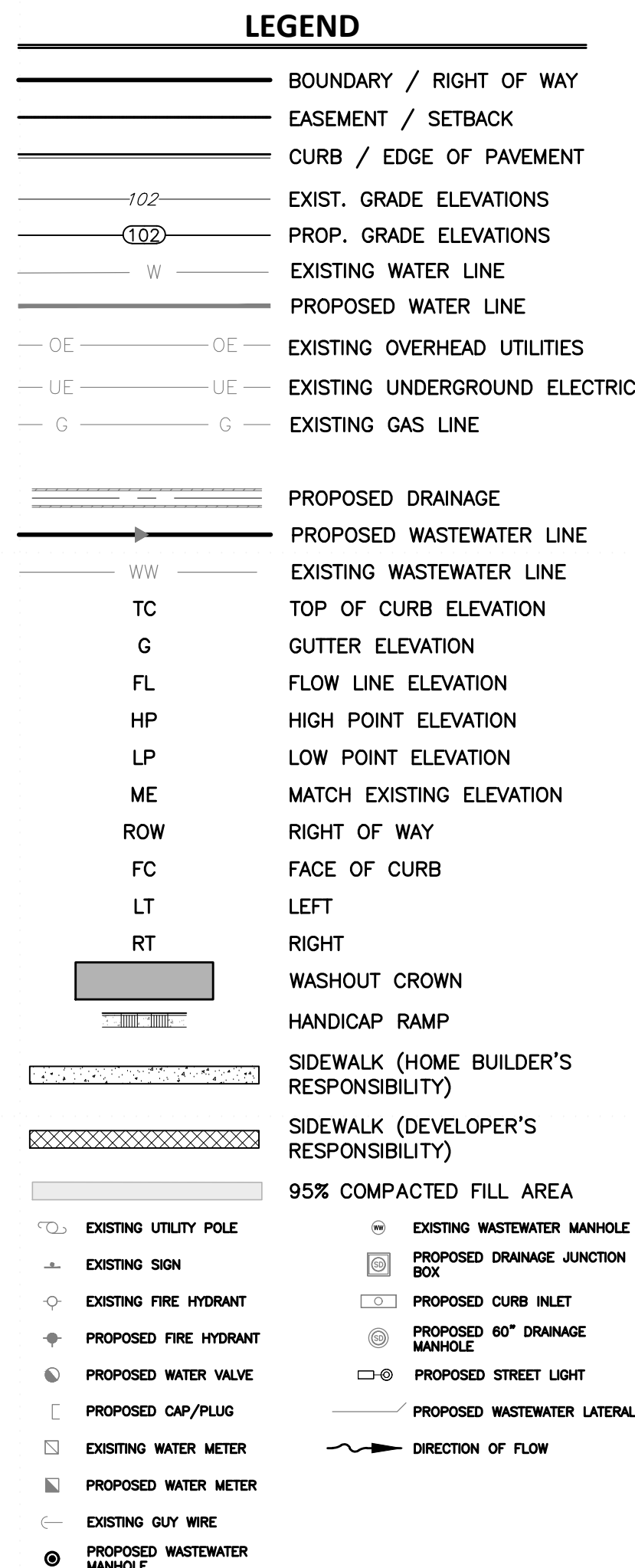
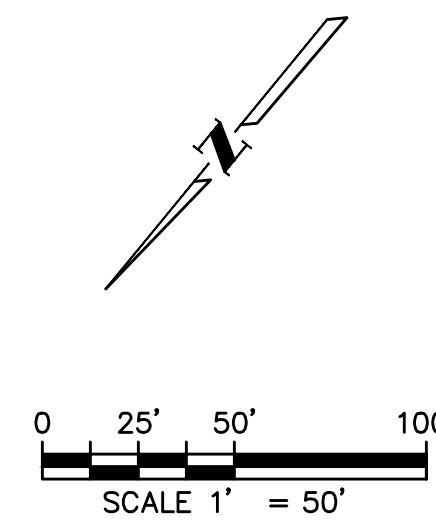
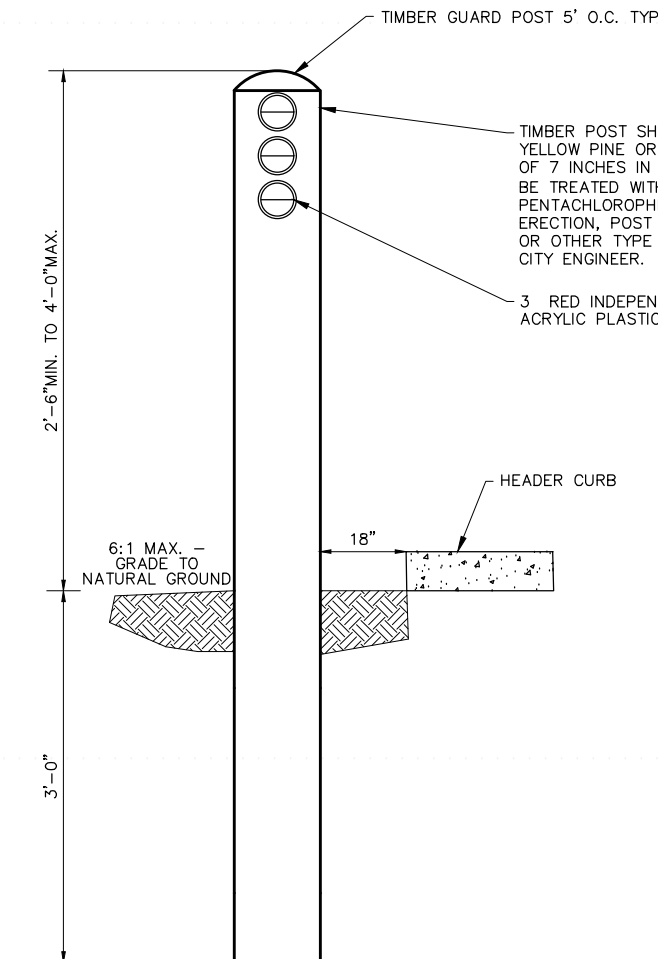
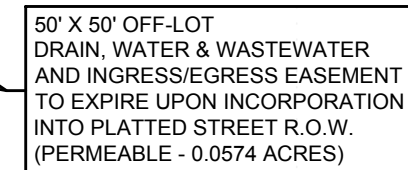
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DRAFTED BY: JOS  
CHECKED BY: NFU/RRP

SHEET  
**CR100**  
18 OF 75



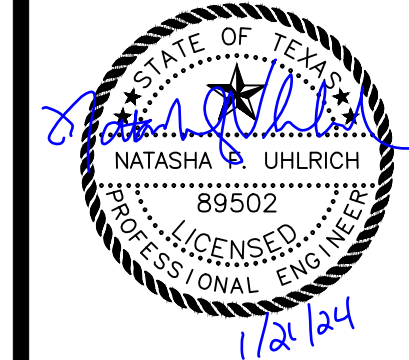


| Curve Table: Alignments |        |        |                  |                           |                           |
|-------------------------|--------|--------|------------------|---------------------------|---------------------------|
| Curve #                 | Radius | Length | Chord Direction  | Start Point               | End Point                 |
| C9                      | 500.00 | 81.37  | S49° 37' 07.77"W | (2089577.54, 13658360.27) | (2089515.62, 13658307.61) |
| C10                     | 500.00 | 52.37  | S51° 16' 50.27"W | (2089159.26, 13658051.36) | (2089116.42, 13658018.62) |



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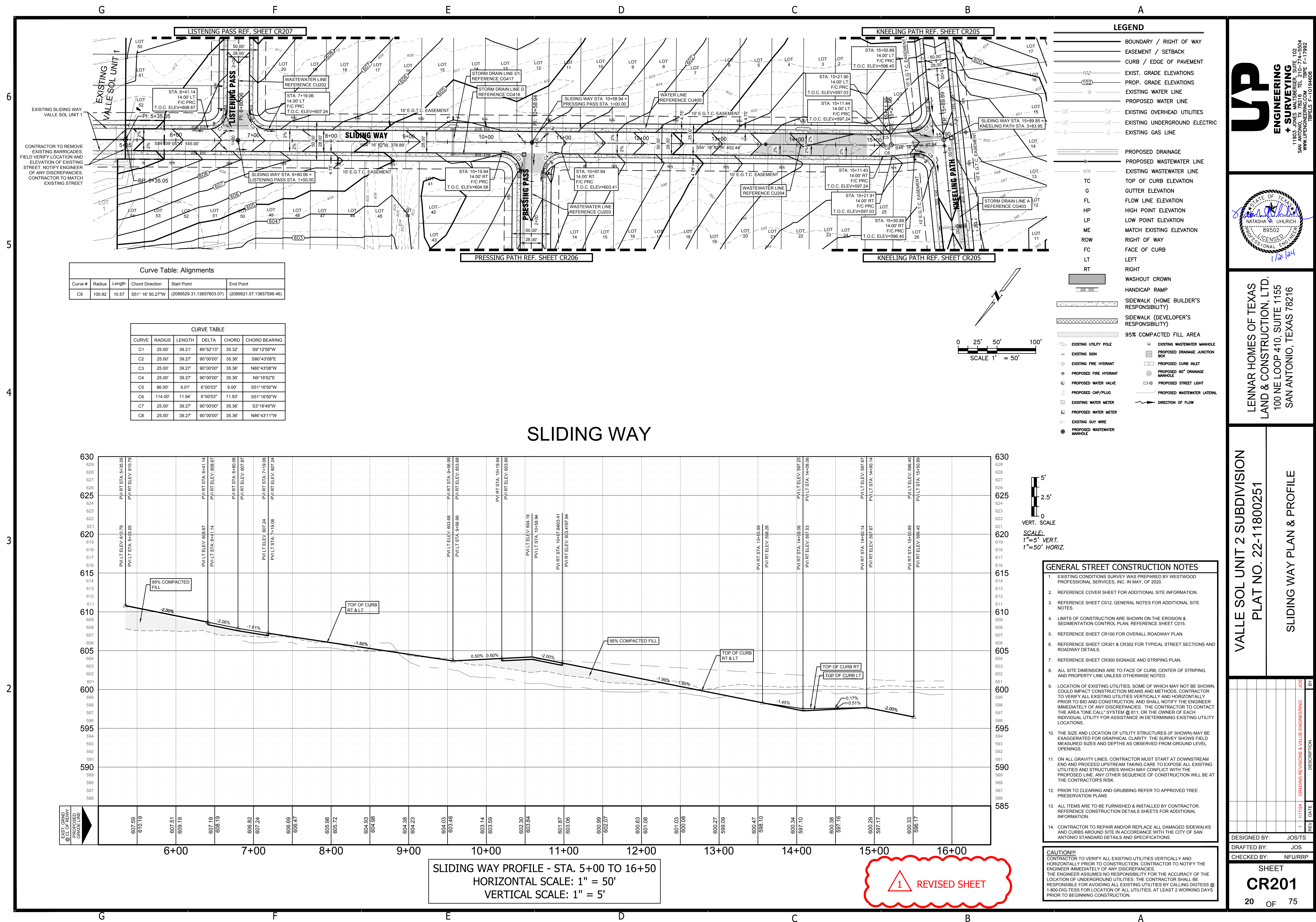
REMEMBER WAY PLAN & PROFILE

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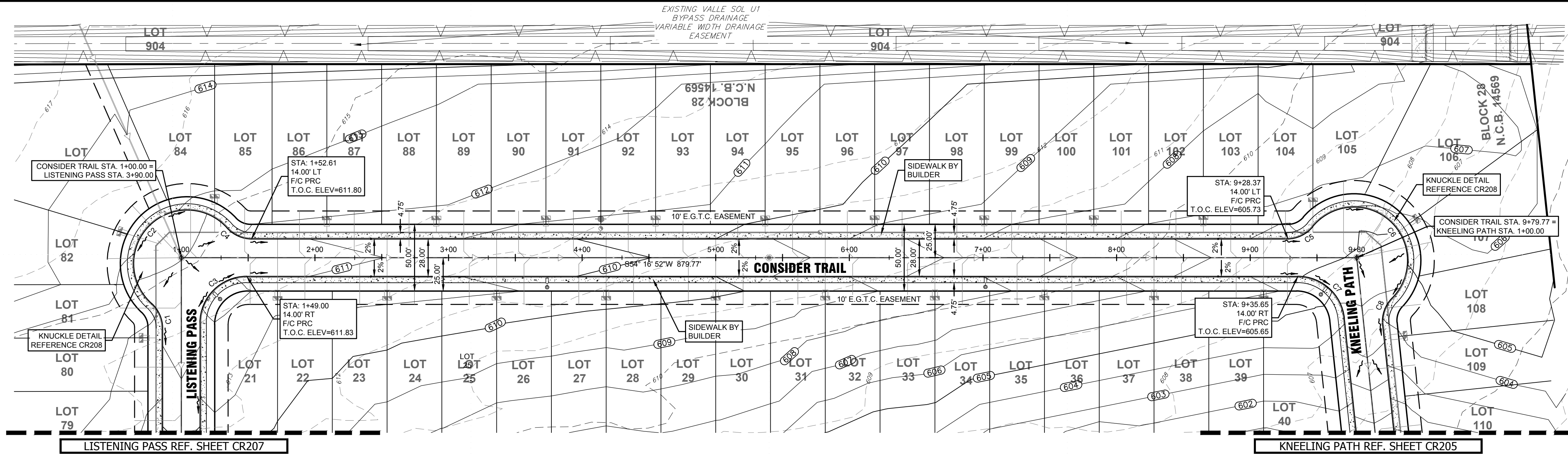
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SAN ANTONIO, TX 78216 TEL 210-774-5504  
[WWW.IPEENGINEERING.COM](http://WWW.IPEENGINEERING.COM) TDD F-17892



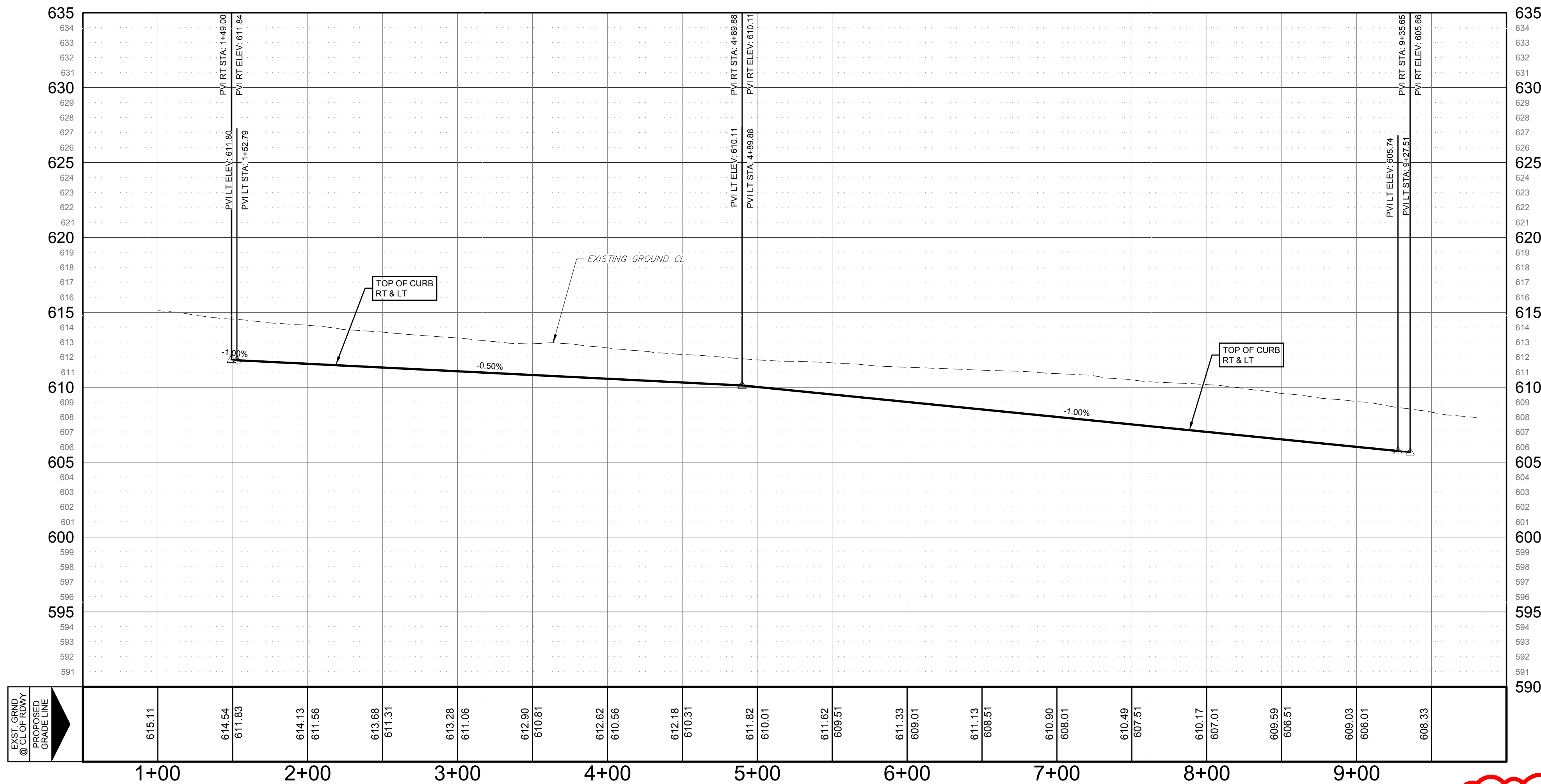






| CURVE TABLE |        |         |            |        |               |
|-------------|--------|---------|------------|--------|---------------|
| CURVE       | RADIUS | LENGTH  | DELTA      | CHORD  | CHORD BEARING |
| C1          | 25.00' | 20.97'  | 48°02'56"  | 20.36' | S89°44'36"E   |
| C2          | 40.00' | 129.92' | 186°05'52" | 79.89' | N0°16'52"E    |
| C3          | 35.00' | 54.98'  | 90°00'00"  | 49.50' | S9°16'52"W    |
| C4          | 25.00' | 20.97'  | 48°02'56"  | 20.36' | S78°18'20"W   |
| C5          | 25.00' | 22.12'  | 50°41'11"  | 21.40' | S28°56'16"W   |
| C6          | 40.00' | 129.41' | 185°22'20" | 79.91' | S83°43'10"E   |
| C7          | 35.00' | 51.31'  | 83°59'57"  | 46.84' | N83°43'10"W   |
| C8          | 25.00' | 22.12'  | 50°41'11"  | 21.40' | N16°22'35"W   |

## CONSIDER TRAIL



CONSIDER TRAIL PROFILE - STA. 0+50 TO 10+00  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

**LEGEND**

BOUNDARY / RIGHT OF WAY

EASEMENT / SETBACK

CURB / EDGE OF PAVEMENT

EXIST. GRADE ELEVATIONS

PROP. GRADE ELEVATIONS

EXISTING WATER LINE

PROPOSED WATER LINE

EXISTING OVERHEAD UTILITIES

EXISTING UNDERGROUND ELECTRIC

EXISTING GAS LINE

PROPOSED DRAINAGE

PROPOSED WASTEWATER LINE

EXISTING WASTEWATER LINE

TC

G

FL

HP

LP

ME

ROW

FC

LT

RT

WASHOUT CROWN

HANDICAP RAMP

SIDEWALK (HOME BUILDER'S RESPONSIBILITY)

SIDEWALK (DEVELOPER'S RESPONSIBILITY)

95% COMPACTED FILL AREA

EXISTING UTILITY POLE

EXISTING SIGN

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

PROPOSED CAP/PLUG

EXISTING WATER METER

PROPOSED WATER METER

EXISTING GUY WIRE

PROPOSED WASTEWATER MANHOLE

EXISTING WASTEWATER MANHOLE

PROPOSED DRAINAGE JUNCTION BOX

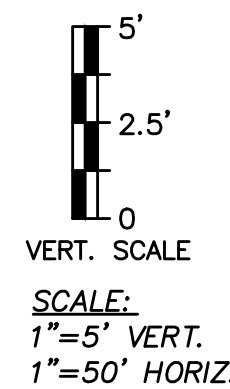
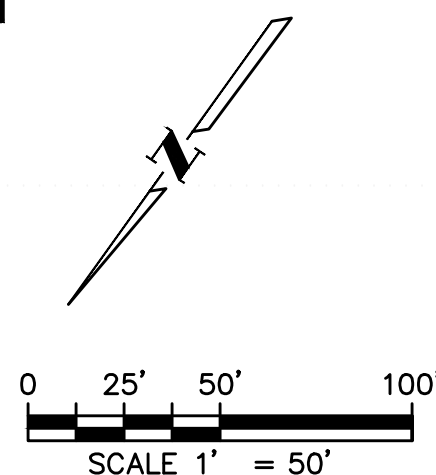
PROPOSED CURB INLET

PROPOSED 60" DRAINAGE MANHOLE

PROPOSED STREET LIGHT

PROPOSED WASTEWATER LATERAL

DIRECTION OF FLOW



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**UP**

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11903 JONES VALLEY, SUITE 102  
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WWW.UPENGINEERING.COM  
TEL 210-771-5504  
FAX 210-771-1792

STATE OF TEXAS  
NATASHA G. UHLRICH  
89502  
LICENSED PROFESSIONAL ENGINEER  
1/2/24

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100 NE LOOP 410, SUITE 1155  
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VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

CONSIDER TRAIL PLAN & PROFILE

1 1/17/24 GRADING REVISIONS & VALUE ENGINEERING

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DESIGNED BY: JOS/ITS

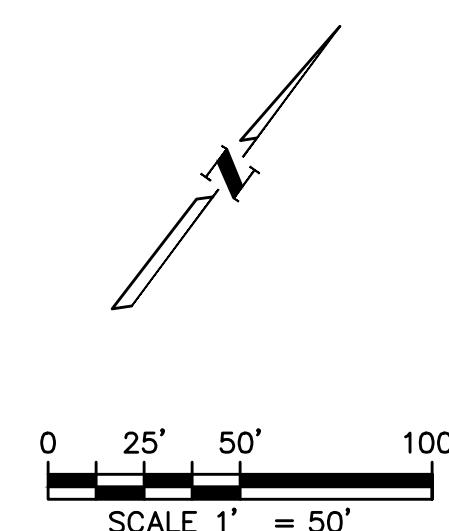
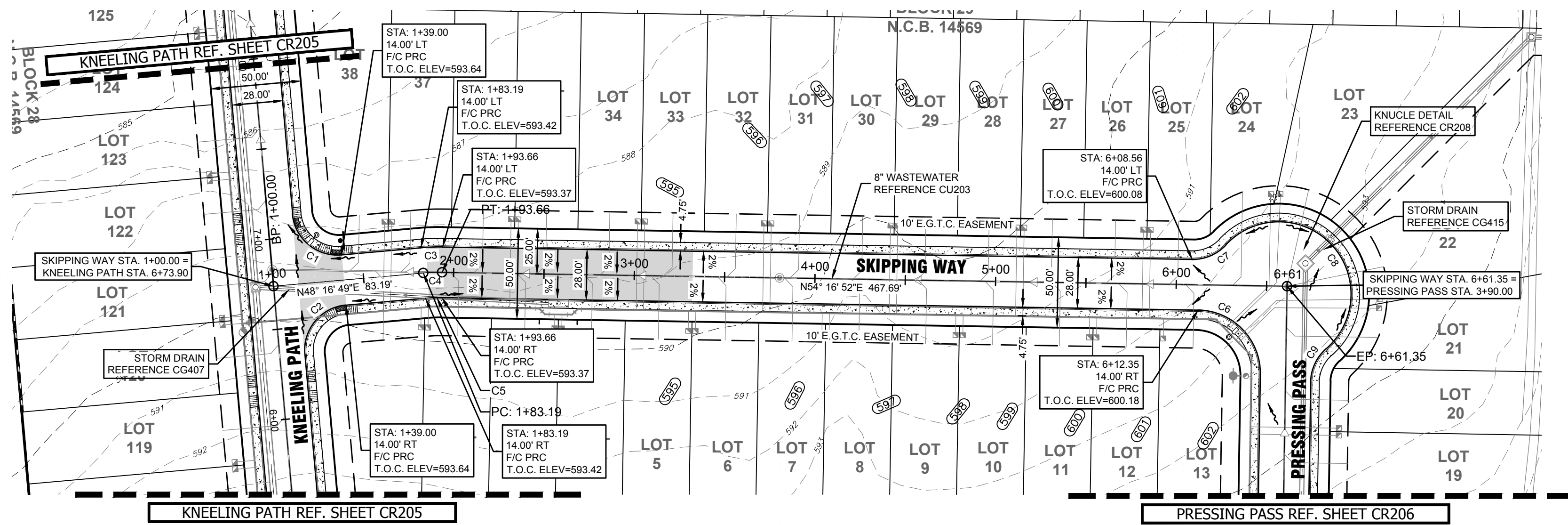
DRAFTED BY: JOS

CHECKED BY: NFU/RRP

SHEET  
**CR202**  
21 OF 75

FILE NAME: I:\PROJECTS\198 - VALLE SOL\198-2A - VALLE SOL - UNIT 2 REDISSA\ACAD\SHETS\198-2 - CR202 CONSIDER TRAIL P&P.DWG  
LAST MODIFIED ON: January 19, 2024  
LAST PLOTTED ON: January 20, 2024  
PLOT SCALE: 1" = 50' HORIZ.  
PLOT SCALE: 1" = 5' VERT.

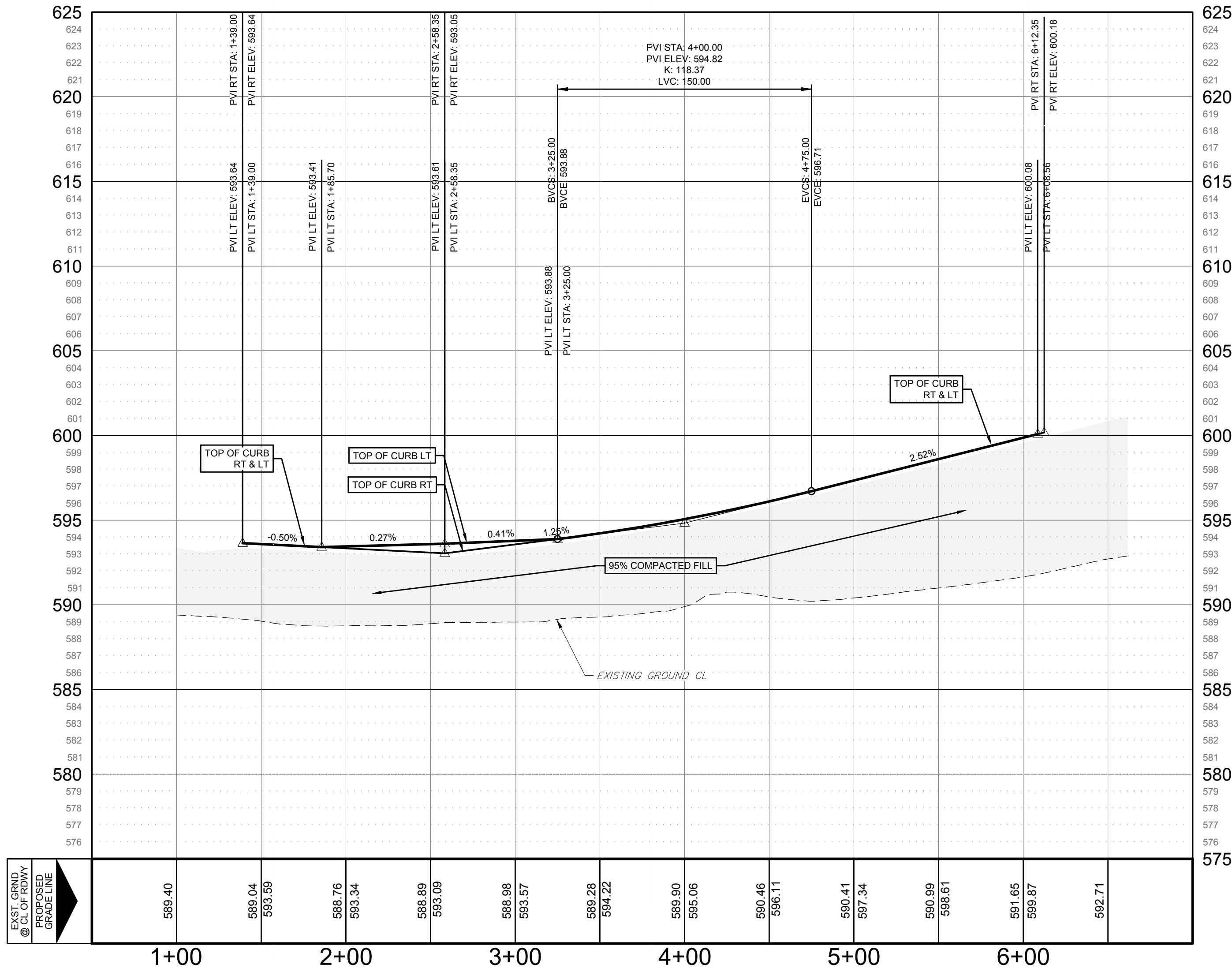




| CURVE TABLE |        |         |            |        |
|-------------|--------|---------|------------|--------|
| CURVE       | RADIUS | LENGTH  | DELTA      | CHORD  |
| C1          | 25.00' | 39.27'  | 90°00'00"  | 35.36' |
| C2          | 25.00' | 39.27'  | 90°00'00"  | 35.36' |
| C5          | 86.00' | 9.01'   | 6°00'03"   | 9.00'  |
| C6          | 35.00' | 54.98'  | 90°00'00"  | 49.50' |
| C7          | 25.00' | 20.97'  | 48°02'56"  | 20.36' |
| C8          | 40.00' | 129.92' | 186°05'52" | 79.89' |

| Curve Table: Alignments |         |        |                 |                           |
|-------------------------|---------|--------|-----------------|---------------------------|
| Curve #                 | Radius  | Length | Chord Direction | Start Point               |
| C4                      | 100.00' | 10.47' | N51°16'50.27"E  | (2089339.46, 13657823.07) |
|                         |         |        |                 | (2089347.63, 13657829.62) |

SKIPPING WAY



SKIPPING WAY PROFILE - STA. 0+50 TO 7+00  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

**LEGEND**

BOUNDARY / RIGHT OF WAY  
EASEMENT / SETBACK  
CURB / EDGE OF PAVEMENT  
EXIST. GRADE ELEVATIONS  
PROP. GRADE ELEVATIONS  
EXISTING WATER LINE  
PROPOSED WATER LINE  
EXISTING OVERHEAD UTILITIES  
EXISTING UNDERGROUND ELECTRIC  
EXISTING GAS LINE

PROPOSED DRAINAGE  
PROPOSED WASTEWATER LINE  
EXISTING WASTEWATER LINE  
TOP OF CURB ELEVATION  
GUTTER ELEVATION  
FLOW LINE ELEVATION  
HIGH POINT ELEVATION  
LOW POINT ELEVATION  
MATCH EXISTING ELEVATION  
RIGHT OF WAY  
FACE OF CURB  
LEFT  
RIGHT  
WASHOUT CROWN  
HANDICAP RAMP  
SIDEWALK (HOME BUILDER'S RESPONSIBILITY)  
SIDEWALK (DEVELOPER'S RESPONSIBILITY)  
95% COMPACTED FILL AREA

EXISTING UTILITY POLE  
EXISTING SIGN  
EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
PROPOSED WATER VALVE  
PROPOSED CAP/PLUG  
EXISTING WATER METER  
PROPOSED WATER METER  
EXISTING GUY WIRE  
PROPOSED WASTEWATER MANHOLE  
EXISTING WASTEWATER MANHOLE  
PROPOSED DRAINAGE JUNCTION BOX  
PROPOSED CURB INLET  
PROPOSED 60" DRAINAGE MANHOLE  
PROPOSED STREET LIGHT  
PROPOSED WASTEWATER LATERAL  
DIRECTION OF FLOW

- GENERAL STREET CONSTRUCTION NOTES**
- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
  - REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
  - REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
  - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
  - REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  - REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  - REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
  - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
  - LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
  - THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
  - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
  - PRIOR TO CLEARING AND GRUBBING REFER TO APPROVED TREE PRESERVATION PLANS.
  - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.

**CAUTION!!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTRESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

1 REVISED SHEET

**ENGINEERING + SURVEYING**  
11903 JONES MALIBESKER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.WESTWOODPROFESSIONALSERVICES.COM  
TBEELS E-10194606

STATE OF TEXAS  
NATASHA G. UHLRICH  
89502  
LICENSED PROFESSIONAL ENGINEER  
1/2/24

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

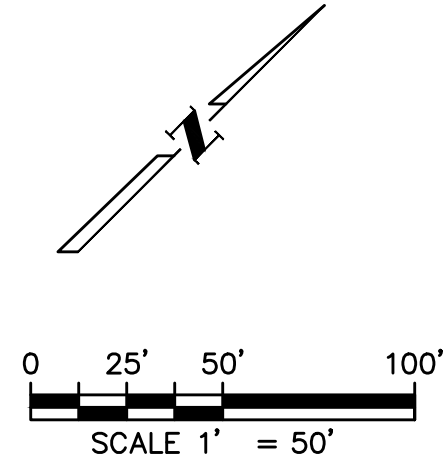
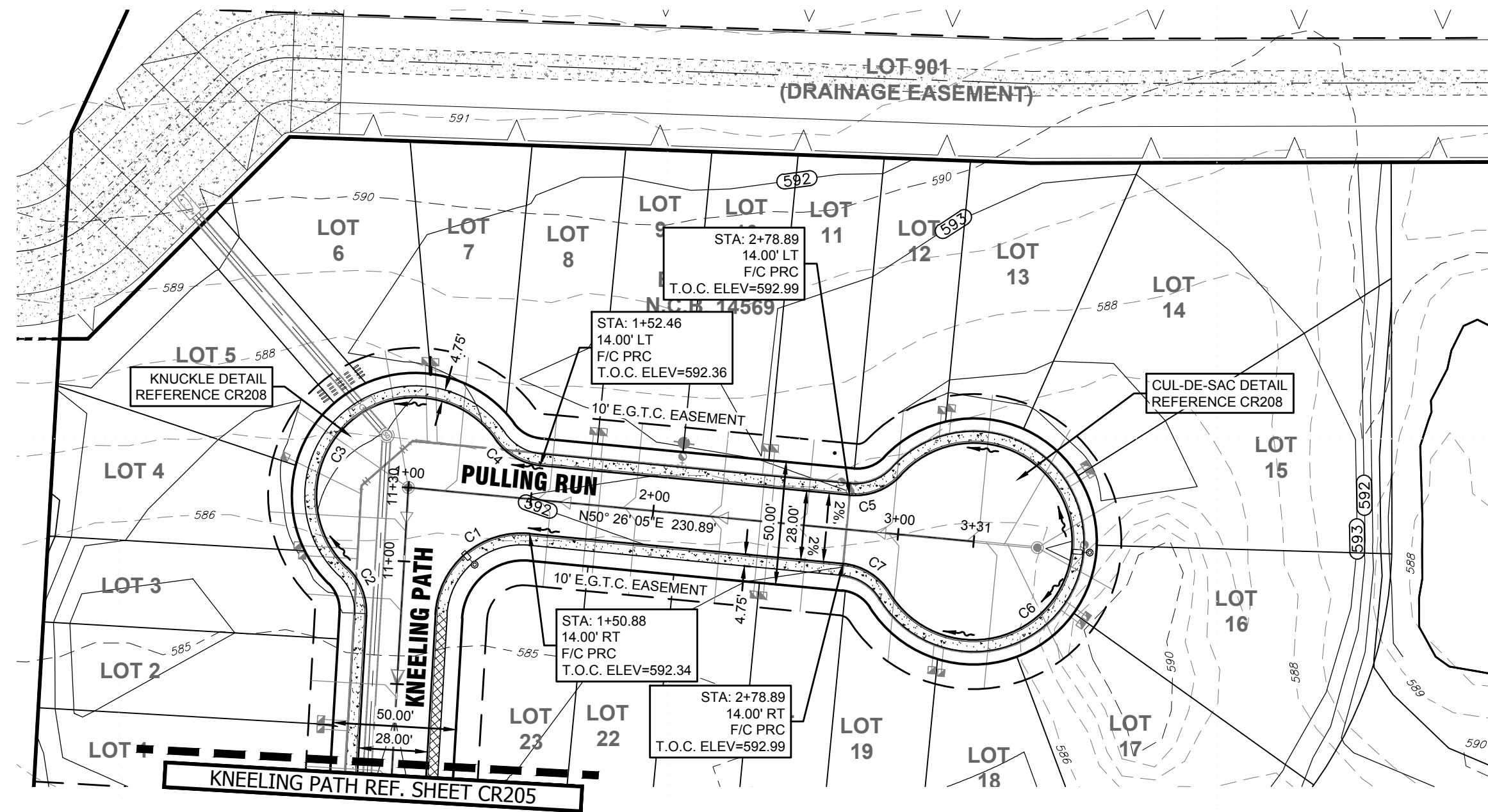
SKIPPING WAY PLAN & PROFILE

|              |        |
|--------------|--------|
| DESIGNED BY: | JOS/TS |
| DRAFTED BY:  | JOS    |
| CHECKED BY:  | NFURRP |
| SHEET        | CR203  |
| 22           | OF 75  |

FILE NAME: I:\PROJECTS\1186 - VALLE SOL\1186-2A - VALLE SOL - UNIT 2 DESIGN\ACAD\DWG\1186-2 - CR03 SKIPPING WAY.PWP.DWG  
LAST MODIFIED ON: 1/2/24  
PLOT DATE: 1/2/24  
PLOT STYLE: UP STD PENS.CTB



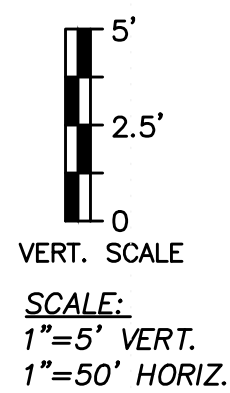
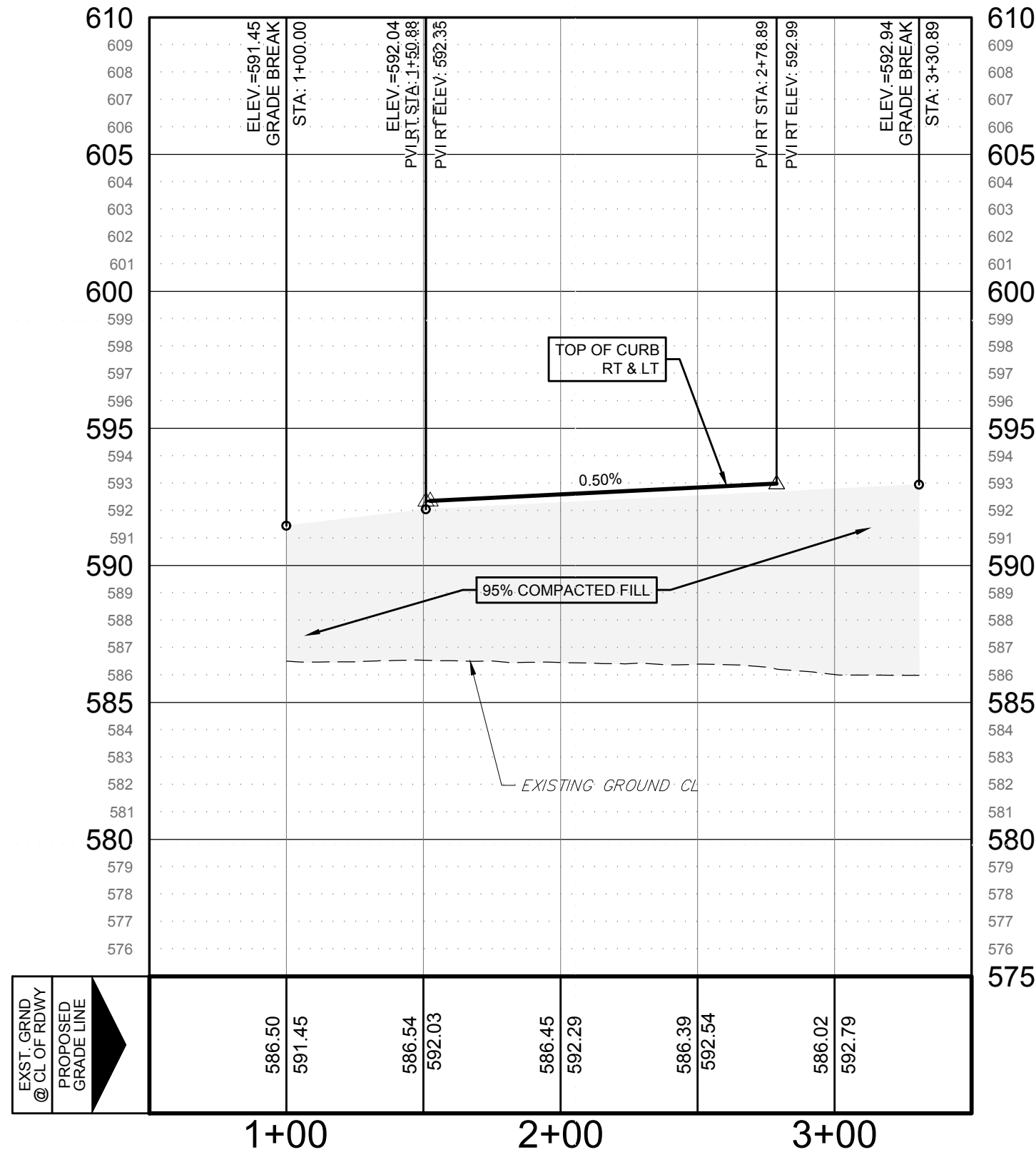
FILE NAME: I:\PROJECTS\18186 - VALLE SOL - UNIT 2 REDSIGN\A02\CR205.DWG  
LAST MODIFIED ON: 1/17/24  
DRAWN BY: JTS  
CHECKED BY: JTS  
PLOT DATE: 1/17/24  
PLOT STYLE: UP STD PENS.CTB



| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | TOP OF CURB ELEVATION                    |
|        | GUTTER ELEVATION                         |
|        | FLOW LINE ELEVATION                      |
|        | HIGH POINT ELEVATION                     |
|        | LOW POINT ELEVATION                      |
|        | MATCH EXISTING ELEVATION                 |
|        | RIGHT OF WAY                             |
|        | FACE OF CURB                             |
|        | LEFT                                     |
|        | RIGHT                                    |
|        | WASHOUT CROWN                            |
|        | HANDICAP RAMP                            |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | 95% COMPACTED FILL AREA                  |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING SIGN                            |
|        | EXISTING FIRE HYDRANT                    |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED CAP/PLUG                        |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION BOX           |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60" DRAINAGE MANHOLE            |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |
|        | DIRECTION OF FLOW                        |

| CURVE TABLE |        |         |            |        |               |
|-------------|--------|---------|------------|--------|---------------|
| CURVE       | RADIUS | LENGTH  | DELTA      | CHORD  | CHORD BEARING |
| C1          | 35.00' | 56.29'  | 92°09'16"  | 50.42' | S4°21'27"W    |
| C2          | 25.00' | 21.77'  | 49°52'58"  | 21.08' | N66°39'40"W   |
| C3          | 40.00' | 133.74' | 191°34'22" | 79.59' | S4°11'01"W    |
| C4          | 25.00' | 21.61'  | 49°32'07"  | 20.95' | N75°12'09"E   |
| C5          | 25.00' | 23.18'  | 53°07'48"  | 22.36' | N23°52'11"E   |
| C6          | 40.00' | 199.85' | 286°15'37" | 48.00' | N39°33'55"W   |
| C7          | 25.00' | 23.18'  | 53°07'48"  | 22.36' | S76°59'59"W   |

## PULLING RUN



PULLING RUN PROFILE - STA. 0+50 TO 3+50  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'



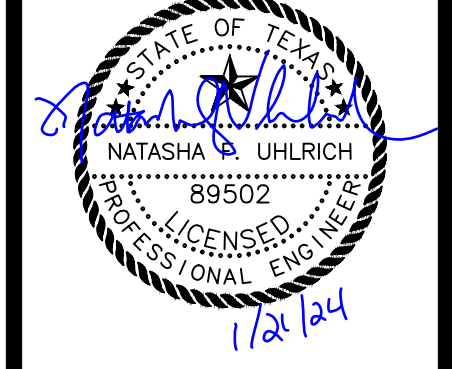
| GENERAL STREET CONSTRUCTION NOTES |   |
|-----------------------------------|---|
| 1.                                | EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.  |
| 2.                                | REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.  |
| 3.                                | REFERENCE SHEET CR012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.   |
| 4.                                | LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.   |
| 5.                                | REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.   |
| 6.                                | REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.  |
| 7.                                | REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.  |
| 8.                                | ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.  |
| 9.                                | LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS. |
| 10.                               | THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.   |
| 11.                               | ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.  |
| 12.                               | PRIOR TO CLEARING AND GRUBBING REFER TO APPROVED TREE PRESERVATION PLANS  |
| 13.                               | ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.  |
| 14.                               | CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.   |

CAUTION!!!  
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VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

PULLING RUN PLAN & PROFILE

| DESIGNED BY: |  | JOS/TS |
|--------------|--|--------|
| DRAFTED BY:  |  | JOS    |
| CHECKED BY:  |  | NFURRP |
| SHEET        |  | CR204  |
| 23 OF 75     |  |        |

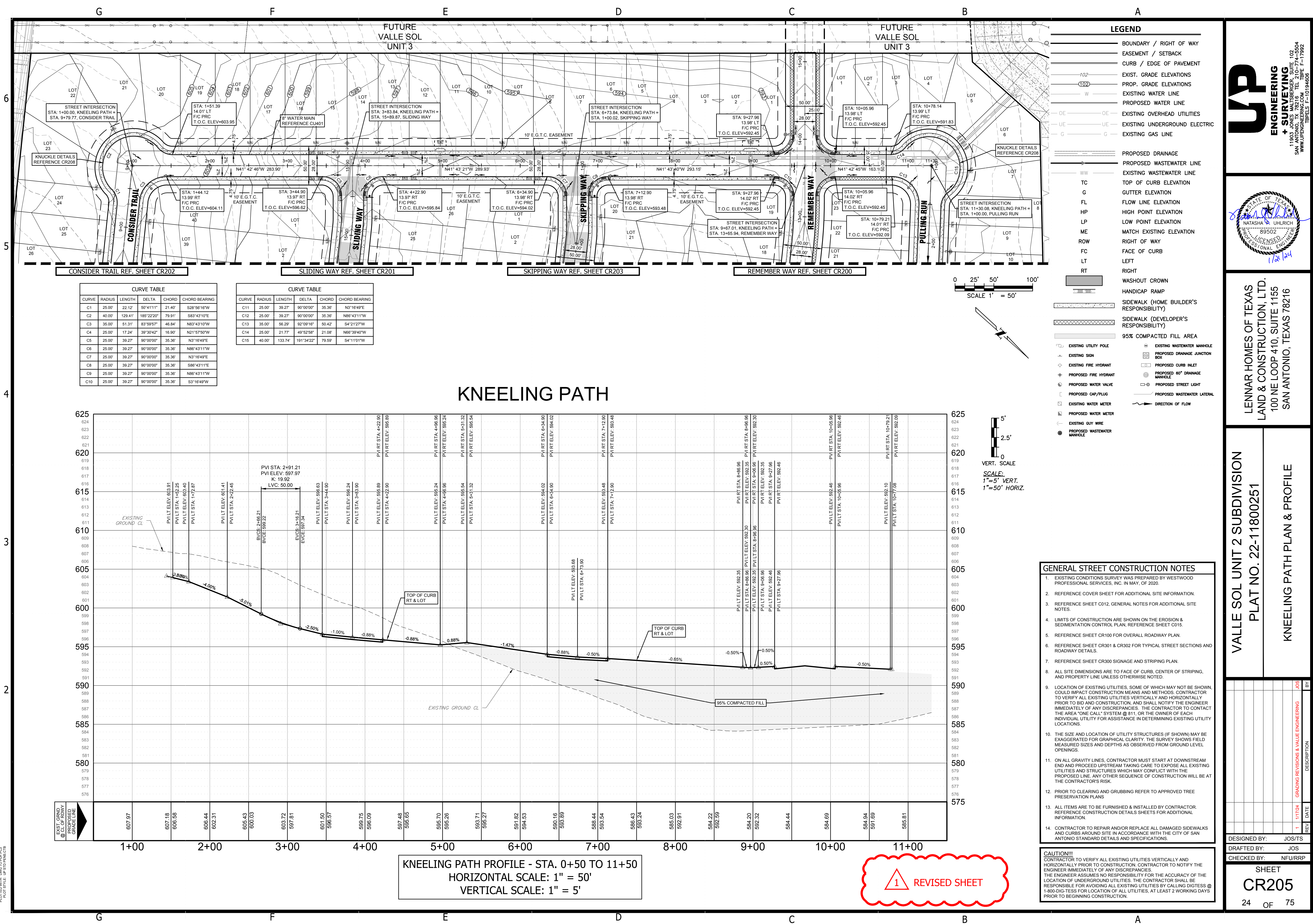


LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

**UP**  
**ENGINEERING + SURVEYING**  
11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPENGINEERING.COM  
TBEELS E-10194606



FILE NAME: U:\PROJECTS\188 - VALLE SOL UNIT 2\DESIGN\CR205\KNEELING PATH PWD.DWG  
LAST MODIFIED ON: 1/11/24  
PLOT DATE: 1/11/24  
PLOT STYLE: UP STD PENS.CTB

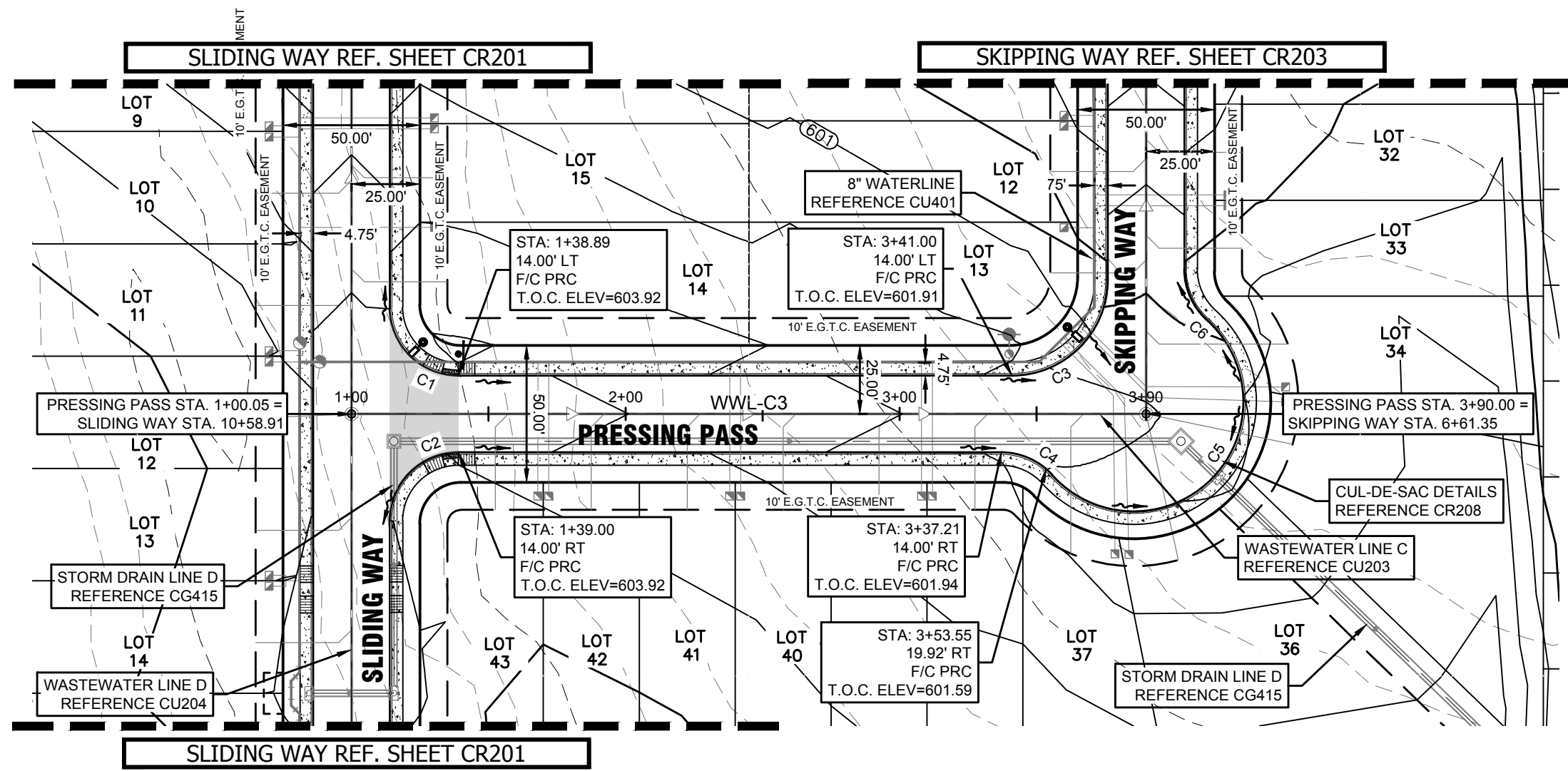


LENAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

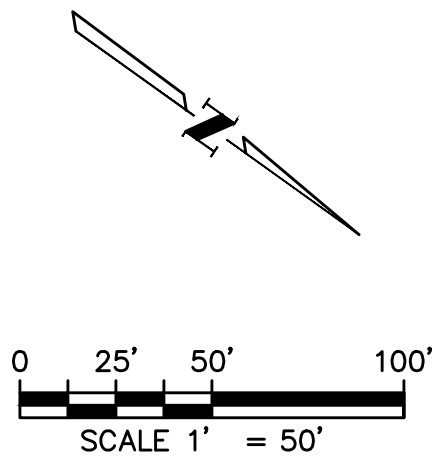
| DESIGNED BY: | JOS/TS |
|--------------|--------|
| DRAFTED BY:  | JOS    |
| CHECKED BY:  | NFURRP |
| SHEET        | CR205  |
| 24 OF 75     |        |



FILE NAME: I:\PROJECTS\1896 - VALLE SOL UNIT 2 REDSIGNAGE\1896-2 - CR206 PRESSING PASS PWD.DWG  
LAST MODIFIED ON: 1/17/24  
PLOT DATE: 1/17/24  
PLOT STYLE: UP STD PENS.CTB

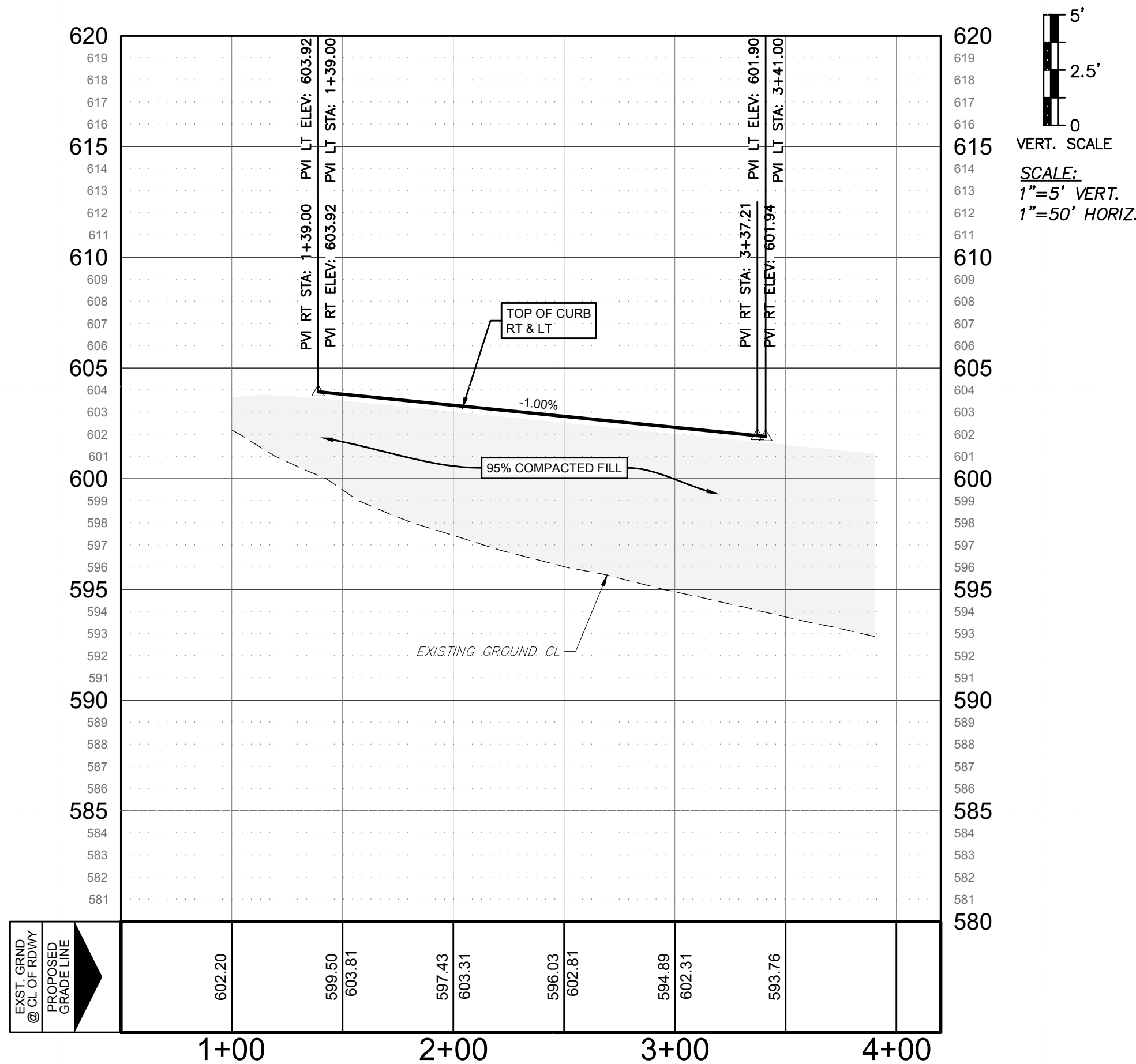


| CURVE TABLE |        |         |            |        |               |
|-------------|--------|---------|------------|--------|---------------|
| CURVE       | RADIUS | LENGTH  | DELTA      | CHORD  | CHORD BEARING |
| C1          | 25.00' | 39.27'  | 90°00'00"  | 35.36' | S9°16'52"W    |
| C2          | 25.00' | 39.27'  | 90°00'00"  | 35.36' | S80°43'08"E   |
| C3          | 35.00' | 54.98'  | 90°00'00"  | 49.50' | S80°43'08"E   |
| C4          | 25.00' | 20.97'  | 48°02'56"  | 20.36' | S11°41'40"E   |
| C5          | 40.00' | 129.92' | 168°05'52" | 79.89' | N80°43'08"W   |
| C6          | 25.00' | 20.97'  | 48°02'56"  | 20.36' | N30°15'24"E   |



| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | TOP OF CURB ELEVATION                    |
|        | GUTTER ELEVATION                         |
|        | FLOW LINE ELEVATION                      |
|        | HIGH POINT ELEVATION                     |
|        | LOW POINT ELEVATION                      |
|        | MATCH EXISTING ELEVATION                 |
|        | RIGHT OF WAY                             |
|        | FACE OF CURB                             |
|        | LEFT                                     |
|        | RIGHT                                    |
|        | WASHOUT CROWN                            |
|        | HANDICAP RAMP                            |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | 95% COMPACTED FILL AREA                  |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING SIGN                            |
|        | EXISTING FIRE HYDRANT                    |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED CAP/PLUG                        |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION BOX           |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60" DRAINAGE MANHOLE            |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |
|        | DIRECTION OF FLOW                        |

## PRESSING PASS



PRESSING PASS PROFILE - STA. 0+50 TO 4+20  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

| GENERAL STREET CONSTRUCTION NOTES   |   |
|---|---|
| 1.  | EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.  |
| 2.  | REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.  |
| 3.  | REFERENCE SHEET CR012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.   |
| 4.  | LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET CR015.  |
| 5.  | REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.   |
| 6.  | REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.  |
| 7.  | REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.  |
| 8.  | ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.  |
| 9.  | LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS. |
| 10.   | THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.   |
| 11.   | ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.  |
| 12.   | PRIOR TO CLEARING AND GRUBBING REFER TO APPROVED TREE PRESERVATION PLANS  |
| 13.   | ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.  |
| 14.   | CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.   |
| <b>CAUTION!!!</b><br>CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.<br>THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION. |   |



11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM  
TBEELS E-10194606

1/24/24

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

PRESSING PASS PLAN & PROFILE

|              |        |
|--------------|--------|
| DESIGNED BY: | JOS/TS |
| DRAFTED BY:  | JOS    |
| CHECKED BY:  | NFURRP |
| SHEET        | CR206  |
| 25           | OF 75  |



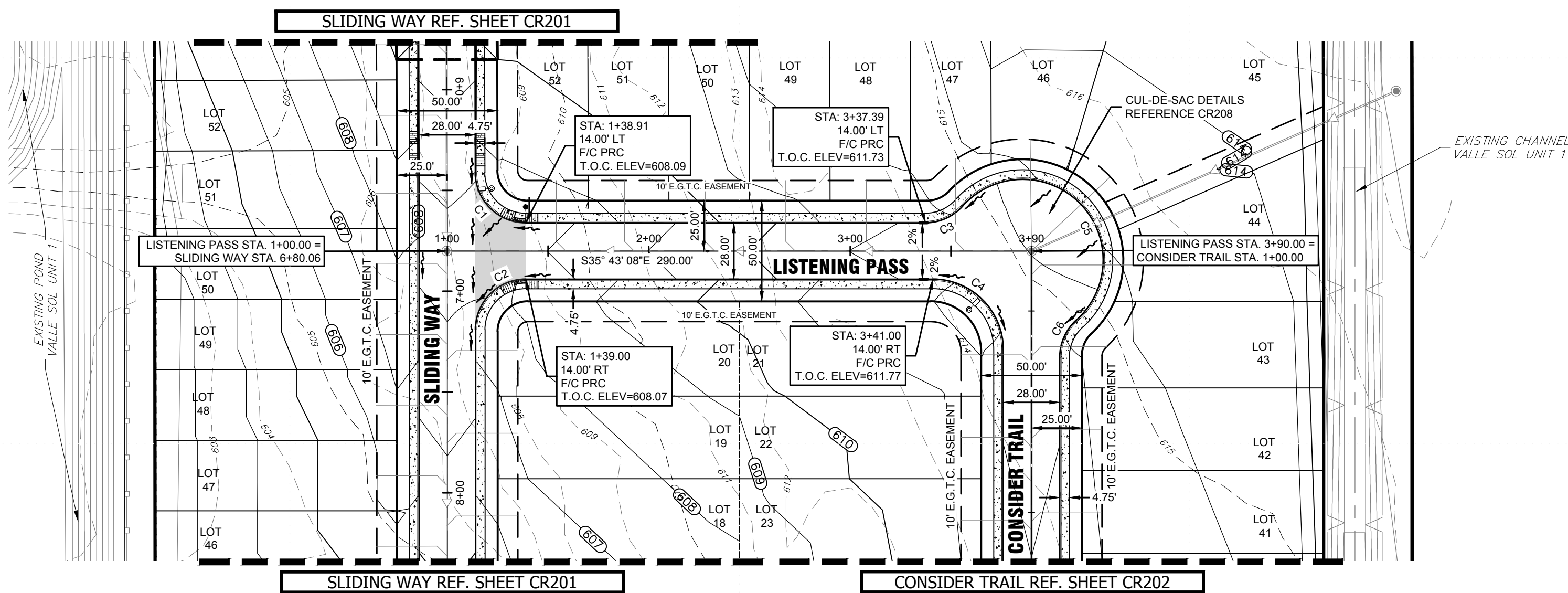
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5

4

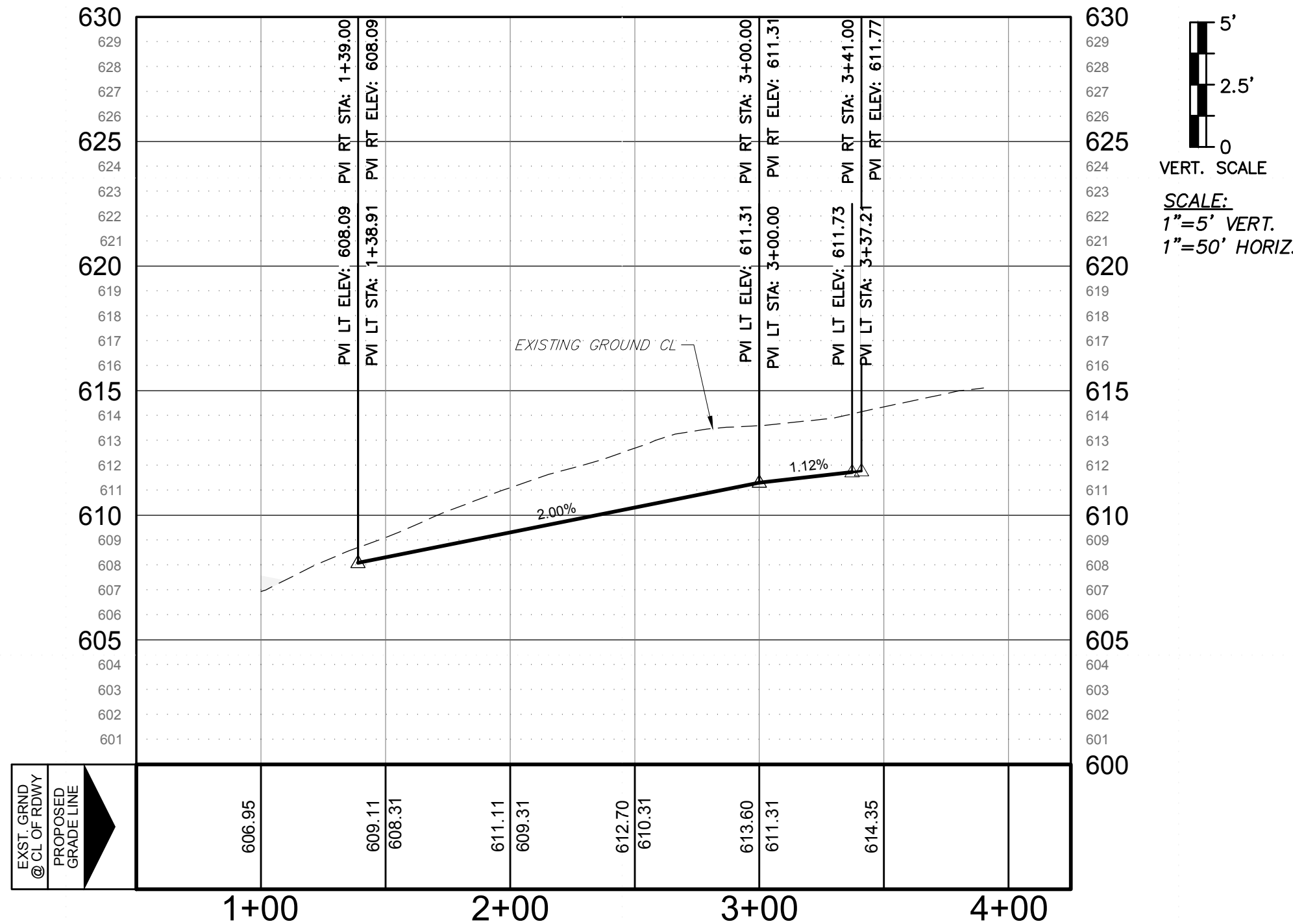
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2



| CURVE TABLE |        |         |            |        |               |
|-------------|--------|---------|------------|--------|---------------|
| CURVE       | RADIUS | LENGTH  | DELTA      | CHORD  | CHORD BEARING |
| C1          | 25.00' | 39.21'  | 89°52'13"  | 35.32' | S8°12'58"W    |
| C2          | 25.00' | 39.27'  | 90°00'00"  | 35.36' | S80°43'08"E   |
| C3          | 25.00' | 17.56'  | 40°16'17"  | 17.21' | S55°50'47"E   |
| C4          | 35.00' | 54.98'  | 90°00'00"  | 49.50' | S9°16'52"W    |
| C5          | 40.00' | 129.92' | 186°05'52" | 79.89' | N9°16'52"E    |
| C6          | 25.00' | 20.97'  | 48°02'56"  | 20.36' | S78°18'20"W   |

## LISTENING PASS



LISTENING PASS PROFILE - STA. 0+50 TO 4+25  
HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 5'

1 REVISED SHEET

LEGEND

BOUNDARY / RIGHT OF WAY

EASEMENT / SETBACK

CURB / EDGE OF PAVEMENT

EXIST. GRADE ELEVATIONS

PROP. GRADE ELEVATIONS

EXISTING WATER LINE

PROPOSED WATER LINE

EXISTING OVERHEAD UTILITIES

EXISTING UNDERGROUND ELECTRIC

EXISTING GAS LINE

PROPOSED DRAINAGE

PROPOSED WASTEWATER LINE

EXISTING WASTEWATER LINE

TC

G

FL

HP

LP

ME

ROW

FC

LT

RT

WASHOUT CROWN

HANDICAP RAMP

SIDEWALK (HOME BUILDER'S RESPONSIBILITY)

SIDEWALK (DEVELOPER'S RESPONSIBILITY)

95% COMPACTED FILL AREA

EXISTING UTILITY POLE

EXISTING SIGN

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

PROPOSED CAP/PLUG

EXISTING WATER METER

PROPOSED WATER METER

EXISTING GUY WIRE

PROPOSED WASTEWATER MANHOLE

EXISTING WASTEWATER MANHOLE

PROPOSED DRAINAGE JUNCTION BOX

PROPOSED CURB INLET

PROPOSED 60" DRAINAGE MANHOLE

PROPOSED STREET LIGHT

PROPOSED WASTEWATER LATERAL

DIRECTION OF FLOW

GENERAL STREET CONSTRUCTION NOTES

1. EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.

2. REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.

3. REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.

4. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.

5. REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.

6. REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.

7. REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.

8. ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.

9. LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.

10. THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.

11. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.

12. PRIOR TO CLEARING AND GRUBBING REFER TO APPROVED TREE PRESERVATION PLANS

13. ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.

14. CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.

CAUTION!!!

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

ENGINEERING + SURVEYING

11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPDESIGN.COM TBEELS E-10194606

STATE OF TEXAS

NATASHA S. UHLRICH

89502

PROFESSIONAL ENGINEER

1/24/24

LENNAR HOMES OF TEXAS

LAND & CONSTRUCTION, LTD.

100 NE LOOP 410, SUITE 1155

SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION

PLAT NO. 22-11800251

LISTENING PASS PLAN & PROFILE

DESIGNED BY: JOS/TS

DRAFTED BY: JOS

CHECKED BY: NFURRP

1 1/17/24

GRADING REVISIONS & VALUE ENGINEERING

REV DATE

BY

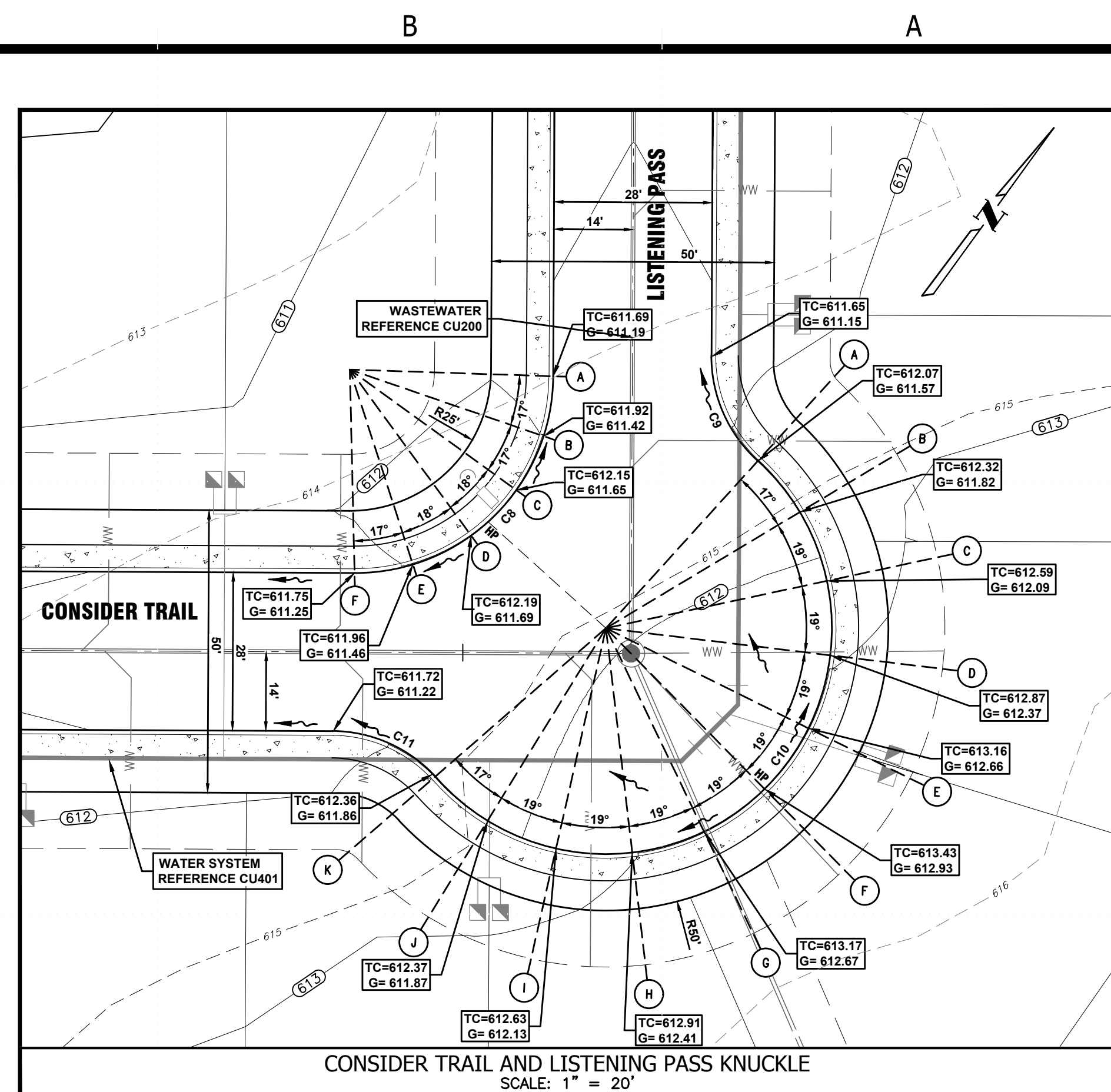
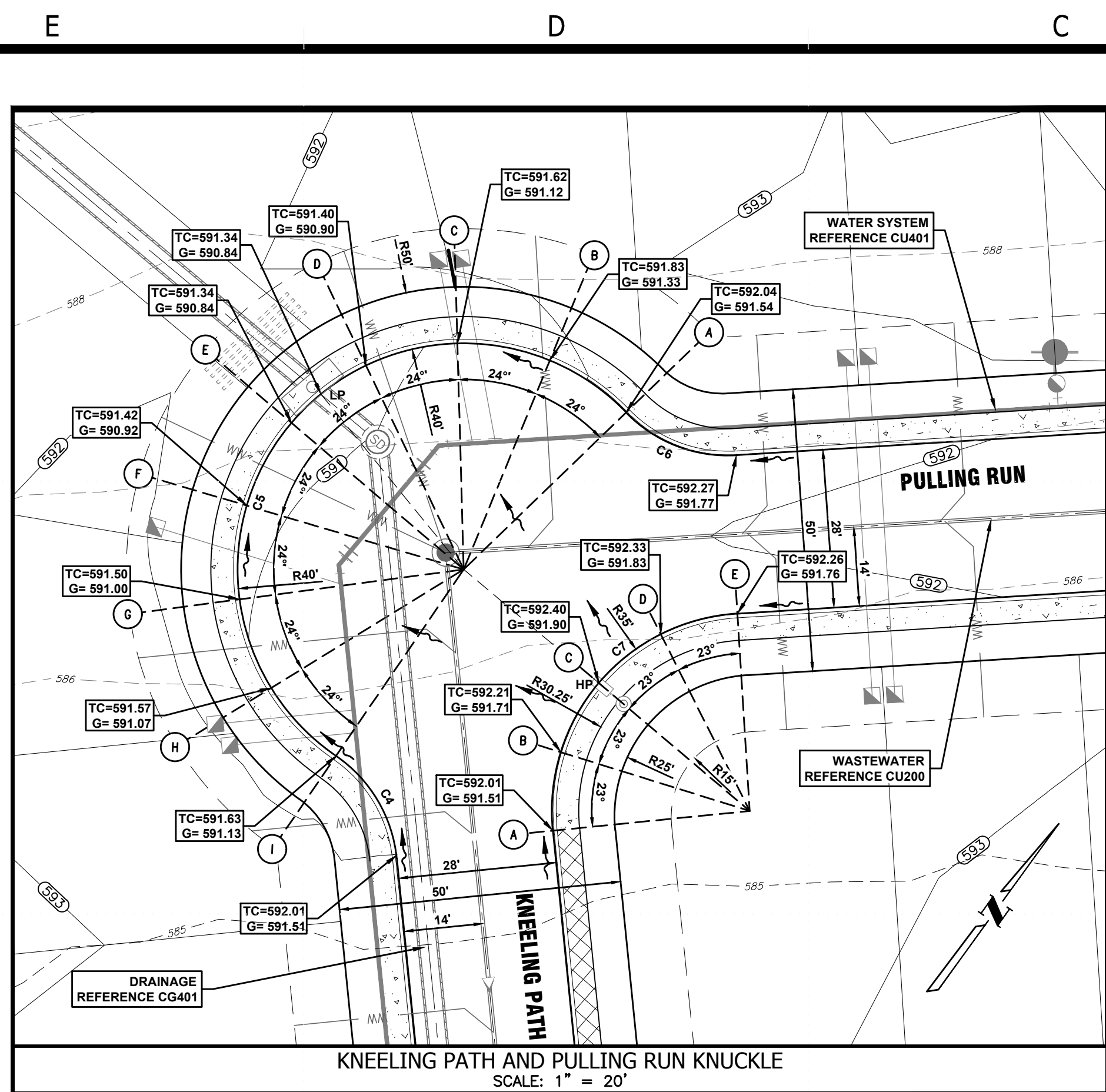
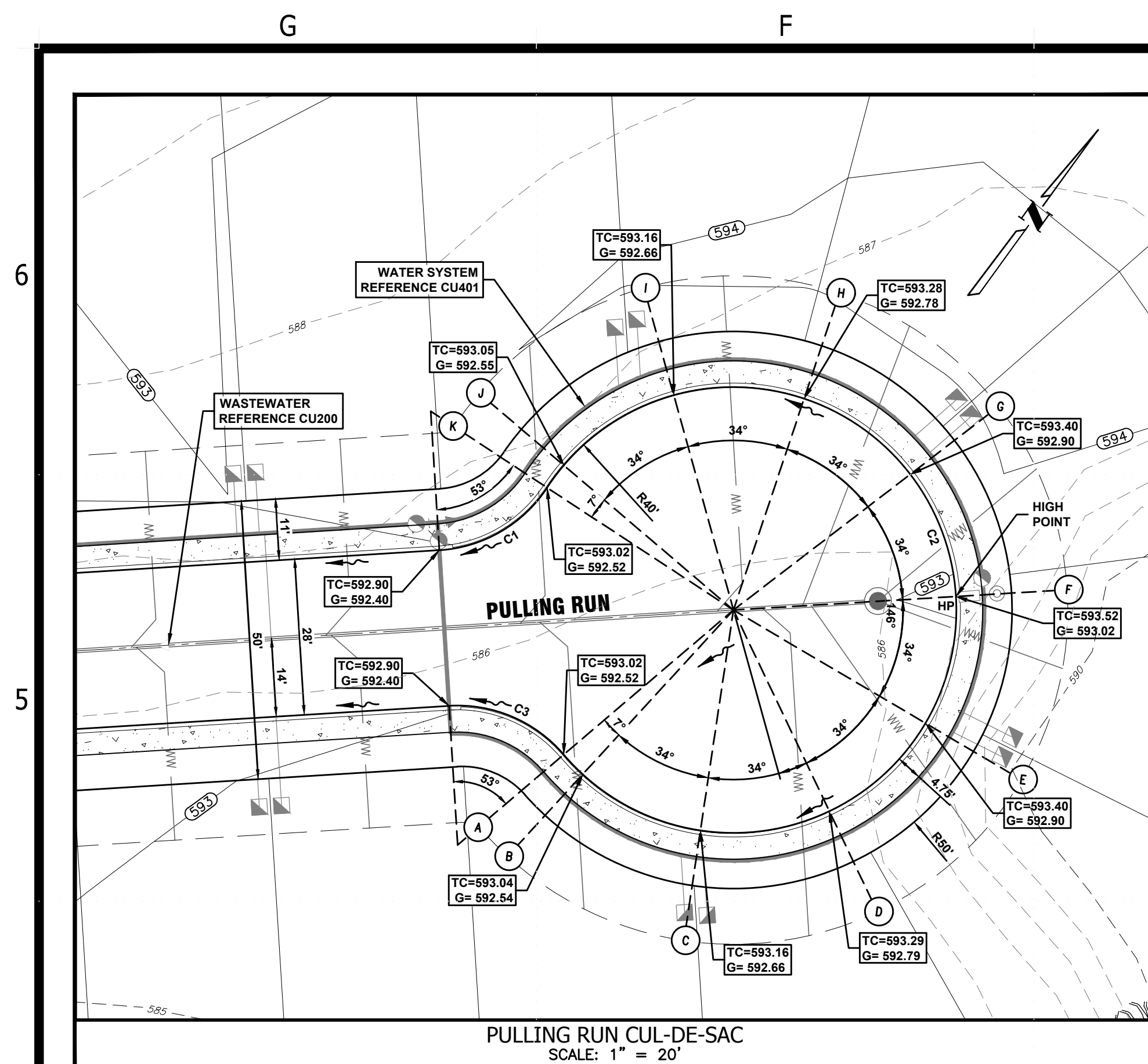
DESCRIPTION

SHEET

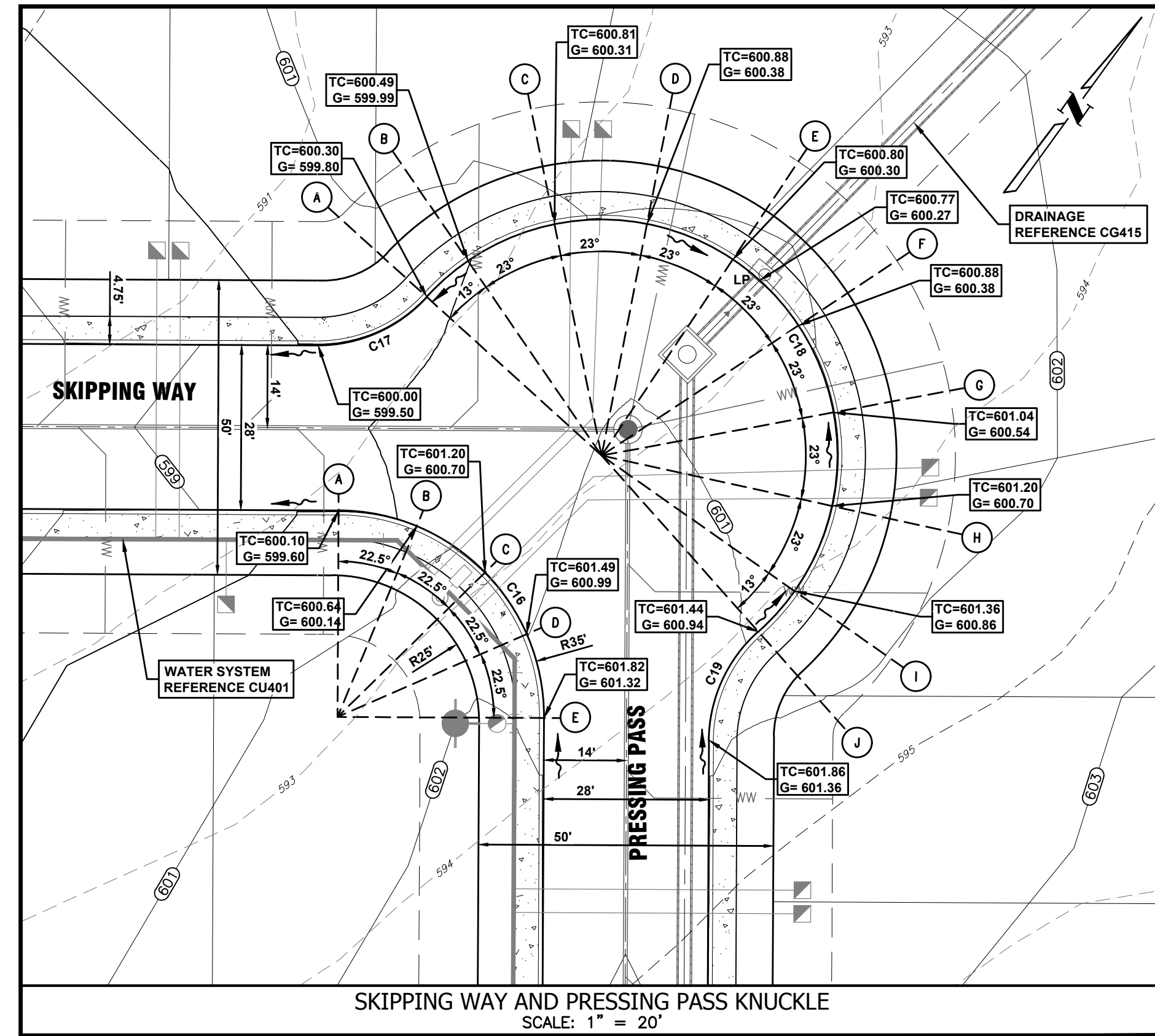
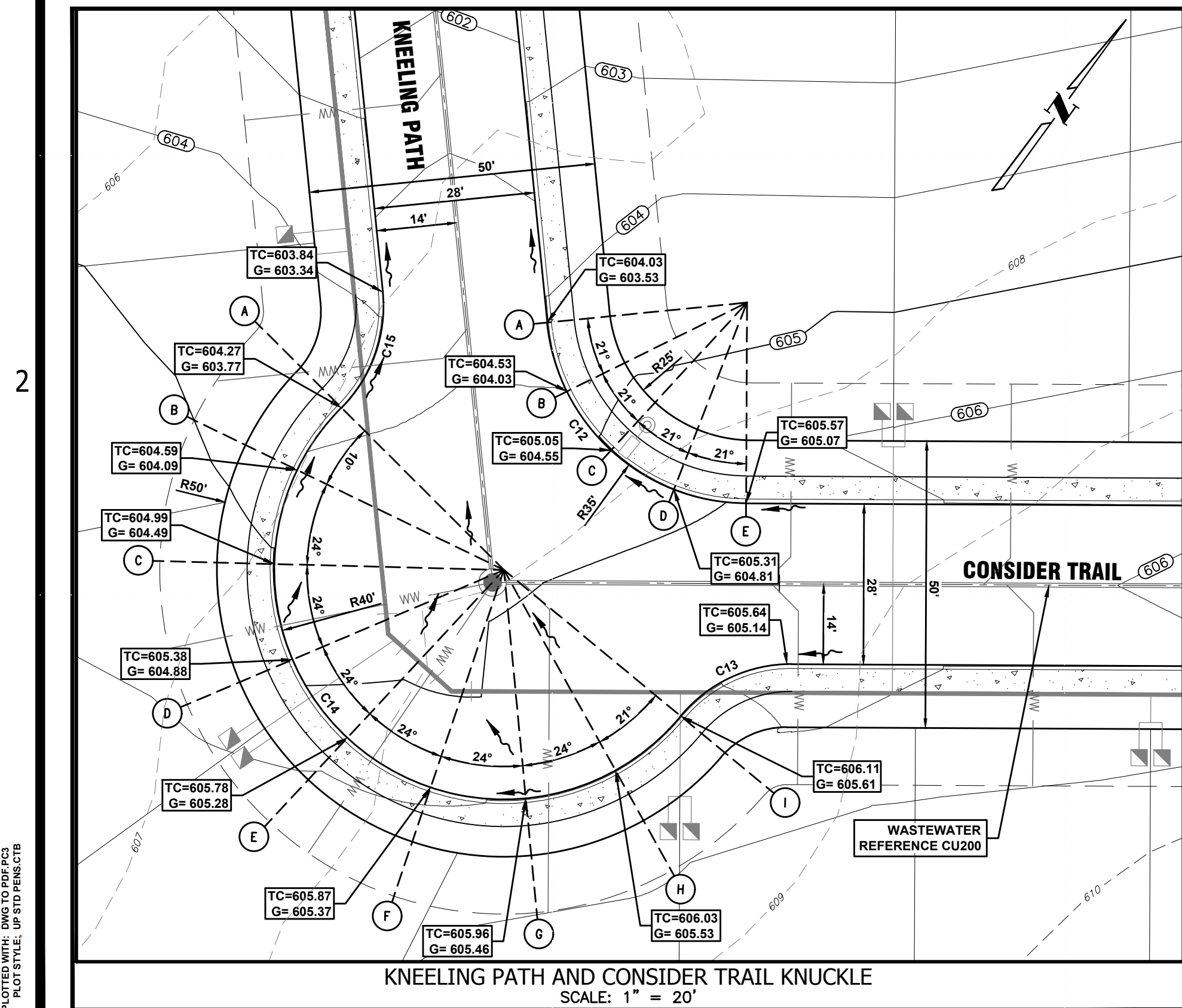
CR207

26 OF 75





| CURVE TABLE |        |         |            |                    |
|-------------|--------|---------|------------|--------------------|
| CURVE       | RADIUS | LENGTH  | DLTA CHORD | CHORD BEARING      |
| C1          | 25.00' | 21.18'  | 53°07"48"  | 22.36° N23°52'11"E |
| C2          | 40.00' | 199.85' | 286°15'37" | 40.00° S39°33'56"E |
| C3          | 25.00' | 23.18'  | 53°07'48"  | 22.36° S76°59'59"W |
| C4          | 25.03' | 21.22'  | 48°34'13"  | 20.89° N67°18'00"W |
| C5          | 40.03' | 133.74' | 181°34'21" | 79.60° N41°11'07"E |
| C6          | 25.00' | 21.61'  | 49°32'07"  | 20.36° N75°12'09"E |
| C7          | 35.00' | 56.29'  | 92°09'16"  | 50.42° N21°21'27"E |
| C8          | 35.00' | 54.98'  | 90°00'00"  | N9°16'52"E         |
| C9          | 25.00' | 20.97'  | 48°02'56"  | 20.36° S49°44'36"E |
| C10         | 40.00' | 129.92' | 186°05'52" | 78.89° S9°16'52"W  |
| C11         | 25.00' | 20.97'  | 48°02'56"  | 20.36° S78°18'20"W |
| C12         | 35.00' | 51.31'  | 83°59'57"  | 46.84° S83°43'10"E |
| C13         | 25.00' | 22.12'  | 50°11'11"  | 21.40° S28°56'16"W |
| C14         | 40.00' | 129.41' | 185°22'20" | 79.93° N83°43'10"W |
| C15         | 25.00' | 22.12'  | 50°11'11"  | 21.40° N16°22'35"W |
| C16         | 35.00' | 54.98'  | 90°00'00"  | S80°48'03"E        |
| C17         | 25.00' | 20.97'  | 48°02'56"  | 20.36° N30°15'24"E |
| C18         | 40.00' | 129.92' | 186°05'52" | 78.89° N80°43'08"W |
| C19         | 25.00' | 20.97'  | 48°02'56"  | 20.36° S11°41'40"W |



## GENERAL STREET CONSTRUCTION NOTES

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2. REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
3. REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
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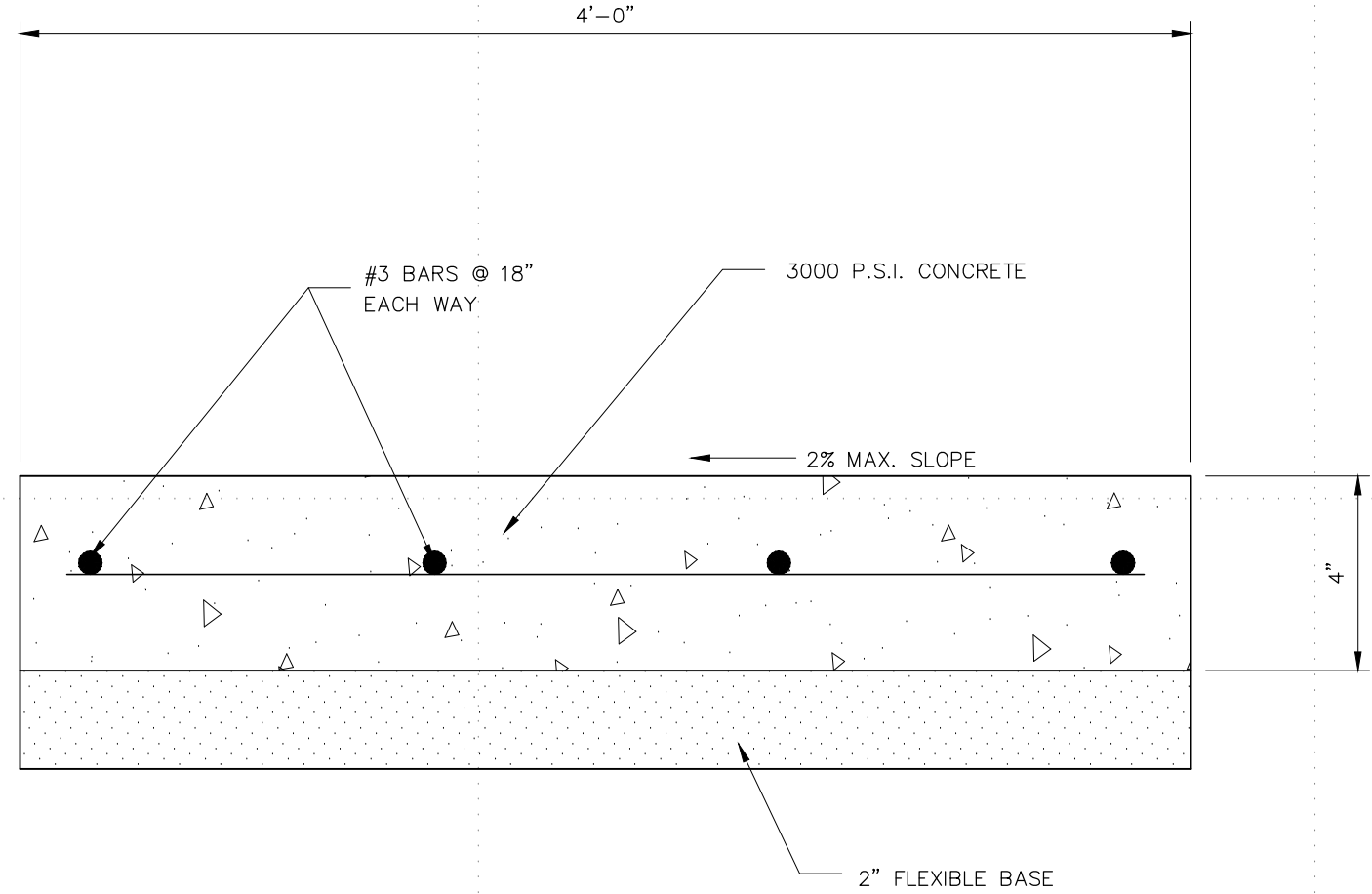






SEE PLANS FOR PROJECT 11903 JONES VALLEY SOL - UNIT 2 REDDESIGN SHEETS 11902 - CR300 - UNIT 2 SIGNAGE & STRIPING PLANS DWG  
LAST MODIFIED ON: January 26, 2024  
LAST MODIFIED BY: JCS  
PLOTTED ON: January 26, 2024  
PLOT STYLE: UP STD PENS.CTB

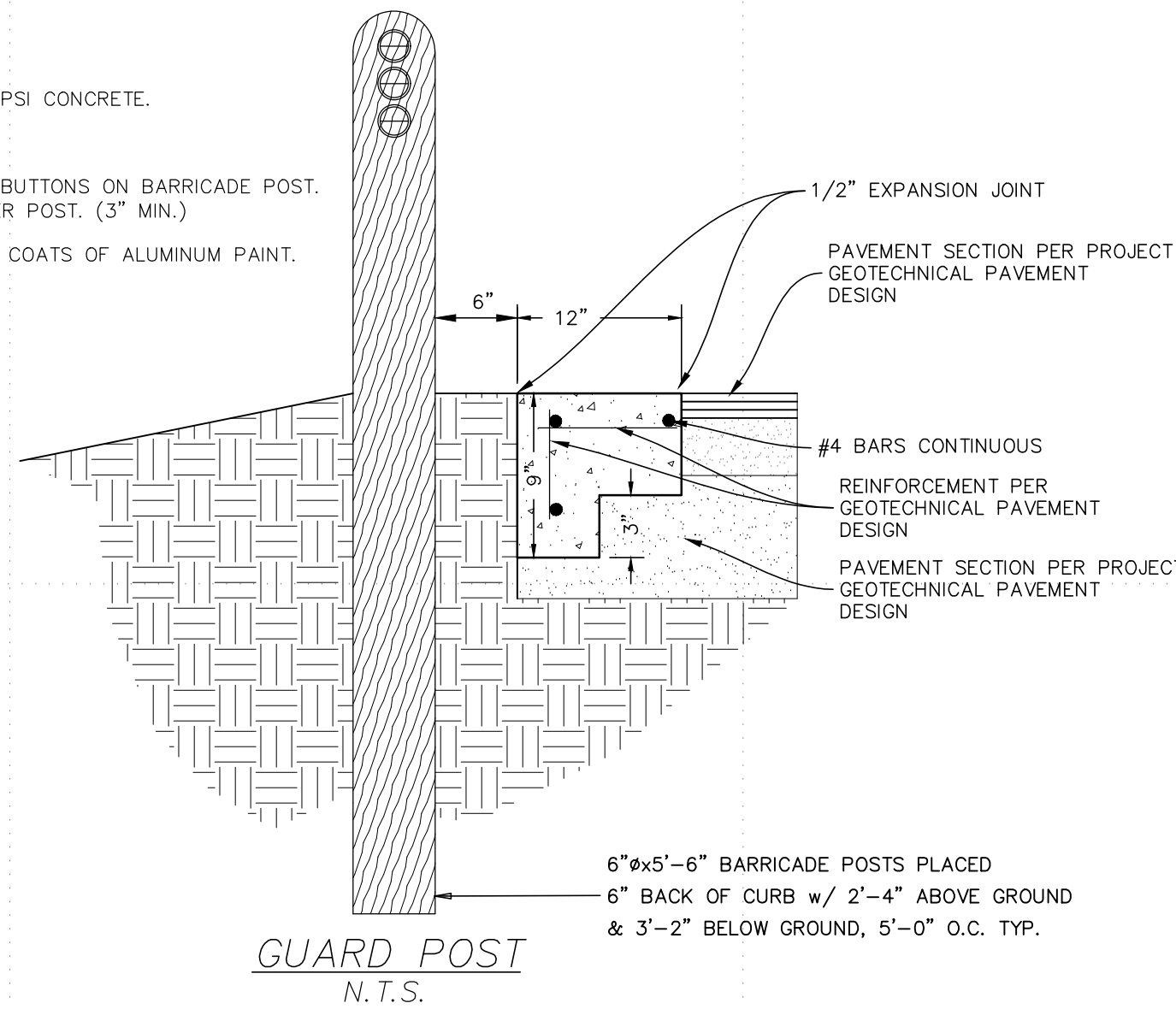
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SIDEWALK DETAIL



SCALE: N.T.S.

SIDEWALK DETAIL

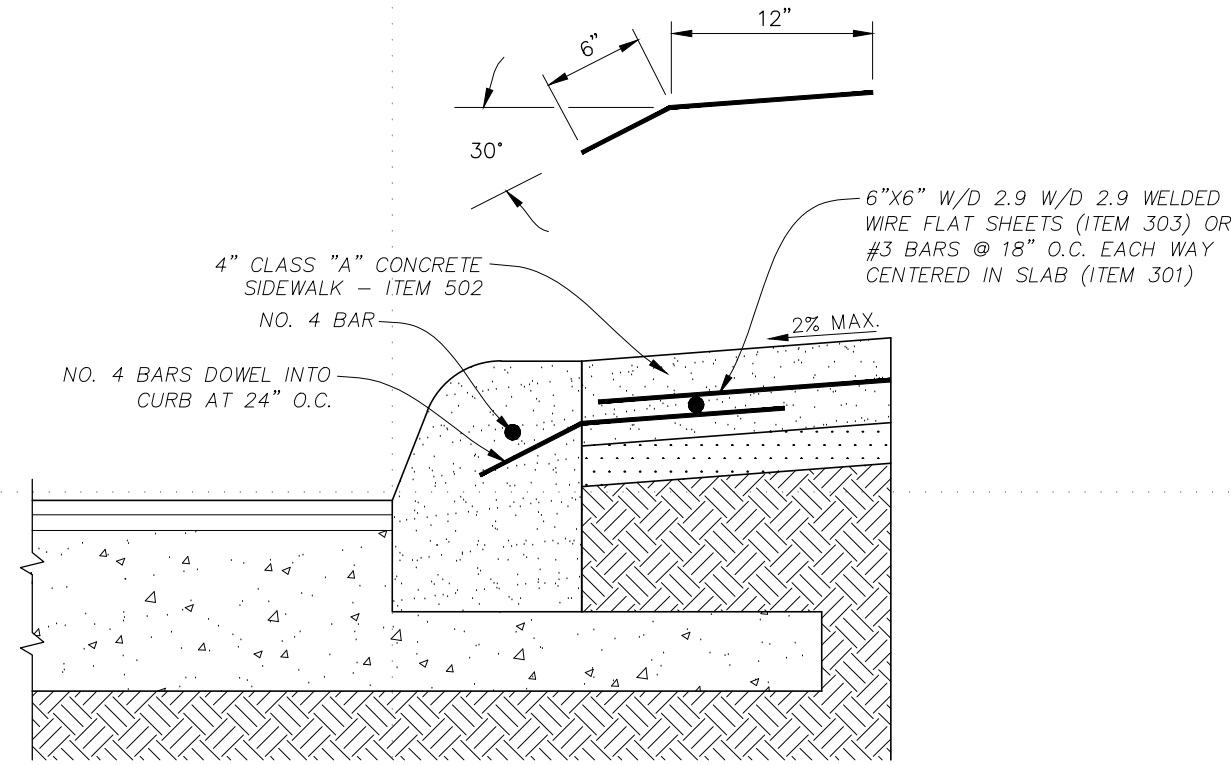
6  
HEADER CURB - END OF STREET DETAIL & GUARD POST



SCALE: N.T.S.

HEADER CURB - END OF STREET DETAIL & GUARD POST

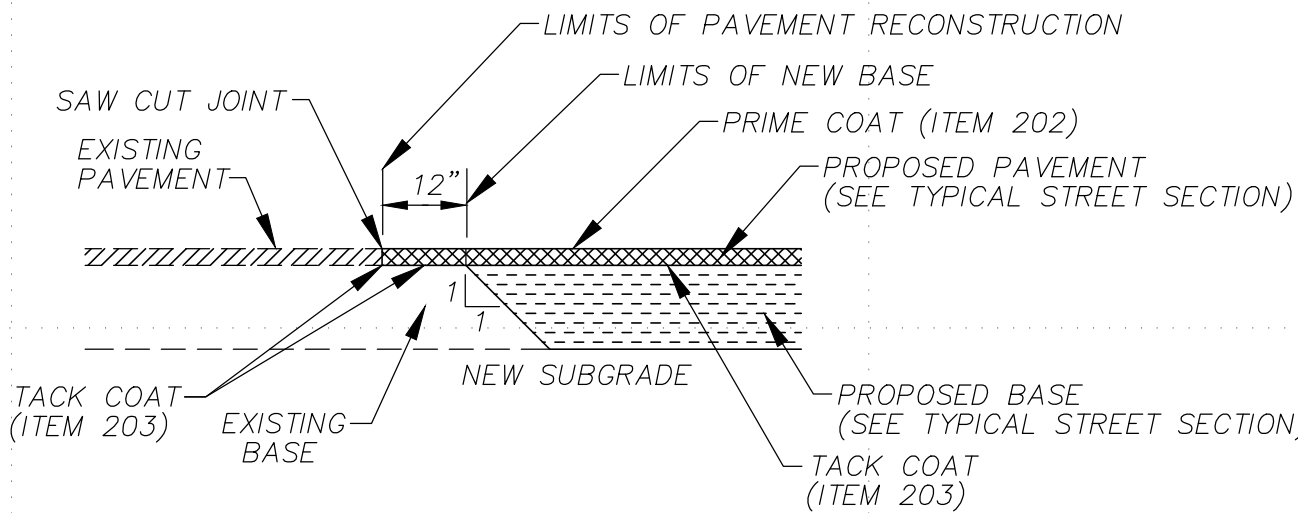
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CONCRETE SIDEWALK ABUTTING CURB SECTION (ITEM 502)



SCALE: N.T.S.

CONCRETE SIDEWALK ABUTTING CURB SECTION (ITEM 502)

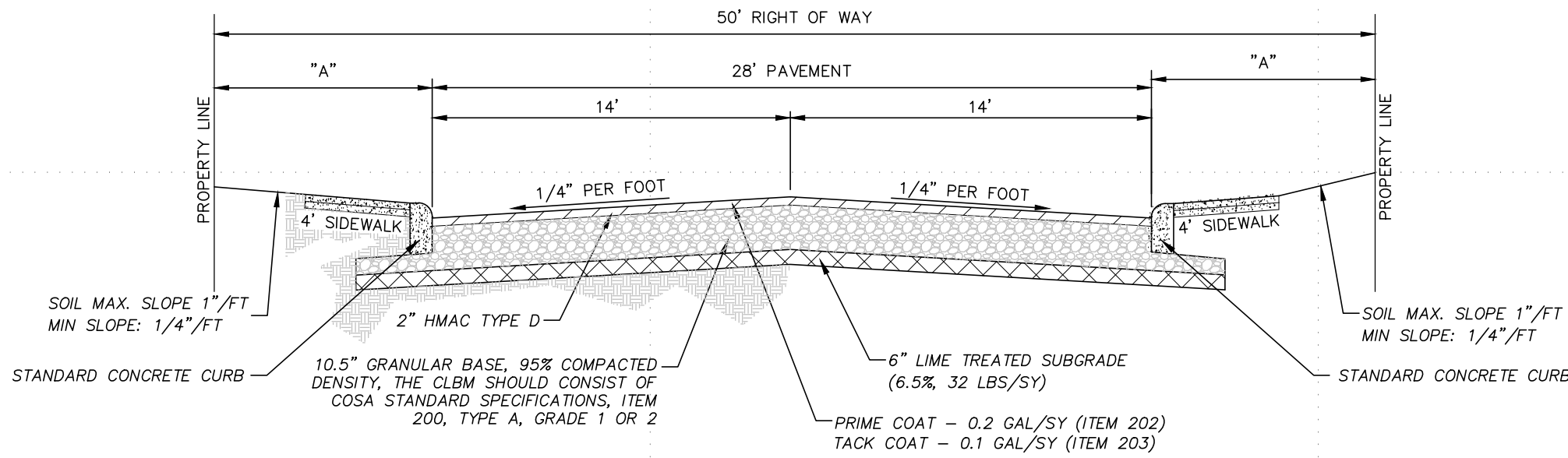
4  
PAVEMENT JUNCTION DETAIL



SCALE: N.T.S.

PAVEMENT JUNCTION DETAIL

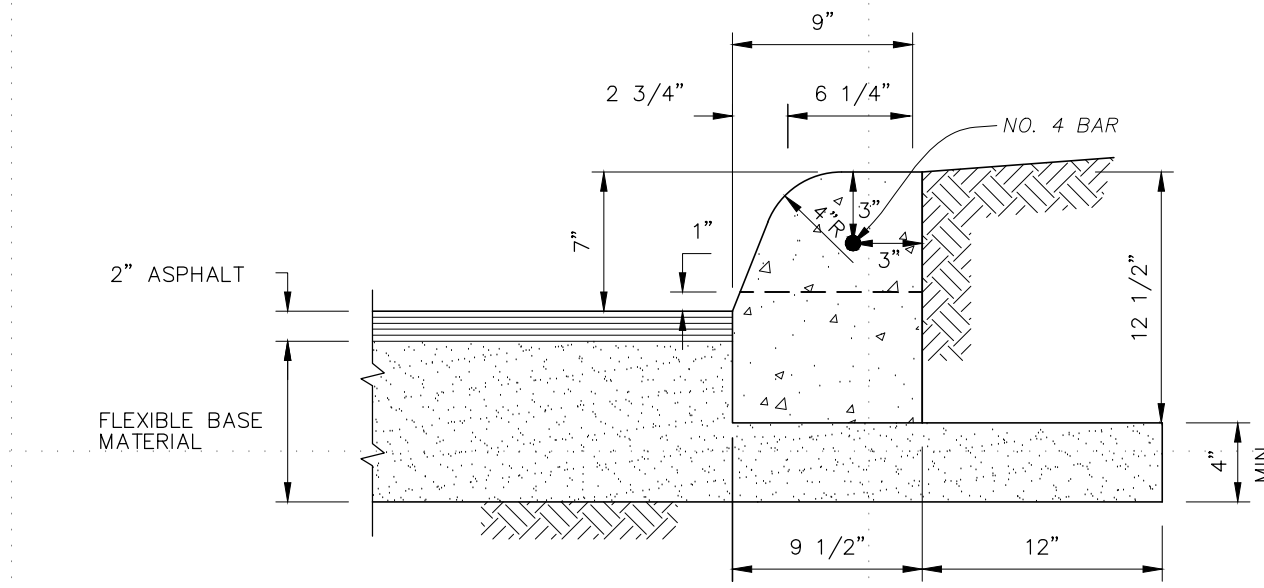
1  
TYPICAL STREET SECTION (LOCAL A)



SCALE: N.T.S.

TYPICAL STREET SECTION (LOCAL A)

2  
ASPHALT PAVEMENT & MACHINE LAID CURB SECTION (ITEM 500)



SCALE: N.T.S.

ASPHALT PAVEMENT & MACHINE LAID CURB SECTION (ITEM 500)

GENERAL NOTES:

- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT BY TTL, INC. (PROJECT NO. 00200903121.00) DATED MARCH 1, 2021 FOR FISCHER ROAD SUBDIVISION.
- SELECT FILL USED FOR STREET SUBGRADE SHALL HAVE A MINIMUM CBR VALUE OF 3.5. CONTRACTOR SHALL CONTACT GEOTECHNICAL ENGINEER TO VERIFY CBR VALUE PRIOR TO PLACEMENT OF SELECT FILL MATERIAL.
- IF P.I. IS GREATER THAN 20, USE LIME TREATMENT. (ITEM 108)
- PER SAN ANTONIO UDC SECTION 35-506(p)7(F) "Right and left turn lanes constructed on existing asphalt roads shall be constructed with twelve (12) inches of asphalt treated base and two (2) inches of Type D asphalt."

LIME STABILIZATION

TO INCLUDE A LIME STABILIZED LAYER AS PART OF THE STRUCTURAL PAVEMENT SYSTEM, THE APPLICATION RATE OF LIME SHALL BE DETERMINED BASED ON LABORATORY TESTING AND SHALL BE THE LOWEST PERCENTAGE OF LIME THAT PROVIDES:

- A PH OF 12.4 OR THE HIGHEST PH ACHIEVED IN ACCORDANCE WITH ASTM D6276 STANDARD TEST METHOD FOR USING PH TO ESTIMATE THE SOIL-LIME PROPORTION REQUIREMENT FOR SOIL STABILIZATION,
- A PI OF LESS THAN 20 IN ACCORDANCE WITH ASTM D4318 STANDARD TEST METHODS FOR LIQUID LIMIT, PLASTIC LIMIT, AND PLASTICITY INDEX OF SOILS,
- AN UNCONFINED COMPRESSIVE STRENGTH (UCS) AT 7-DAYS OF AT LEAST 160 PSI IN ACCORDANCE WITH ASTM D5102 STANDARD TEST METHODS FOR UNCONFINED COMPRESSIVE STRENGTH OF COMPACTED SOIL-LIME MIXTURES (PROCEDURE B) (IN ADDITION, CURING SHOULD OCCUR FOR 7 DAYS AT 40°C AND SPECIMENS SHOULD BE SUBJECTED TO 24-HR CAPILLARY SOAK PRIOR TO TESTING)
- [OPTIONAL CRITERIA FOR EXPANSIVE SOILS] A THREE DIMENSIONAL EXPANSION OF LESS THAN 1% (OR MAYBE 2%).

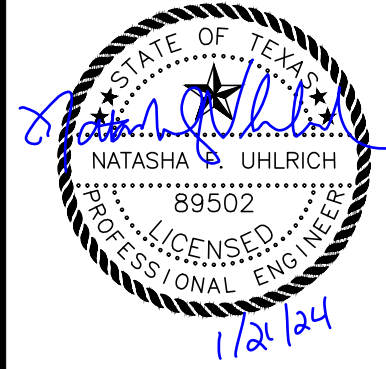
| STREET SECTION TABLE                    |                    |
|---|--------------------|
| DESCRIPTION                             | LOCAL A            |
| RIGHT OF WAY WIDTH                      | 50'                |
| PAVEMENT WIDTH                          | 28'                |
| LENGTH - "A"                            | 11'                |
| PAVEMENT SECTION                        | SEE STREET SECTION |
| STRUCTURAL NUMBER                       | 2.35               |
| HOT MIX ASPHALT CONCRETE TYPE "D" DEPTH | 2"                 |
| HOT MIX ASPHALT CONCRETE TYPE "C" DEPTH | -                  |
| GRANULAR BASE DEPTH                     | 10 1/2"            |
| BASE DEPTH UNDER CURB                   | 4"                 |
| LIME TREATED SUBGRADE                   | 6"                 |

1 REVISED SHEET

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

STREET DETAILS

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



**UP ENGINEERING + SURVEYING**  
11903 JONES VALLEY SOL, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENROADSOLUTIONS.COM  
TELEFAX 210-774-5506

| REV                 | DATE    | DESCRIPTION                           | BY  |
|---------------------|---------|---------------------------------------|-----|
| 1                   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: JOS/TS |         |                                       |     |
| DRAFTED BY: JOS     |         |                                       |     |
| CHECKED BY: NFURRP  |         |                                       |     |
| SHEET               |         |                                       |     |
| CR301               |         |                                       |     |
| 29 OF 75            |         |                                       |     |



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3  
SCALE: N.T.S.

### GROUND MOUNTED SIGN SIZES (CITY OF SAN ANTONIO DEPARTMENT OF PUBLIC WORKS)

|                            |   |
|----------------------------|---|
| HEIGHT                     | 9" (228 mm)   |
| LENGTH                     | 24" (600 MM) MIN.<br>54 (1350 MM) MAX.<br>6" (150 MM) INCREMENTS OF LENGTH            |
| THICKNESS                  | 0.125" (3MM)  |
| SUBSTRATE                  | ALUMINUM ALLOY,<br>5052-H38 (ASTM B-209)<br>GOLD CHROMATE FINISH                      |
| SIGN FACE MATERIALS        | BLUE FILM OVER<br>HIGH INTENSITY<br>FP-85, SECTION 718<br>AND L-S-300C                |
| LEGENDS AND LENGTH SYMBOLS | SERIES D (USUAL)<br>SERIES C OR B FOR<br>MAXIMUM LENGTH<br>SIGN BLANK<br>IF NECESSARY |
| COLOR                      | WHITE LEGEND ON<br>BLUE BACKGROUND  |
| LETTER TRACKING            | 10%   |

TYPICAL GROUND MOUNTED SIGN PLACEMENT

| TABLE - D3 SIGNS |    |      |      |    |     |        |
|------------------|----|------|------|----|-----|--------|
| A                | B  | C    | D    | E  | F   | T      |
| 24"              | 9" | 1/2" | 3/4" | 8" | 12" | 0.125" |
| 30"              | 9" | 1/2" | 3/4" | 8" | 15" | 0.125" |
| 36"              | 9" | 1/2" | 3/4" | 8" | 18" | 0.125" |
| 42"              | 9" | 1/2" | 3/4" | 8" | 21" | 0.125" |
| 48"              | 9" | 1/2" | 3/4" | 8" | 24" | 0.125" |
| 54"              | 9" | 1/2" | 3/4" | 8" | 27" | 0.125" |

NOTE: A 30" LONG OR GREATER PLATE SHALL BE USED WHEN A "DEAD END" OR "NO OUTLET" SUPPLEMENT IS REQUIRED.

FACE OF CURB OR EDGE OF PAVEMENT

REGULATORY, GUIDE OR PROHIBITION SIGN

NO PARKING ANYTIME SIGNS

ONE-WAY SIGNS OR LARGE ARROWS SIGN

NOTE: (2) ONE-SIDED D3 SIGNS ARE REQUIRED FOR EACH DIRECTION OF TRAFFIC ON EACH POLE.

D3 SIGN TO POLE INSTALLATION

THE ORIGINAL OF THIS DRAWING WAS SIGNED AND SEALED BY EDWARD N. MERY, P.E., #56898 ON 02/06/06 AND IS ON FILE WITH THE TRAFFIC ENGINEERING DIVISION OF THE PUBLIC WORKS DEPARTMENT, CITY OF SAN ANTONIO.

|   |      |                 |                 |
|---|------|-----------------|-----------------|
| JULY 2010<br>CITY OF SAN ANTONIO<br>DEPARTMENT OF PUBLIC WORKS<br>TRAFFIC SIGN STANDARDS<br>D3 STREET NAME SIGN AND SIGN MOUNTING<br>SHEET 2 OF 4 |      |                 |                 |
| % SUBMITTAL PROJECT NO.   | DATE | DRWN BY: A.F.S. | ISSN BY: E.N.M. |

| STREET SIGN ASSEMBLY EXAMPLES |          | PAY ITEMS |                                   |          |  |
|-------------------------------|----------|-----------|-----------------------------------|----------|--|
| STOP SIGN WITH 2 STREET NAMES | ITEM     | UNIT      | DESCRIPTION                       | QUANTITY |  |
|                               | 531.3    | EA.       | R1-1 STOP                         | 1        |  |
|                               | 531.57-P | EA.       | 9-IN STREET NAME PLATE (4 PLATES) | 2        |  |
|                               | 531.4    | EA.       | R1-2 YIELD                        | 1        |  |
|                               | 531.57-P | EA.       | 9-IN STREET NAME PLATE (2 PLATES) | 1        |  |
|                               | 531.57   | EA.       | 9-IN STREET NAME SIGN (2 PLATES)  | 1        |  |
|                               | 531.57-P | EA.       | 9-IN STREET NAME PLATE (2 PLATES) | 1        |  |

NOTE:  
\* ITEM 531.57-P "9-INCH STREET NAME PLATE" (1-EA.) INCLUDES THE INSTALLATION OF (2) ONE-SIDED D3 SIGNS ON TOP OF EXISTING SIGN (I.E. STOP SIGN OR YIELD SIGN), EXTRA LENGTH POLE AND APPURTENANCES REQUIRED TO MEET SPECIFICATIONS.

\* ITEM 531.57-P "9-INCH STREET NAME PLATE" (1-EA.) INCLUDES THE INSTALLATION OF (2) ONE-SIDED D3 SIGNS ON TOP OF EXISTING SIGN (I.E. STOP SIGN OR YIELD SIGN), EXTRA LENGTH POLE AND APPURTENANCES REQUIRED TO MEET SPECIFICATIONS.

1  
SCALE: N.T.S.

### GENERAL NOTES & GROUND SIGN MOUNTING (CITY OF SAN ANTONIO DEPARTMENT OF PUBLIC WORKS)

- THE EXISTING SIGNS LOCATED ON THE JOBSITE ARE THE PROPERTY OF THE CITY OF SAN ANTONIO. THROUGHOUT THE PERIOD OF THE CONTRACT, THE CONTRACTOR SHALL PROTECT THESE SIGNS SUCH THAT THEY ARE NOT DAMAGED IN THE COURSE OF CONSTRUCTION ACTIVITY. SUCH PROTECTION SHALL INCLUDE THE PERIOD AFTER SIGNS ARE REMOVED FROM INSTALLATION AND STORED BY THE CONTRACTOR OR DELIVERED TO TRAFFIC OPERATIONS. THE ASSISTANT TRAFFIC SUPERINTENDENT (207-7765) MUST BE NOTIFIED 48 HOURS IN ADVANCE PRIOR TO DELIVERY.
- AFTER SIGNS ARE REMOVED FROM INSTALLATION AND ARE BEING STORED BY THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE TRAFFIC OPERATIONS SECTION OF THE PUBLIC WORKS DEPARTMENT (207-7765) AND ARRANGE FOR A CONVENIENT TIME TO DELIVER CITY SIGNS AND POLES.
- PRIOR TO THE START OF CONSTRUCTION, ALL EXISTING SIGNS WITHIN THE AREA OF CONSTRUCTION WILL BE INVENTORIED AND DOCUMENTED JOINTLY BY THE TRAFFIC ENGINEERING (207-7720) CONSTRUCTION INSPECTION AND THE CONTRACTOR. THIS DOCUMENT WILL BE JOINTLY SIGNED BY BOTH PARTIES REFLECTING THE SIGN TYPE, SIGN SIZE, SIGN CONDITION, SIGN LOCATION, REFLECTIVITY ADEQUACY, ETC. THE CONTRACTOR IS HELD ACCOUNTABLE FOR THESE SIGNS THROUGHOUT THE PROJECT AND AT THE PROJECTS COMPLETION.
- ALL GROUND MOUNTED SIGNS SHALL USE HIGH INTENSITY REFLECTIVE SHEETING.
- ALL OVERHEAD SIGNS SHALL USE DIAMOND GRADE REFLECTIVE SHEETING.
- ALL BLANKS TO BE ALUMINUM ALLOY NO. 5052-H38.
- "T" DENOTES THICKNESS OF SIGN BLANKS.
- ALL HOLES SHALL BE 3/8" DIAMETER DRILLED OR PUNCHED AS SHOWN ON EACH BLANK DETAIL AND SHALL BE FREE OF BURRS AND /OR ROUGH EDGES.
- SIGN BLANK CORNERS TO BE ROUNDED AS SHOWN ON EACH DETAIL.
- ALL SIGN BLANK TO BE ETCHED, DEGREASED, AND HAVE AN ALODINE FINISH PRIOR TO APPLICATION OF LEGENDS.
- ALL DETAILS ARE NOT TO SCALE.
- ALL DIMENSIONS ARE IN INCHES.
- ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED IN CONFORMANCE TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND STANDARD HIGHWAY SIGNS (FHWA) LATEST EDITION.
- REINSTALLATION OF PREVIOUSLY EXISTING SIGNS, WHERE REQUIRED BY THE CITY TRAFFIC ENGINEER, SHALL BE AT THE CONTRACTOR'S EXPENSE.

#### TYPICAL GROUND SIGN INSTALLATION

TYPE "U" MOUNT  
PERFORATED SQUARE METAL TUBING (DRIVEABLE)

SIGN AREA  
(REFER TO TABLE A)

24" (MIN)  
FROM THE EDGE  
OF PAVEMENT  
OR CURB

3/8" x 1/2"  
DRIVE RIVET

DRIVE RIVET

CORNER BOLT  
FLANGED  
WASHER NUT

GALVANIZED SQUARE  
ANCHOR STUB  
(PERFORATED)

VIEW K-K

6" x 3/8" DIA.  
STEEL PIN OR  
DISFIGURE END  
OF ANCHOR

CLASS C  
CONCRETE  
FOOTING  
(MIN. 1 CU. FT.)

TOP 12" OF ANCHOR  
STUB MUST BE COVERED  
WITH TAPE TO KEEP  
POST FREE OF CEMENT.

NATURAL  
GROUND

GALVANIZED SQUARE  
SIGN POST INSERTED  
6" INTO ANCHOR STUB

CORNER BOLT  
FLANGED  
WASHER NUT

DRIVE RIVET

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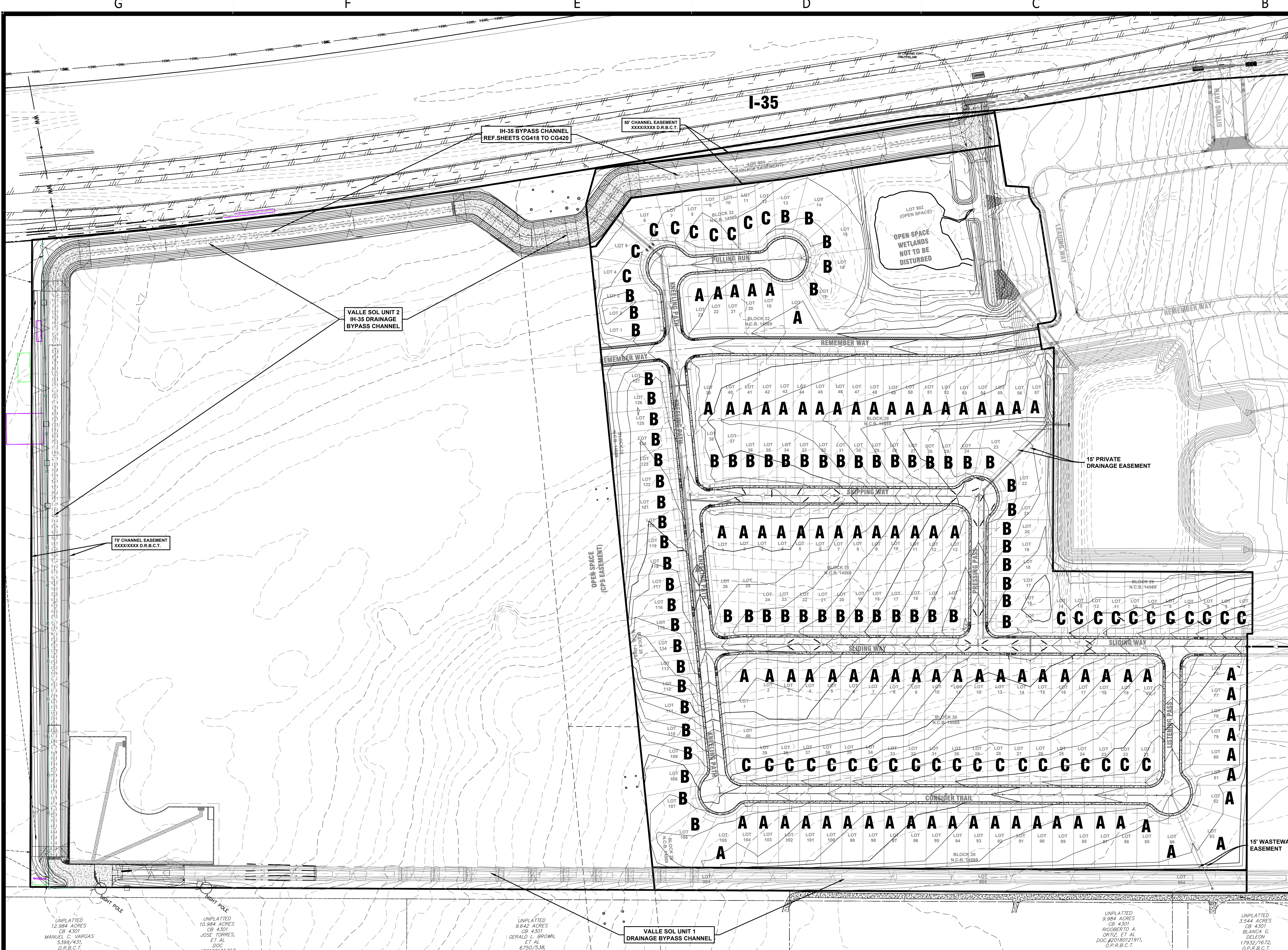
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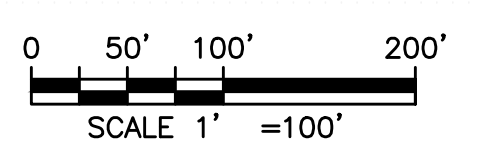
CORNER BOLT  
FLANGED  
WASHER NUT



FILE NAME: I:\PROJECTS\196 - VALLE SOL - UNIT 2 REDDESIGN\AS\196-2 - CG100 - UNIT 2 OVERALL GRADING PLAN.DWG  
LAST MODIFIED ON: January 22, 2024  
LAST PLOTTED ON: January 22, 2024  
PLOT STYLE: PLOT100.ctb  
PLOT STYLE FOR V10 UP PRODUCTION STANDARD.CTB



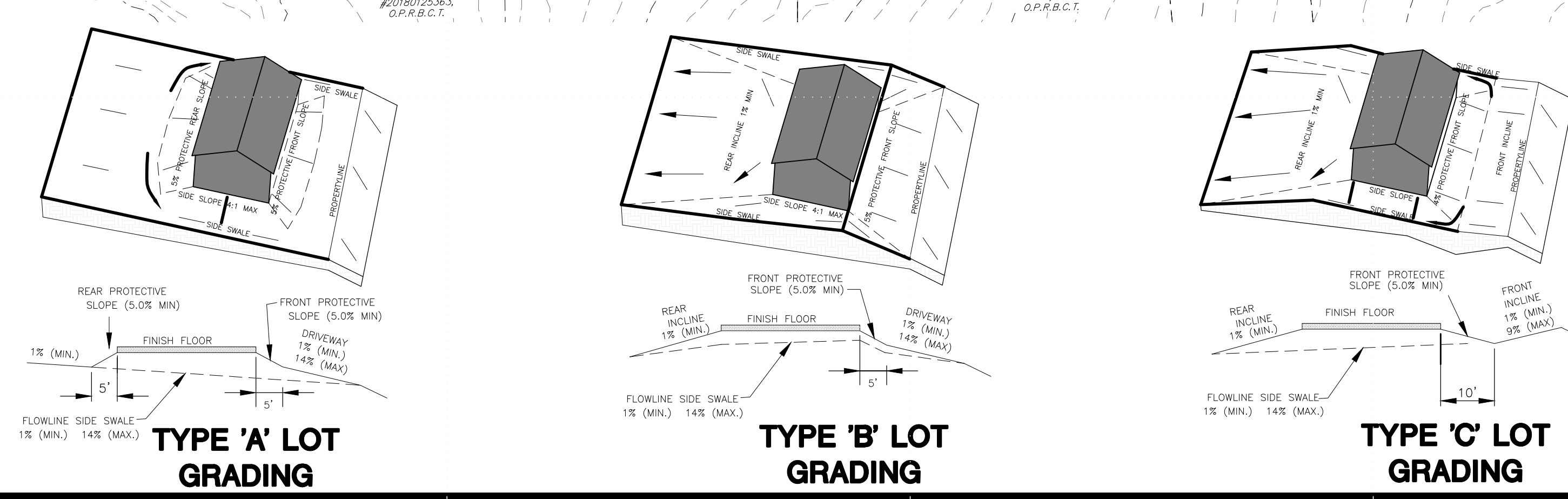
- LEGEND**
- BOUNDARY / RIGHT OF WAY
  - EASEMENT / SETBACK
  - CURB / EDGE OF PAVEMENT
  - SIDEWALK (HOME BUILDER'S RESPONSIBILITY)
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  - EXISTING GAS LINE
  - PROPOSED DRAINAGE
  - PROPOSED WASTEWATER LINE
  - EXISTING WASTEWATER LINE
  - EXISTING UTILITY POLE
  - EXISTING SIGN
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER VALVE
  - PROPOSED CAP/PLUG
  - EXISTING WATER METER
  - PROPOSED WATER METER
  - EXISTING GUY WIRE
  - PROPOSED WASTEWATER MANHOLE
  - EXISTING WASTEWATER MANHOLE
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  - PROPOSED 60" DRAINAGE MANHOLE
  - PROPOSED STREET LIGHT
  - PROPOSED WASTEWATER LATERAL
  - LOT DRAINS TO STREET
  - LOT DRAINS TO STREET & REAR
  - LOT DRAINS TO REAR



1 REVISED SHEET

- GENERAL NOTES - GRADING**
- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
  - REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
  - REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
  - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
  - REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  - REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  - REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
  - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
  - LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
  - THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
  - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
  - THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
  - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.

**!!!! CAUTION !!!!**  
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**ENGINEERING + SURVEYING**  
11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENROADSURVEYING.COM  
TBEELS E-10194068

1/22/24

STATE OF TEXAS  
111640  
RYAN R. PLAGENS  
LICENSED PROFESSIONAL ENGINEER

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

OVERALL GRADING

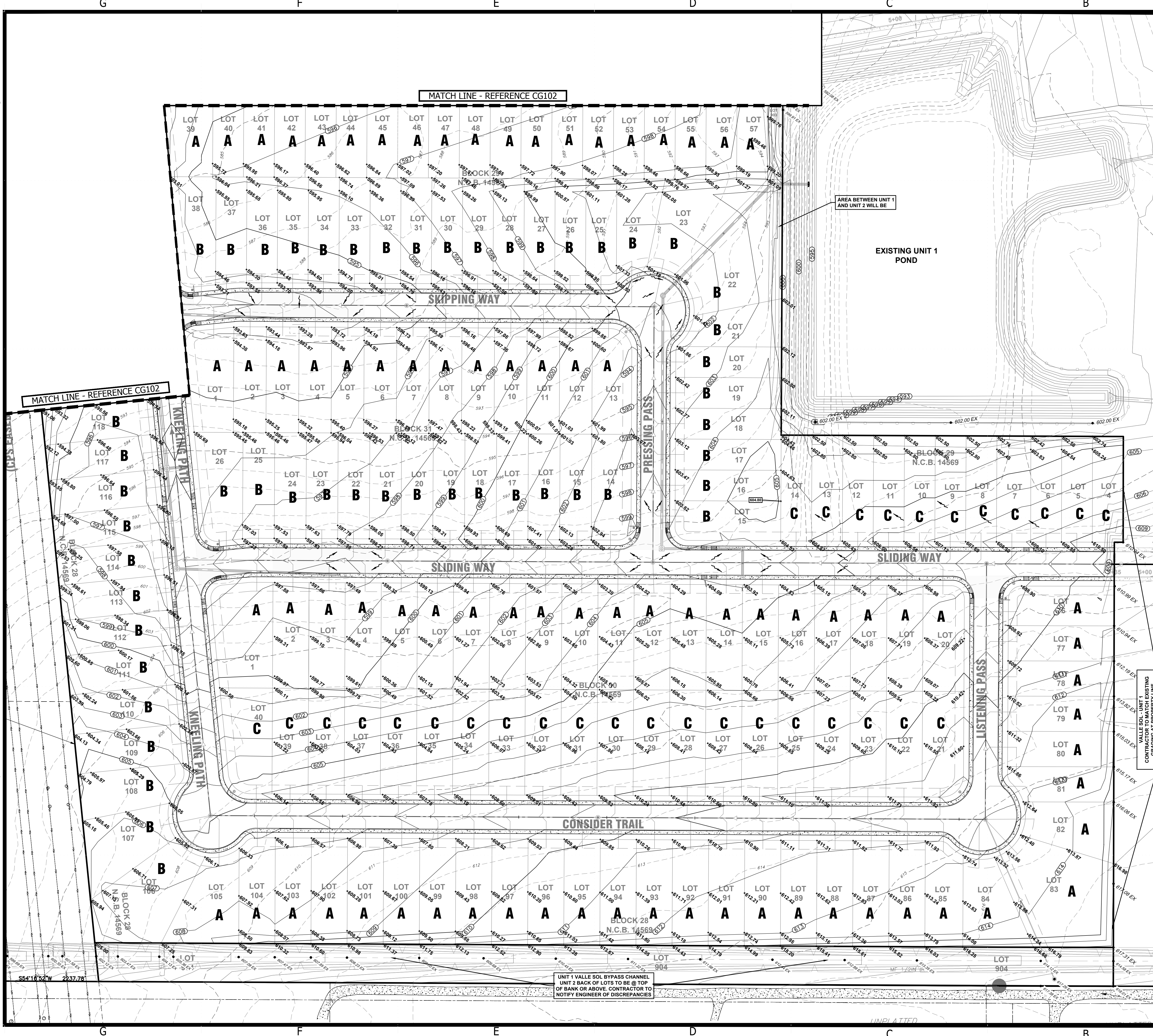
| REV | DATE    | DESCRIPTION                           | BY  |
|-----|---------|---------------------------------------|-----|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

DESIGNED BY: JOS/ITS  
DRAFTED BY: JOS  
CHECKED BY: NFU/RRP

SHEET  
**CG100**  
31 OF 75



PROJECT: VALLE SOL UNIT 2 SUBDIVISION GRADING PLAN NO. 22-11800251  
LAST MODIFIED: 01/22/2024  
PLOT TITLE: VALLE SOL UNIT 2 SUBDIVISION GRADING PLAN NO. 22-11800251  
PLOT DATE: 01/22/2024  
PLOT SCALE: 1" = 50'



**LEGEND**

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VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

GRADING PLAN 1

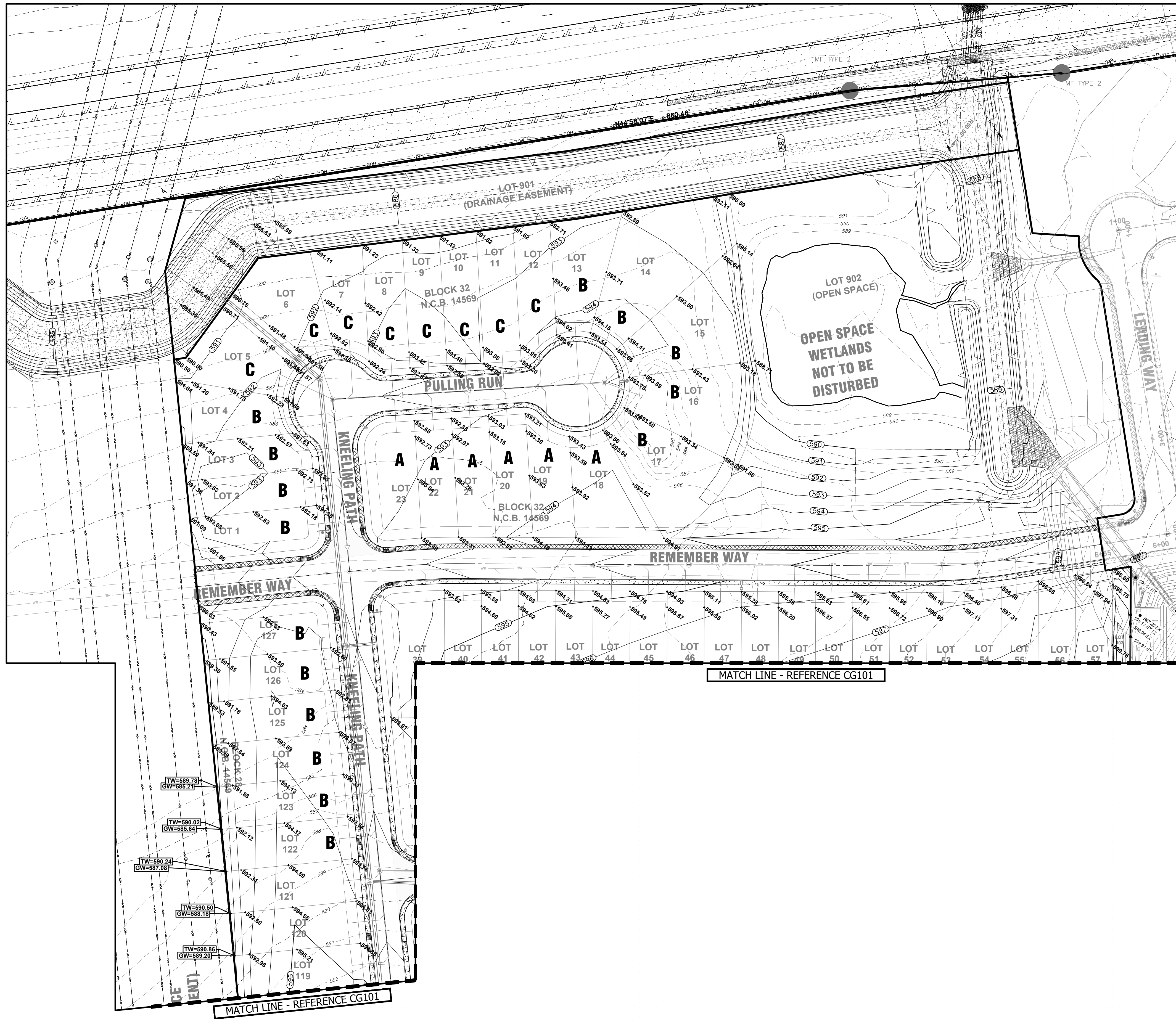
| REV | DATE    | DESCRIPTION                           | JO | BY |
|-----|---------|---------------------------------------|----|----|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JO | BY |

DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFUR/PP

SHEET  
**CG101**  
32 OF 75



PROJECT: VALLE SOL UNIT 2 SUBDIVISION, PLAT NO. 22-11800251, UNIT 2 OVERALL GRADING PLANS  
LAST MODIFIED ON: January 22, 2024  
PLOT TITLE: V15 (P) PRODUCTION STANDARD CTS



**LEGEND**

|        |  |   |                                  |
|--------|--|---|----------------------------------|
| —      | BOUNDARY / RIGHT OF WAY                  | — | EXISTING WASTEWATER MANHOLE      |
| - - -  | EASEMENT / SETBACK                       | + | EXISTING WASTEWATER JUNCTION BOX |
| —      | CURB / EDGE OF PAVEMENT                  | + | PROPOSED CURB INLET              |
| XXXXXX | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) | + | PROPOSED 60" DRAINAGE MANHOLE    |
| XXXXXX | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    | + | PROPOSED STREET LIGHT            |
| - - -  | EXIST. GRADE ELEVATIONS                  | + | PROPOSED WASTEWATER LATERAL      |
| (102)  | PROP. GRADE ELEVATIONS                   |   |                                  |
| W      | EXISTING WATER LINE                      |   |                                  |
| W      | PROPOSED WATER LINE                      |   |                                  |
| — OE — | EXISTING OVERHEAD UTILITIES              |   |                                  |
| — UE — | EXISTING UNDERGROUND ELECTRIC            |   |                                  |
| — G —  | EXISTING GAS LINE                        |   |                                  |
| —      | PROPOSED DRAINAGE                        |   |                                  |
| —      | PROPOSED WASTEWATER LINE                 |   |                                  |
| — WW — | EXISTING WASTEWATER LINE                 |   |                                  |
| —      | EXISTING UTILITY POLE                    |   |                                  |
| +      | EXISTING SIGN                            |   |                                  |
| +      | EXISTING FIRE HYDRANT                    |   |                                  |
| +      | PROPOSED FIRE HYDRANT                    |   |                                  |
| +      | PROPOSED WATER VALVE                     |   |                                  |
| +      | PROPOSED CAP/PLUG                        |   |                                  |
| +      | EXISTING WATER METER                     |   |                                  |
| +      | PROPOSED WATER METER                     |   |                                  |
| +      | EXISTING GUY WIRE                        |   |                                  |
| +      | PROPOSED WASTEWATER MANHOLE              |   |                                  |

**A** LOT DRAINS TO STREET  
**B** LOT DRAINS TO STREET & REAR  
**C** LOT DRAINS TO REAR

SCALE 1" = 200'

0 100' 200' 400'

1 REVISED SHEET

- GENERAL NOTES - GRADING**
- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
  - REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
  - REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
  - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
  - REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  - REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  - REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
  - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
  - LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
  - THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
  - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
  - THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
  - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARD DETAILS AND SPECIFICATIONS.

**!!!! CAUTION !!!!**

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESTS @ 1-800-DIG-TESTS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

GRADING PLAN 2

| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFUR/RR |                                       |     |

SHEET  
**CG102**  
33 OF 75

**UP ENGINEERING + SURVEYING**  
11903 JONES WALKER, SUITE 102  
SAN ANTONIO, TX 78216  
TEL 210-774-5504  
WWW.UPENGINEERING.COM  
TIFELS E-10194606







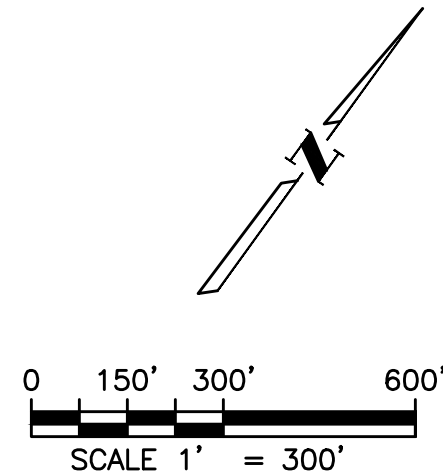
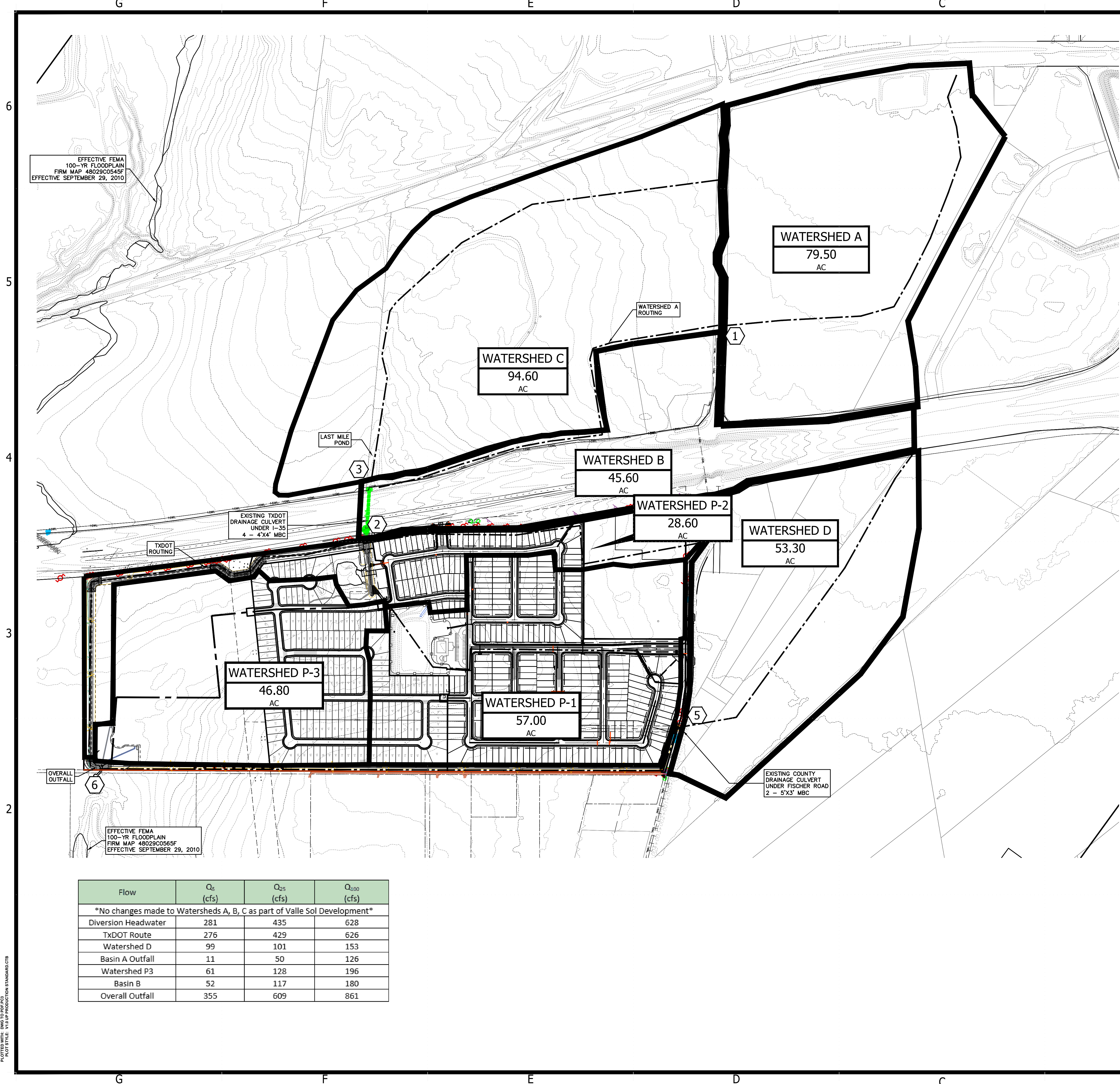
| Flow                    | Q <sub>5</sub><br>(cfs) | Q <sub>25</sub><br>(cfs) | Q <sub>100</sub><br>(cfs) |
|-------------------------|-------------------------|--------------------------|---------------------------|
| Watershed A             | 252                     | 373                      | 475                       |
| Watershed B             | 223                     | 326                      | 411                       |
| Watershed C             | 199                     | 342                      | 472                       |
| Outfall (TxDOT Culvert) | 294                     | 443                      | 628                       |
| Watershed D             | 79                      | 143                      | 200                       |
| Watershed E             | 36                      | 138                      | 257                       |
| Onsite Outfall          | 110                     | 276                      | 452                       |
| Overall Outfall         | 389                     | 694                      | 998                       |

- ## GENERAL NOTES (ALL SHEETS)
1. EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
  2. REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
  3. REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
  4. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
  5. REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  6. REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  7. REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
  8. IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE FINAL ACCEPTANCE.
  9. ALL STORM DRAINAGE PIPE WITHIN THE PUBLIC ROW SHALL BE MIN. RCP (REINFORCED CONCRETE PIPE)
  10. PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM C.I. OF STRUCTURES TO C.I. OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.
  11. ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
  12. LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
  13. CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
  14. THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
  15. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
  16. CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX. SEE SHEETS C012, C015, C016, C017, C018, C019, C020, C021, C022, C023, C024, C025, C026, C027, C028, C029, C030, C031, C032, C033, C034, C035, C036, C037, C038, C039, C040, C041, C042, C043, C044, C045, C046, C047, C048, C049, C050, C051, C052, C053, C054, C055, C056, C057, C058, C059, C060, C061, C062, C063, C064, C065, C066, C067, C068, C069, C070, C071, C072, C073, C074, C075, C076, C077, C078, C079, C080, C081, C082, C083, C084, C085, C086, C087, C088, C089, C090, C091, C092, C093, C094, C095, C096, C097, C098, C099, C100, C101, C102, C103, C104, C105, C106, C107, C108, C109, C110, C111, C112, C113, C114, C115, C116, C117, C118, C119, C120, C121, C122, C123, C124, C125, C126, C127, C128, C129, C130, C131, C132, C133, C134, C135, C136, C137, C138, C139, C140, C141, C142, C143, C144, C145, C146, C147, C148, C149, C150, C151, C152, C153, C154, C155, C156, C157, C158, C159, C160, C161, C162, C163, C164, C165, C166, C167, C168, C169, C170, C171, C172, C173, C174, C175, C176, C177, C178, C179, C180, C181, C182, C183, C184, C185, C186, C187, C188, C189, C190, C191, C192, C193, C194, C195, C196, C197, C198, C199, C200, C201, C202, C203, C204, C205, C206, C207, C208, C209, C210, C211, C212, C213, C214, C215, C216, C217, C218, C219, C220, C221, C222, C223, C224, C225, C226, C227, C228, C229, C230, C231, C232, C233, C234, C235, C236, C237, C238, C239, C240, C241, C242, C243, C244, C245, C246, C247, C248, C249, C250, C251, C252, C253, C254, C255, C256, C257, C258, C259, C260, C261, C262, C263, C264, C265, C266, C267, C268, C269, C270, C271, C272, C273, C274, C275, C276, C277, C278, C279, C280, C281, C282, C283, C284, C285, C286, C287, C288, C289, C290, C291, C292, C293, C294, C295, C296, C297, C298, C299, C300, C301, C302, C303, C304, C305, C306, C307, C308, C309, C310, C311, C312, C313, C314, C315, C316, C317, C318, C319, C320, C321, C322, C323, C324, C325, C326, C327, C328, C329, C330, C331, C332, C333, C334, C335, C336, C337, C338, C339, C340, C341, C342, C343, C344, C345, C346, C347, C348, C349, C350, C351, C352, C353, C354, C355, C356, C357, C358, C359, C360, C361, C362, C363, C364, C365, C366, C367, C368, C369, C370, C371, C372, C373, C374, C375, C376, C377, C378, C379, C380, C381, C382, C383, C384, C385, C386, C387, C388, C389, C390, C391, C392, C393, C394, C395, C396, C397, C398, C399, C400, C401, C402, C403, C404, C405, C406, C407, C408, C409, C410, C411, C412, C413, C414, C415, C416, C417, C418, C419, C420, C421, C422, C423, C424, C425, C426, C427, C428, C429, C430, C431, C432, C433, C434, C435, C436, C437, C438, C439, C440, C441, C442, C443, C444, C445, C446, C447, C448, C449, C450, C451, C452, C453, C454, C455, C456, C457, C458, C459, C460, C461, C462, C463, C464, C465, C466, C467, C468, C469, C470, C471, C472, C473, C474, C475, C476, C477, C478, C479, C480, C481, C482, C483, C484, C485, C486, C487, C488, C489, C490, C491, C492, C493, C494, C495, C496, C497, C498, C499, C500, C501, C502, C503, C504, C505, C506, C507, C508, C509, C510, C511, C512, C513, C514, C515, C516, C517, C518, C519, C520, C521, C522, C523, C524, C525, C526, C527, C528, C529, C530, C531, C532, C533, C534, C535, C536, C537, C538, C539, C540, C541, C542, C543, C544, C545, C546, C547, C548, C549, C550, C551, C552, C553, C554, C555, C556, C557, C558, C559, C560, C561, C562, C563, C564, C565, C566, C567, C568, C569, C570, C571, C572, C573, C574, C575, C576, C577, C578, C579, C580, C581, C582, C583, C584, C585, C586, C587, C588, C589, C590, C591, C592, C593, C594, C595, C596, C597, C598, C599, C600, C601, C602, C603, C604, C605, C606, C607, C608, C609, C610, C611, C612, C613, C614, C615, C616, C617, C618, C619, C620, C621, C622, C623, C624, C625, C626, C627, C628, C629, C630, C631, C632, C633, C634, C635, C636, C637, C638, C639, C640, C641, C642, C643, C644, C645, C646, C647, C648, C649, C650, C651, C652, C653, C654, C655, C656, C657, C658, C659, C660, C661, C662, C663, C664, C665, C666, C667, C668, C669, C670, C671, C672, C673, C674, C675, C676, C677, C67

**CAUTION!!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.



PROJECT: VALLE SOL UNIT 2 SUBDIVISION  
SHEET: CG300  
DATE: 1/21/24  
LAST MODIFIED ON: 1/21/24  
PLOT TITLE: V15 (P) PRODUCTION STANDARD CTR



LEGEND

- DRAINAGE POINT
- WATERSHED
- AC
- EXIST. CONTOUR
- Tc PATH
- DRAINAGE AREA

DRAINAGE NOTES:

- SCS CURVE METHOD WAS USED TO DEVELOP EXISTING, PROPOSED, AND ULTIMATE CONDITIONS FOR THE OVERALL AREA.
- SITE RESIDES IN CITY OF SAN ANTONIO PARTICIPATION AREA 4. CORRESPONDING ATLAS 14 DEPTH DURATION FREQUENCIES (DDF) WERE UTILIZED FOR THE DRAINAGE ANALYSIS. DDF VALUES WERE BASED ON THE 24-HOUR RAINFALL STORM EVENT FOR EACH RESPECTIVE WATERSHED.
- CN VALUES ARE BASED ON SITE CONDITIONS AND THE CORRELATING HYDROLOGICAL SOIL OBTAIN FROM THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY (WSS) SOIL SURVEY GEOGRAPHIC (SSURGO)

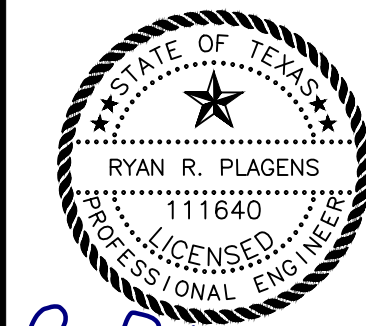
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
PROPOSED FULL DEVELOPMENT  
DRAINAGE AREA MAP

| REV          | DATE    | DESCRIPTION                           |
|--------------|---------|---------------------------------------|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| DESIGNED BY: | JOS/TS  |                                       |
| DRAFTED BY:  | JOS     |                                       |
| CHECKED BY:  | NFURRP  |                                       |

SHEET  
CG300  
35 OF 75

UP  
ENGINEERING  
+ SURVEYING  
11903 JONES VALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM E-10194606

LENAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216





FILE NAME: \\P\PROJECTS\196 - VALLE SOL\UNIT 2\DESIGN\CAD\SHETS\196-2 - CG302 - UNIT 2 DRAINAGE CALCULATIONS.DWG  
LAST MODIFIED ON: January 21, 2024  
LAST PLOTTED ON: January 21, 2024  
PLOT FILE: \\P\PROJECTS\196 - VALLE SOL\UNIT 2\DESIGN\CAD\SHETS\196-2 - CG302 - UNIT 2 DRAINAGE CALCULATIONS.DWG  
PLOT STYLE: V16 (P) PRODUCTION STANDARD.CTB

STREET CAPACITY CALCULATIONS

| STREET NAME    | STA START | STA END | DRAINAGE AREA | STREET CLASSIFICATION | ROW WIDTH (ft) | PAVEMENT WIDTH (FT) | MIN SLOPE (%) | MAX SLOPE (%) | VELOCITY (FPS) | TOC CAPACITY (CFS) | Q5 (cfs) | Q25 (cfs) | ROW CAPACITY (CFS) |
|----------------|-----------|---------|---------------|-----------------------|----------------|---------------------|---------------|---------------|----------------|--------------------|----------|-----------|--------------------|
| LISTENING PASS | 1+00      | 3+90    | 2B            | LOCAL A               | 50             | 28                  | 1.00%         | 2.00%         | 2.94           | 59.39              | 9.10     | 12.48     | 61.54              |
| CONSIDER TRAIL | 1+49      | 9+35    | 2C            | LOCAL A               | 50             | 28                  | 0.50%         | 1.00%         | 2.64           | 41.99              | 13.74    | 18.82     | 43.52              |
| SLIDING WAY    | 5+35      | 10+00   | 2B            | LOCAL A               | 50             | 28                  | 0.50%         | 2.02%         | 3.20           | 41.99              | 9.10     | 12.48     | 43.52              |
| SLIDING WAY    | 10+00     | 15+90   | 2D            | LOCAL A               | 50             | 28                  | 0.50%         | 2.00%         | 3.19           | 41.99              | 12.66    | 17.33     | 43.52              |
| PRESSING PASS  | 1+00      | 3+90    | 2E            | LOCAL A               | 50             | 28                  | 1.50%         | 2.00%         | 2.94           | 72.73              | 4.55     | 6.37      | 75.37              |
| SKIPPING WAY   | 1+00      | 6+61    | 2G            | LOCAL A               | 50             | 28                  | 0.50%         | 2.52%         | 3.24           | 41.99              | 9.48     | 12.99     | 43.52              |
| PULLING RUN    | 1+00      | 3+11    | 2O            | LOCAL A               | 50             | 28                  | 0.50%         | 0.50%         | 1.53           | 41.99              | 2.80     | 3.85      | 43.52              |
| KNEELING PATH  | 1+00      | 5+00    | 2C            | LOCAL A               | 50             | 28                  | 0.50%         | 5.01%         | 4.57           | 41.99              | 13.74    | 18.82     | 43.52              |
| KNEELING PATH  | 5+00      | 9+50    | 2I            | LOCAL A               | 50             | 28                  | 0.50%         | 1.47%         | 2.13           | 41.99              | 4.01     | 5.54      | 43.52              |
| KNEELING PATH  | 9+50      | 11+30   | 2O            | LOCAL A               | 50             | 28                  | 0.50%         | 0.50%         | 1.94           | 41.99              | 2.80     | 3.85      | 43.52              |
| REMEMBER WAY   | 6+55      | 13+65   | 2H+1P         | LOCAL A               | 50             | 28                  | 0.50%         | 0.64%         | 2.20           | 41.99              | 12.08    | 16.56     | 61.54              |
| REMEMBER WAY   | 13+65     | 17+50   | 2H+1P         | LOCAL A               | 50             | 28                  | 0.64%         | 1.93%         | 3.47           | 41.99              | 12.08    | 16.56     | 43.52              |

STORM INLET CAPACITY CALCULATIONS

| INLET LOCATION  | INLET NAME         | INLET TYPE | DRAINAGE AREA | Q25 Calc (cfs) | Hw   | REQUIRED LENGTH (FT) | PROVIDED LENGTH (FT) | Allowable Q (cfs) |
|---|--------------------|------------|---------------|----------------|------|----------------------|----------------------|-------------------|
| STORM DRAIN D   |                    |            |               |                |      |                      |                      |                   |
| SLIDING WAY   | SDL-D1 INLET 1 & 2 | IN SAG     | 2B            | 12.48          | 0.79 | 5.76                 | 10.00                | 21.68             |
| PRESSING PASS   | SDL-D CURB INLET 1 | IN SAG     | 2E            | 6.37           | 0.79 | 2.94                 | 5.00                 | 10.84             |
| STORM DRAIN A   |                    |            |               |                |      |                      |                      |                   |
| SLIDING WAY   | SDL-A2-INLET 1 & 2 | IN SAG     | 2D            | 17.33          | 0.79 | 8.00                 | 10.00                | 21.68             |
| KNEELING PATH   | SDL-A3-INLET 1 & 2 | IN SAG     | 2C            | 18.82          | 0.79 | 8.68                 | 10.00                | 21.68             |
| KNEELING PATH   | SDL-A3-INLET 1 & 2 | IN SAG     | 2I            | 5.54           | 0.79 | 2.56                 | 10.00                | 21.68             |
| KNEELING PATH   | SDL-A-INLET 1      | IN SAG     | 2O            | 3.92           | 0.79 | 1.81                 | 10.00                | 21.68             |
| STORM DRAIN B   |                    |            |               |                |      |                      |                      |                   |
| SKIPPING WAY  | SDL-B INLET 1      | IN SAG     | 2G            | 12.99          | 0.79 | 5.99                 | 10.00                | 21.68             |
| Weir Eqn = $Q = C_w L H_w^{3/2}$                                    |                    |            |               |                |      |                      |                      |                   |
| C <sub>w</sub> = weir coefficient                                   |                    |            |               |                |      |                      |                      |                   |
| H <sub>w</sub> = Depth of Flow above the elevation of crest in feet |                    |            |               |                |      |                      |                      |                   |
| L = Effective length of crest in feet                               |                    |            |               |                |      |                      |                      |                   |

CHANNEL CAPACITY CALCULATIONS

| CHANNEL CAPACITY - VALE SOL |       |           |                |                |                    |                   |                        |                    |                        |  |  |
|-----------------------------|-------|-----------|----------------|----------------|--------------------|-------------------|------------------------|--------------------|------------------------|--|--|
| CHANNEL NAME                | n     | SLOPE (%) | TOP WIDTH (FT) | BTM WIDTH (FT) | CHANNEL DEPTH (FT) | NORMAL DEPTH (FT) | CHANNEL VELOCITY (FPS) | 100 YR STORM EVENT | CHANNEL CAPACITY (CFS) |  |  |
| TXDOT BYPASS CHANNEL        | 0.015 | 0.30%     | 43             | 10             | 3                  | 2.4               | 9.12                   | 625                | 970                    |  |  |
| TXDOT BYPASS CHANNEL        | 0.035 | 0.29%     | 65             | 25             | 5                  | 3.8               | 5.37                   | 625                | 1046                   |  |  |
| TXDOT BYPASS CHANNEL        | 0.035 | 0.29%     | 75             | 35             | 5                  | 3.4               | 5.51                   | 625                | 1240                   |  |  |

CHANNEL BENDS AND TURNS

| CHANNEL NAME         | CHANNEL TYPE    | CHANNEL BTM WIDTH (FT) | AVG APPROACH VELOCITY (FPS) | WIDTH OF FLOW AT WATER SURFACE (FT) | RADIUS OF TURN/BEND (FT) | ADDITIONAL FREEBOARD NEEDED (FT) |
|----------------------|-----------------|------------------------|-----------------------------|-------------------------------------|--------------------------|----------------------------------|
| TXDOT BYPASS CHANNEL | EARTHEN CHANNEL | 35                     | 3.56                        | 60.00                               | 75.00                    | 0.249                            |

DETAILED RUNOFF CALCULATIONS

| Runoff Flow Rates           |                |                    |          |                        |                         |                         |                          |      |                      |                       |                       |                        |  |
|-----------------------------|----------------|--------------------|----------|------------------------|-------------------------|-------------------------|--------------------------|------|----------------------|-----------------------|-----------------------|------------------------|--|
| PHASE 2 PROPOSED CONDITIONS |                |                    |          |                        |                         |                         |                          |      |                      |                       |                       |                        |  |
| Ref Point                   | Drainage Areas | Drainage Area (ac) | Tc (min) | I <sub>5</sub> (in/hr) | I <sub>10</sub> (in/hr) | I <sub>25</sub> (in/hr) | I <sub>100</sub> (in/hr) | C    | Q <sub>5</sub> (cfs) | Q <sub>10</sub> (cfs) | Q <sub>25</sub> (cfs) | Q <sub>100</sub> (cfs) |  |
|                             | 1P             | 0.92               | 21.6     | 4.34                   | 5.02                    | 5.97                    | 7.41                     | 0.72 | 2.9                  | 3.3                   | 4.0                   | 4.9                    |  |
| 1                           | 2A             | 1.07               | 16.2     | 5.03                   | 5.83                    | 6.94                    | 8.65                     | 0.72 | 3.9                  | 4.5                   | 5.3                   | 6.7                    |  |
| 2                           | 2B             | 3.08               | 24.2     | 4.10                   | 4.73                    | 5.63                    | 6.98                     | 0.72 | 9.1                  | 10.5                  | 12.5                  | 15.5                   |  |
| 3                           | 2C             | 5.29               | 31.2     | 3.61                   | 4.16                    | 4.94                    | 6.12                     | 0.72 | 13.7                 | 15.8                  | 18.8                  | 23.3                   |  |
| 4                           | 2D             | 4.37               | 25.2     | 4.02                   | 4.63                    | 5.51                    | 6.83                     | 0.72 | 12.7                 | 14.6                  | 17.3                  | 21.5                   |  |
| 5                           | 2E             | 0.87               | 6.4      | 7.26                   | 8.50                    | 10.17                   | 12.72                    | 0.72 | 4.5                  | 5.3                   | 6.4                   | 8.0                    |  |
| 6                           | 2F             | 1.11               | 20.0     | 4.51                   | 5.22                    | 6.21                    | 7.71                     | 0.72 | 3.6                  | 4.2                   | 5.0                   | 6.2                    |  |
| 7                           | 2G             | 3.14               | 23.2     | 4.19                   | 4.84                    | 5.75                    | 7.14                     | 0.72 | 9.5                  | 10.9                  | 13.0                  | 16.1                   |  |
| 8                           | 2H             | 3.88               | 29.8     | 3.69                   | 4.25                    | 5.06                    | 6.27                     | 0.72 | 10.3                 | 11.9                  | 14.1                  | 17.5                   |  |
| 8                           | 2H+1P          | 4.80               | 33.1     | 3.50                   | 4.02                    | 4.79                    | 5.94                     | 0.72 | 12.1                 | 13.9                  | 16.6                  | 20.5                   |  |
| 9                           | 2I             | 1.07               | 15.2     | 5.20                   | 6.04                    | 7.19                    | 8.97                     | 0.72 | 4.0                  | 4.7                   | 5.5                   | 6.9                    |  |
| 10                          | 2J             | 2.39               | 20.7     | 4.43                   | 5.13                    | 6.10                    | 7.58                     | 0.72 | 7.6                  | 8.8                   | 10.5                  | 13.0                   |  |
| 11                          | 2K             | 2.89               | 17.3     | 4.87                   | 5.63                    | 6.70                    | 8.34                     | 0.60 | 8.4                  | 9.8                   | 11.6                  | 14.5                   |  |
| 12                          | 2L             | 0.82               | 21.0     | 4.40                   | 5.09                    | 6.05                    | 7.52                     | 0.56 | 2.0                  | 2.3                   | 2.8                   | 3.5                    |  |
| 13                          | 2M             | 2.35               | 25.1     | 4.03                   | 4.64                    | 5.52                    | 6.85                     | 0.56 | 5.3                  | 6.1                   | 7.3                   | 9.0                    |  |
| 14                          | 2N             | 3.44               | 22.7     | 4.24                   | 4.89                    | 5.81                    | 7.22                     | 0.56 | 8.2                  | 9.4                   | 11.2                  | 13.9                   |  |
| 15                          | 2O             | 1.14               | 21.1     | 4.39                   | 5.08                    | 6.04                    | 7.50                     | 0.56 | 2.8                  | 3.2                   | 3.9                   | 4.8                    |  |

| T. Calculations - SITE            |   |                       |               |               |               |               |               |               |               |               |               |               |               |
|-----------------------------------|---|-----------------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|
|                                   |   | POINT AREA CALCULATED | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE |
| Time of Concentration             |   | Variable              | 15%           | 10%           | 5%            | 1%            | 0.5%          | 0.2%          | 0.1%          | 0.05%         | 0.02%         | 0.01%         | 0.005%        |
| Overland (List Area)              | L | ft                    | 117           | 141           | 176           | 155           | 135           | 100           | 75            | 55            | 45            | 35            | 25            |
|                                   | S | ft/s                  | 0.433         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         |
|                                   | T | ft/s                  | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         |
|                                   | T | ft/s                  | 15.22         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         | 20.88         |
| Channelized (Impound) (List Area) | L | ft                    | 0.27          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Channelized (Impound) (List Area) | L | ft                    |               |               |               |               |               |               |               |               |               |               |               |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Channelized (Impound) (List Area) | L | ft                    |               |               |               |               |               |               |               |               |               |               |               |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Total Time of Concentration       |   | Tc                    | min           | 35.2          | 24.2          | 15.2          | 15.2          | 6.4           | 20.9          | 21.2          | 20.8          | 15.1          | 25.2          |
|                                   |   | Tc                    | hr            | 0.58          | 0.40          | 0.25          | 0.25          | 0.11          | 0.35          | 0.35          | 0.35          | 0.25          | 0.42          |

| T. Calculations - SITE            |   |                       |               |               |               |               |               |               |               |               |               |               |               |
|-----------------------------------|---|-----------------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|
|                                   |   | POINT AREA CALCULATED | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE | PROPOSED SITE |
| Time of Concentration             |   | Variable              | 15%           | 10%           | 5%            | 1%            | 0.5%          | 0.2%          | 0.1%          | 0.05%         | 0.02%         | 0.01%         | 0.005%        |
| Overland (List Area)              | L | ft                    | 48            | 120           | 120           | 115           | 135           | 135           |               |               |               |               |               |
|                                   | S | ft/s                  | 0.433         | 0.422         | 0.422         | 0.422         | 0.422         | 0.422         |               |               |               |               |               |
|                                   | T | ft/s                  | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         | 0.001         |               |               |               |               |               |
|                                   | T | ft/s                  | 13.35         | 14.58         | 15.77         | 16.88         | 18.00         | 19.00         |               |               |               |               |               |
| Channelized (Impound) (List Area) | L | ft                    | 0.22          | 0.13          | 0.13          | 0.13          | 0.13          | 0.13          |               |               |               |               |               |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Channelized (Impound) (List Area) | L | ft                    |               |               |               |               |               |               |               |               |               |               |               |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Channelized (Impound) (List Area) | L | ft                    |               |               |               |               |               |               |               |               |               |               |               |
|                                   | S | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
|                                   | T | ft/s                  |               |               |               |               |               |               |               |               |               |               |               |
| Total Time of Concentration       |   | Tc                    | min           | 35.2          | 22.3          | 21.0          | 25.8          | 22.7          | 21.1          | 0.0           | 0.0           | 0.0           | 0.0           |
|                                   |   | Tc                    | hr            | 0.58          | 0.37          | 0.35          | 0.43          | 0.38          | 0.35          | 0.00          | 0.00          | 0.00          | 0.00          |

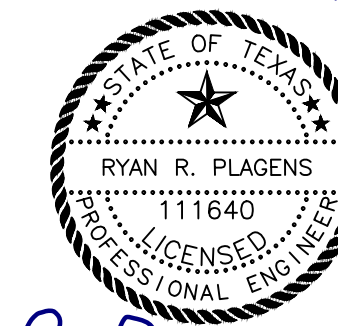
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

DRAINAGE CALCULATIONS

| REV                 | DATE    | DESCRIPTION                           | BY  |
|---------------------|---------|---------------------------------------|-----|
| 1                   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: JOS/TS |         |                                       |     |
| DRAFTED BY: JOS     |         |                                       |     |
| CHECKED BY: NFUR/PP |         |                                       |     |

SHEET  
CG302

36 OF 75



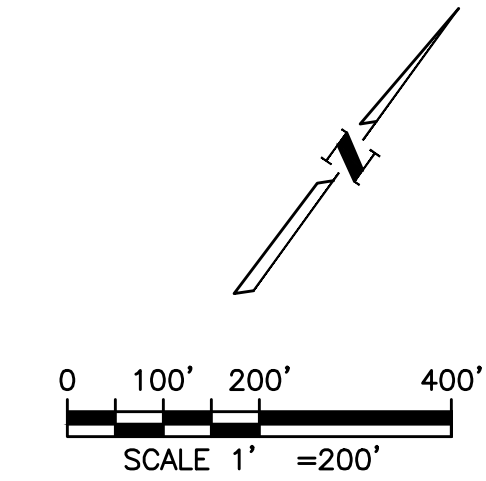
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

UP  
ENGINEERING  
+ SURVEYING  
11903 JONES WALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENENGINEERING.COM  
TBEELS E-10194606

1 REVISED SHEET



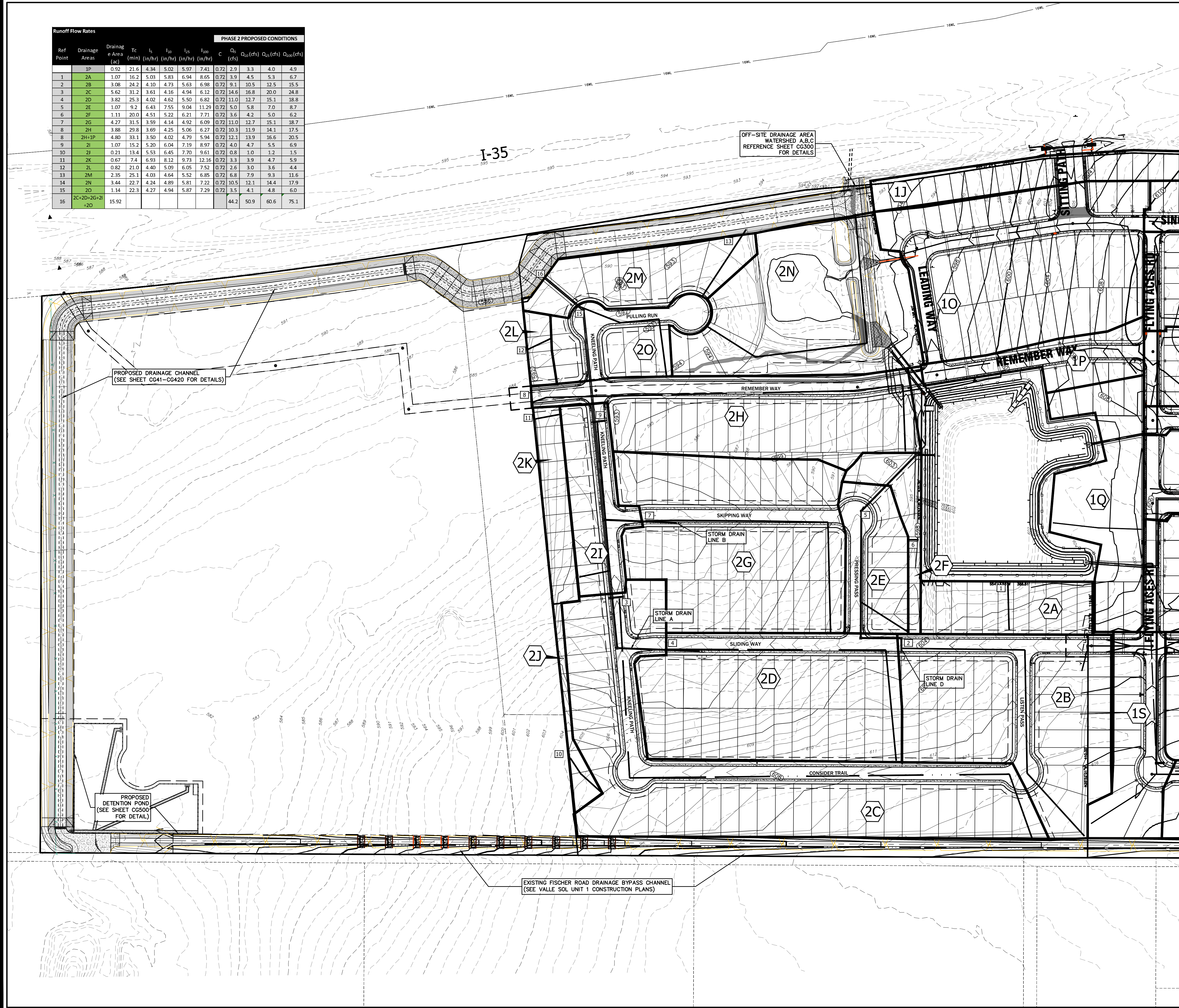
| Runoff Flow Rates           |                    |          |                        |                         |                         |                         |      |                      |                       |                       |                       |                       |                        |
|-----------------------------|--------------------|----------|------------------------|-------------------------|-------------------------|-------------------------|------|----------------------|-----------------------|-----------------------|-----------------------|-----------------------|------------------------|
| PHASE 2 PROPOSED CONDITIONS |                    |          |                        |                         |                         |                         |      |                      |                       |                       |                       |                       |                        |
| Ref Point                   | Drainage Area (ac) | Tc (min) | I <sub>s</sub> (in/hr) | I <sub>10</sub> (in/hr) | I <sub>15</sub> (in/hr) | I <sub>30</sub> (in/hr) | C    | Q <sub>s</sub> (cfs) | Q <sub>10</sub> (cfs) | Q <sub>15</sub> (cfs) | Q <sub>30</sub> (cfs) | Q <sub>60</sub> (cfs) | Q <sub>120</sub> (cfs) |
| 1P                          | 0.92               | 21.6     | 4.34                   | 5.02                    | 5.97                    | 7.41                    | 0.72 | 2.9                  | 3.3                   | 4.0                   | 4.9                   |                       |                        |
| 2A                          | 1.07               | 16.2     | 5.03                   | 5.83                    | 6.94                    | 8.65                    | 0.72 | 3.9                  | 4.5                   | 5.3                   | 6.7                   |                       |                        |
| 2B                          | 3.08               | 24.2     | 4.10                   | 4.73                    | 5.63                    | 6.98                    | 0.72 | 9.1                  | 10.5                  | 12.5                  | 15.5                  |                       |                        |
| 2C                          | 5.62               | 31.2     | 3.61                   | 4.16                    | 4.94                    | 6.12                    | 0.72 | 14.6                 | 16.8                  | 20.0                  | 24.8                  |                       |                        |
| 2D                          | 3.82               | 25.3     | 4.02                   | 4.62                    | 5.50                    | 6.82                    | 0.72 | 11.0                 | 12.7                  | 15.1                  | 18.8                  |                       |                        |
| 2E                          | 1.07               | 9.2      | 6.43                   | 7.55                    | 9.04                    | 11.29                   | 0.72 | 5.0                  | 5.8                   | 7.0                   | 8.7                   |                       |                        |
| 2F                          | 1.11               | 20.0     | 4.51                   | 5.22                    | 6.21                    | 7.71                    | 0.72 | 3.6                  | 4.2                   | 5.0                   | 6.2                   |                       |                        |
| 2G                          | 4.27               | 31.5     | 3.59                   | 4.14                    | 4.92                    | 6.09                    | 0.72 | 11.0                 | 12.7                  | 15.1                  | 18.7                  |                       |                        |
| 2H                          | 3.88               | 29.8     | 3.69                   | 4.25                    | 5.06                    | 6.27                    | 0.72 | 10.3                 | 11.9                  | 14.1                  | 17.5                  |                       |                        |
| 2H+3P                       | 4.80               | 33.1     | 3.50                   | 4.02                    | 4.79                    | 5.94                    | 0.72 | 12.1                 | 13.9                  | 16.6                  | 20.5                  |                       |                        |
| 2I                          | 1.07               | 15.2     | 5.20                   | 6.04                    | 7.19                    | 8.97                    | 0.72 | 4.0                  | 4.7                   | 5.5                   | 6.9                   |                       |                        |
| 2J                          | 0.21               | 13.4     | 5.53                   | 6.45                    | 7.70                    | 9.61                    | 0.72 | 0.8                  | 1.0                   | 1.2                   | 1.5                   |                       |                        |
| 2K                          | 0.67               | 7.4      | 6.93                   | 8.12                    | 9.73                    | 12.16                   | 0.72 | 3.3                  | 3.9                   | 4.7                   | 5.9                   |                       |                        |
| 2L                          | 0.82               | 21.0     | 4.40                   | 5.09                    | 6.05                    | 7.52                    | 0.72 | 2.6                  | 3.0                   | 3.6                   | 4.4                   |                       |                        |
| 2M                          | 2.35               | 25.1     | 4.03                   | 4.64                    | 5.52                    | 6.85                    | 0.72 | 6.8                  | 7.9                   | 9.3                   | 11.6                  |                       |                        |
| 2N                          | 3.44               | 22.7     | 4.24                   | 4.89                    | 5.81                    | 7.22                    | 0.72 | 10.5                 | 12.1                  | 14.4                  | 17.9                  |                       |                        |
| 2O                          | 1.14               | 22.3     | 4.27                   | 4.94                    | 5.87                    | 7.29                    | 0.72 | 3.5                  | 4.1                   | 4.8                   | 6.0                   |                       |                        |
| 2C+2D+2E+2I+2O              | 15.92              |          |                        |                         |                         |                         |      | 44.2                 | 50.9                  | 60.6                  | 75.1                  |                       |                        |



LEGEND

- 1 DRAINAGE AREA
- 920- EXISTING CONTOUR
- 920- PROPOSED CONTOUR
- - - Tc PATH
- DRAINAGE AREA

NOTES:  
1. THE RATIONAL METHOD WAS USED TO SIZE ON-SITE DRAINAGE IMPROVEMENTS.  
2. SITE RESIDES IN CITY OF SAN ANTONIO PARTICIPATION AREA 4. CORRESPONDING ATLAS 14 RAINFALL INTENSITIES WERE UTILIZED FOR THE DRAINAGE ANALYSIS.  
3. REFERENCE SHEET CG302 FOR DETAILED DRAINAGE CALCULATIONS



UP

ENGINEERING  
+ SURVEYING

11903 JONES MALVERBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM E-10194606

1/21/24

STATE OF TEXAS

RYAN R. PLAGENS

111640

REGISTERED PROFESSIONAL CIVIL ENGINEER

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

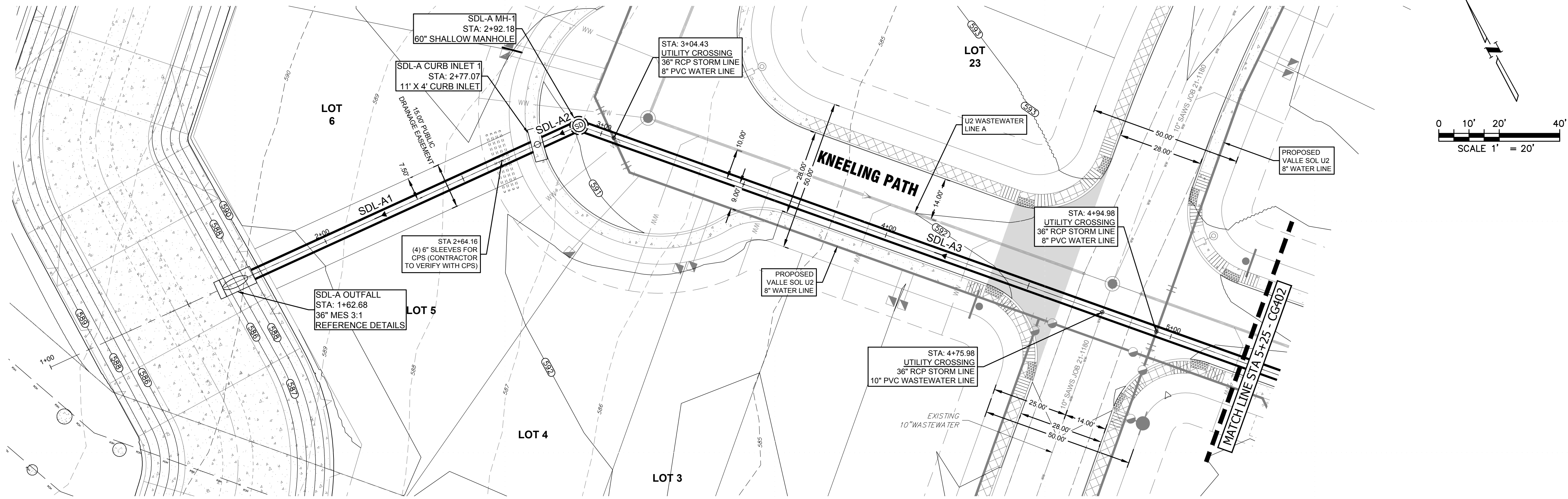
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

UNIT 2 ON-SITE PROPOSED  
DRAINAGE AREA MAP

| REV              | DATE    | DESCRIPTION                           | BY  |
|------------------|---------|---------------------------------------|-----|
| 1                | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: XXX |         |                                       |     |
| DRAFTED BY: XXX  |         |                                       |     |
| CHECKED BY: XXX  |         |                                       |     |
| SHEET            |         |                                       |     |
| #### OF 75       |         |                                       |     |



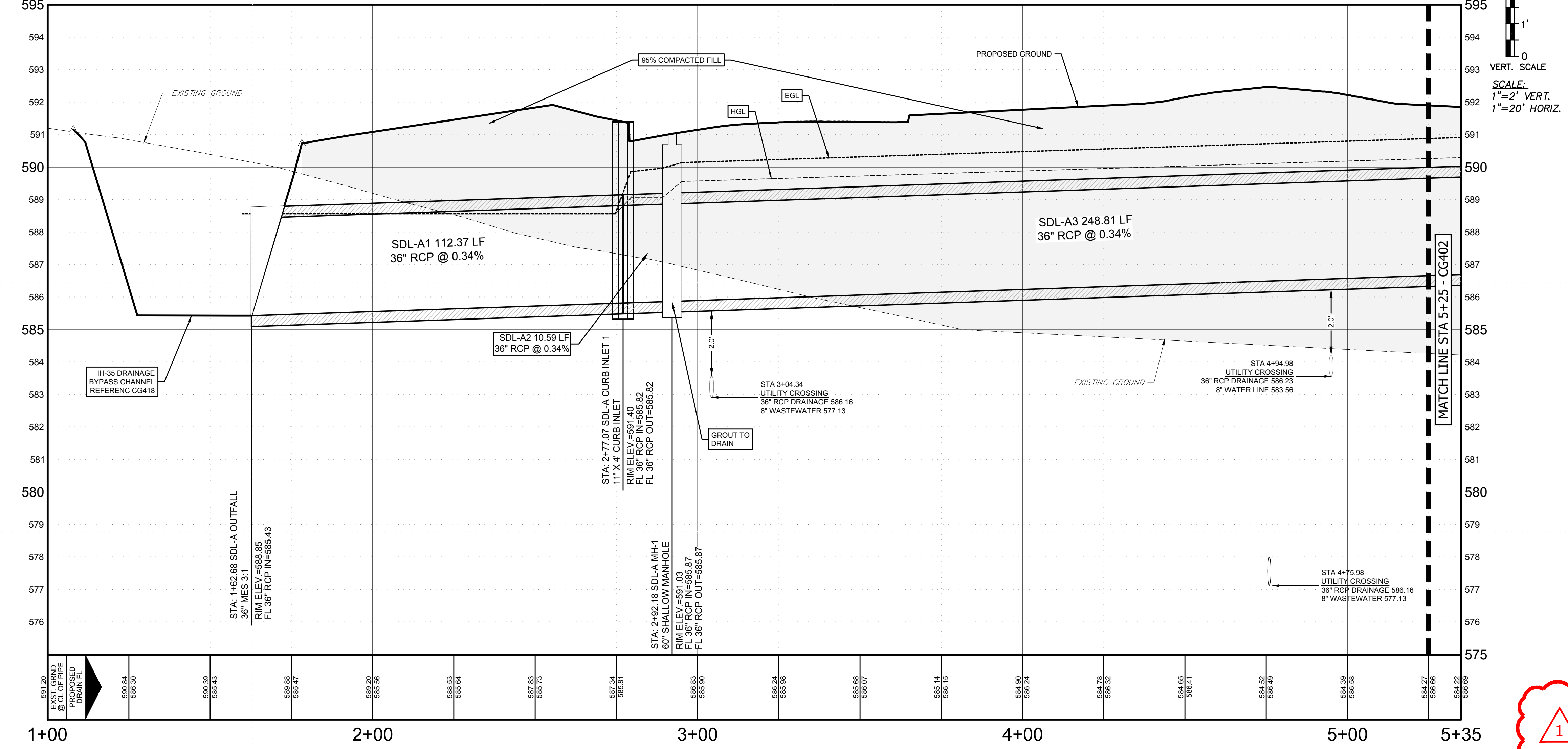
FILE NAME: V:\PROJECTS\1986 - VALLE SOL UNIT 2 REDSIGN\DWG\CG401 - SDLA - PWD.DWG  
LAST MODIFIED ON: January 25, 2024  
PLOTTED ON: January 24, 2024  
PLOT STYLE: VTOUP.PLOT  
PLOT PRODUCTION STANDARD CTR



**LEGEND**

|  |                                |
|--|--------------------------------|
| BOUNDARY / RIGHT OF WAY                  | EXISTING WASTEWATER MANHOLE    |
| EASEMENT / SETBACK                       | PROPOSED DRAINAGE JUNCTION BOX |
| CURB / EDGE OF PAVEMENT                  | PROPOSED CURB INLET            |
| SIDEWALK (HOME BUILDER'S RESPONSIBILITY) | PROPOSED 60" DRAINAGE MANHOLE  |
| SIDEWALK (DEVELOPER'S RESPONSIBILITY)    | PROPOSED STREET LIGHT          |
| EXIST. GRADE ELEVATIONS                  | PROPOSED WASTEWATER LATERAL    |
| PROP. GRADE ELEVATIONS                   |                                |
| EXISTING WATER LINE                      |                                |
| PROPOSED WATER LINE                      |                                |
| EXISTING OVERHEAD UTILITIES              |                                |
| EXISTING UNDERGROUND ELECTRIC            |                                |
| EXISTING GAS LINE                        |                                |
| PROPOSED DRAINAGE                        |                                |
| PROPOSED WASTEWATER LINE                 |                                |
| EXISTING WASTEWATER LINE                 |                                |
| EXISTING UTILITY POLE                    |                                |
| EXISTING SIGN                            |                                |
| EXISTING FIRE HYDRANT                    |                                |
| PROPOSED FIRE HYDRANT                    |                                |
| PROPOSED WATER VALVE                     |                                |
| PROPOSED CAP/PLUG                        |                                |
| EXISTING WATER METER                     |                                |
| PROPOSED WATER METER                     |                                |
| EXISTING GUY WIRE                        |                                |
| PROPOSED WASTEWATER MANHOLE              |                                |

SDLA-A - PROFILE 1 PROFILE - STA. 1+00 TO 5+35



- GENERAL NOTES (ALL SHEETS)**
- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
  - REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
  - REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
  - LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
  - REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
  - REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
  - REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
  - IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE FINAL ACCEPTANCE.
  - ALL STORM DRAINAGE PIPE WITHIN THE PUBLIC ROW SHALL BE MIN. RCP (REINFORCED CONCRETE PIPE).
  - PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.
  - ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
  - LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
  - CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
  - THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
  - ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
  - CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX TIE-INS. REFERENCE DETAILS SHEETS ### TO C603 FOR ADDITIONAL DETAIL & INFORMATION.
  - THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
  - ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
  - REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES.
  - CONCRETE SHALL BE A MIN. OF 3000 PSI IN 28 DAYS WITH #4 BARS @ 12" O.C.E.W. UNLESS OTHERWISE NOTED/SPECIFIED.
  - CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE [CITY OF SAN ANTONIO] STANDARD DETAILS AND SPECIFICATIONS.

**CAUTION!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

**1** **REVISED SHEET**

**UP ENGINEERING + SURVEYING**  
11903 JONES MALSERBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM TBEELS E-10194606

1/21/24

STATE OF TEXAS  
RYAN R. PLAGENS  
111640  
LICENSED PROFESSIONAL ENGINEER

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

STORM DRAIN LINE A

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         |                                       |
| BY  |         |                                       |

DESIGNED BY: JOS/TS

DRAFTED BY: JOS

CHECKED BY: NFURRP

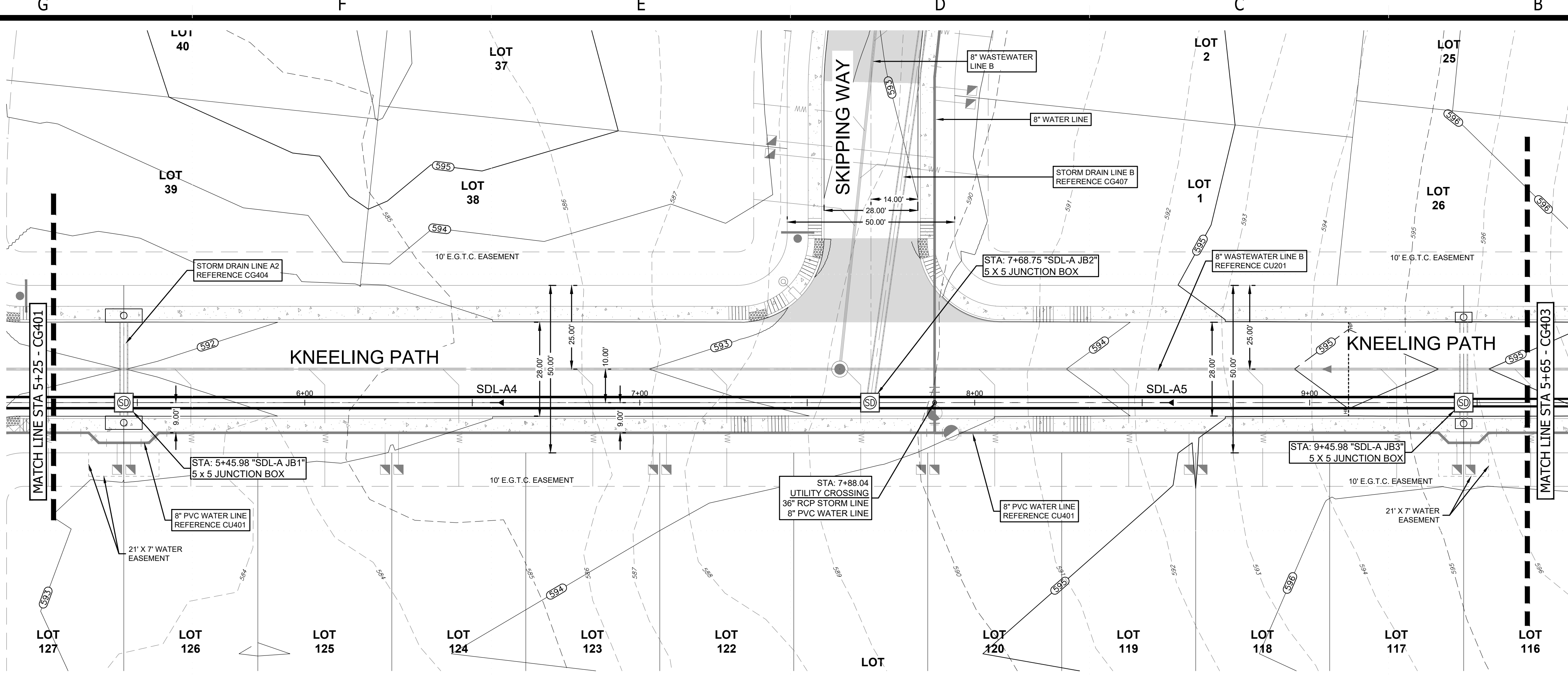
SHEET

**CG401**

38 OF 75



PROJECT: 1180251 - VALLE SOL UNIT 2 SUBDIVISION  
LAST MODIFIED ON: 01/25/2024  
DRAWN BY: JWS  
CHECKED BY: NFURRP  
PLOT STYLE: VTDUP PRODUCTION STANDARD CTR



**LEGEND**

BOUNDARY / RIGHT OF WAY

EASEMENT / SETBACK

CURB / EDGE OF PAVEMENT

SIDEWALK (HOME BUILDER'S RESPONSIBILITY)

SIDEWALK (DEVELOPER'S RESPONSIBILITY)

EXIST. GRADE ELEVATIONS

PROP. GRADE ELEVATIONS

EXISTING WATER LINE

PROPOSED WATER LINE

OE

UE

G

PROPOSED DRAINAGE

PROPOSED WASTEWATER LINE

WW

EXISTING UTILITY POLE

EXISTING SIGN

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

PROPOSED CAP/PLUG

EXISTING WATER METER

PROPOSED WATER METER

EXISTING GUY WIRE

PROPOSED WASTEWATER MANHOLE

EXISTING WASTEWATER MANHOLE

PROPOSED DRAINAGE JUNCTION BOX

PROPOSED CURB INLET

PROPOSED 60" DRAINAGE MANHOLE

PROPOSED STREET LIGHT

PROPOSED WASTEWATER LATERAL

102

102

W

OE

UE

G

PROPOSED DRAINAGE

PROPOSED WASTEWATER LINE

WW

EXISTING UTILITY POLE

EXISTING SIGN

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

PROPOSED WATER VALVE

PROPOSED CAP/PLUG

EXISTING WATER METER

PROPOSED WATER METER

EXISTING GUY WIRE

PROPOSED WASTEWATER MANHOLE

EXISTING WASTEWATER MANHOLE

PROPOSED DRAINAGE JUNCTION BOX

PROPOSED CURB INLET

PROPOSED 60" DRAINAGE MANHOLE

PROPOSED STREET LIGHT

PROPOSED WASTEWATER LATERAL

0

10'

20'

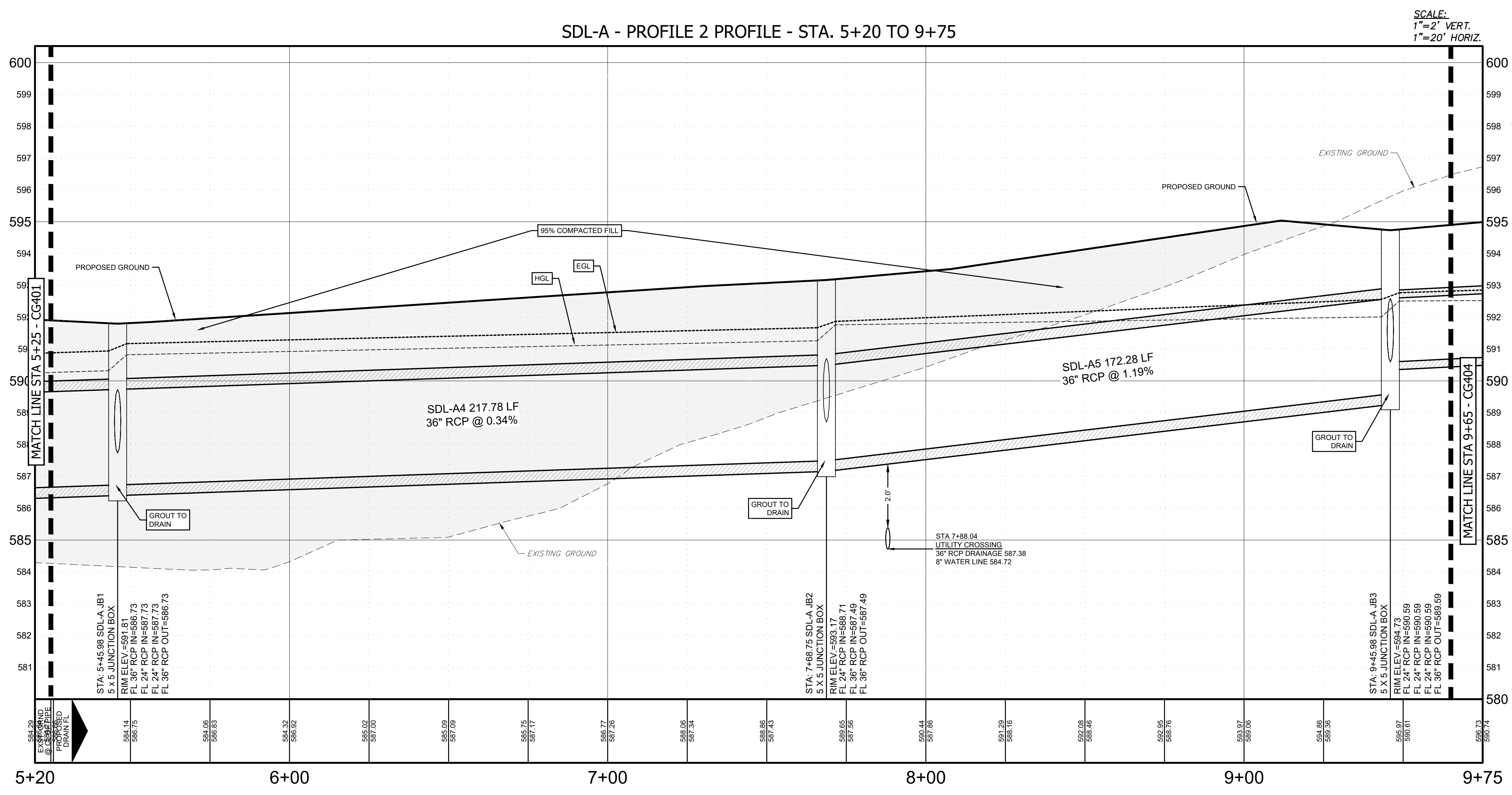
40'

SCALE 1" = 20'

1

REVISED SHEET

SDL-A - PROFILE 2 PROFILE - STA. 5+20 TO 9+75



**GENERAL NOTES (ALL SHEETS)**

1. EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.

2. REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.

3. REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.

4. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.

5. REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.

6. REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.

7. REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.

8. IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE FINAL ACCEPTANCE.

9. ALL STORM DRAINAGE PIPE WITHIN THE PUBLIC ROW SHALL BE MIN. RCP (REINFORCED CONCRETE PIPE).

10. PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.

11. ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.

12. LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.

13. CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.

14. THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.

15. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.

16. CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX TIE-INS. REFERENCE DETAILS SHEETS ### TO C603 FOR ADDITIONAL DETAIL & INFORMATION.

17. THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.

18. ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.

19. REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES.

20. CONCRETE SHALL BE A MIN. OF 3000 PSI IN 28 DAYS WITH #4 BARS @ 12" O.C.E.W. UNLESS OTHERWISE NOTED/SPECIFIED.

21. CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE [CITY OF SAN ANTONIO] STANDARD DETAILS AND SPECIFICATIONS.

CAUTION!!

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DESIGNED BY:

DRAFTED BY:

CHECKED BY:

JOS/TS

JOS

NFURRP

SHEET

CG402

39 OF 75

**UP**

**ENGINEERING**

**+ SURVEYING**

11903 JONES MALIBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM  
TBEELS E-10194606

1/21/24

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100 NE LOOP 410, SUITE 1155

SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION

PLAT NO. 22-11800251

STORM DRAIN LINE A

1

1/17/24

GRADING REVISIONS & VALUE ENGINEERING

REV

DATE

DESCRIPTION

BY

DESIGNED BY:

DRAFTED BY:

CHECKED BY:

JOS/TS

JOS

NFURRP

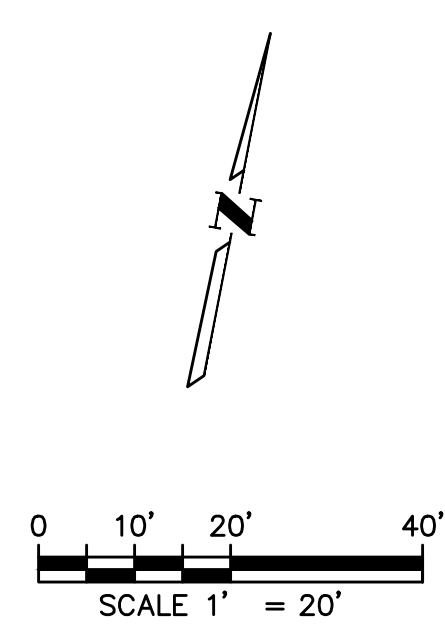
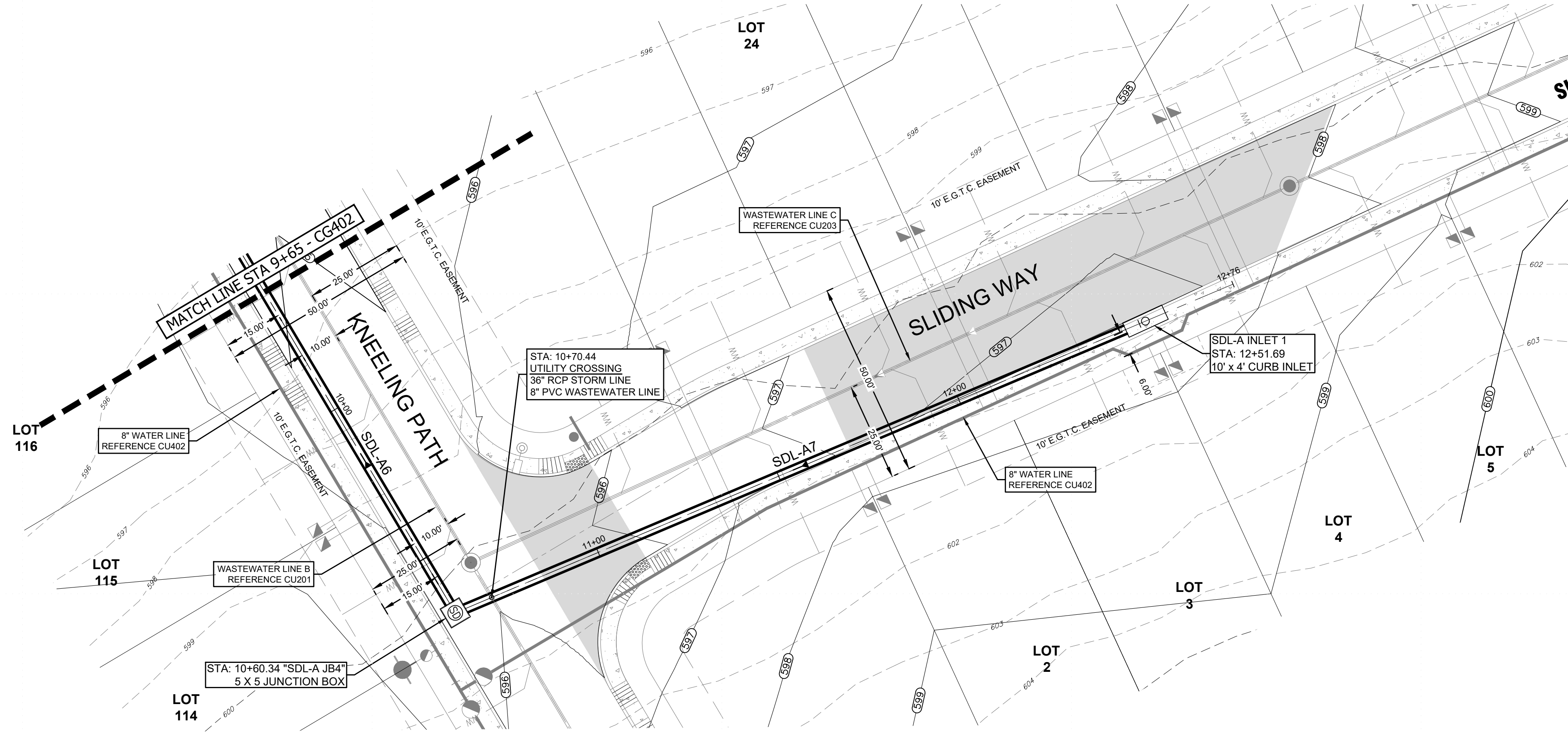
SHEET

CG402

39 OF 75



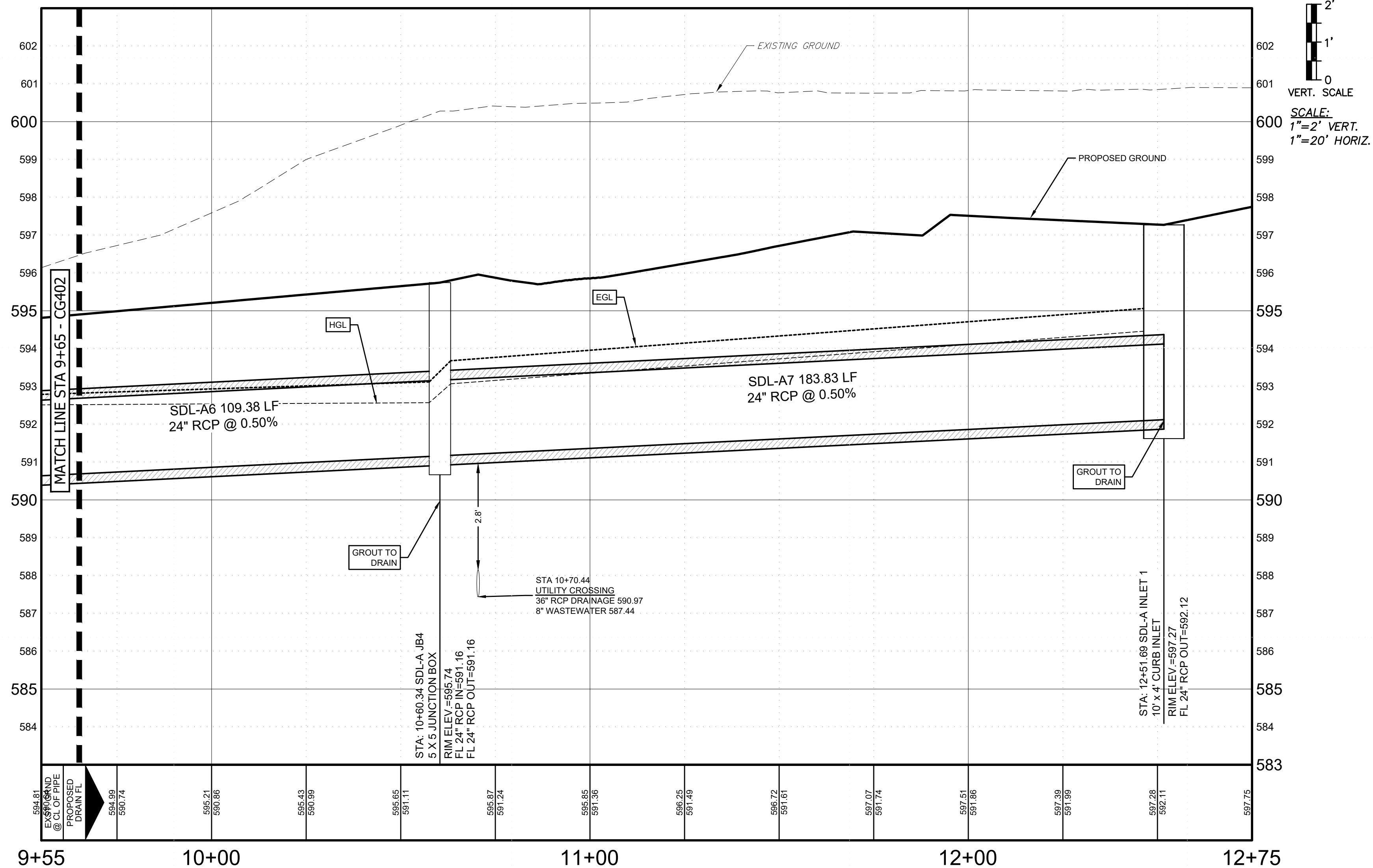
REVISIONS: 1/18/2024 - VALLE SOL UNIT 2 REDDESIGN/REVISIONS/CG402 - SDLA-A - PWD.DWG  
LAST MODIFIED ON: 1/18/2024  
PLOT DATE: 1/18/2024  
PLOT STYLE: VTDUP PRODUCTION STANDARD.CTB



| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION BOX           |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60\"/>                          |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |

1 REVISED SHEET

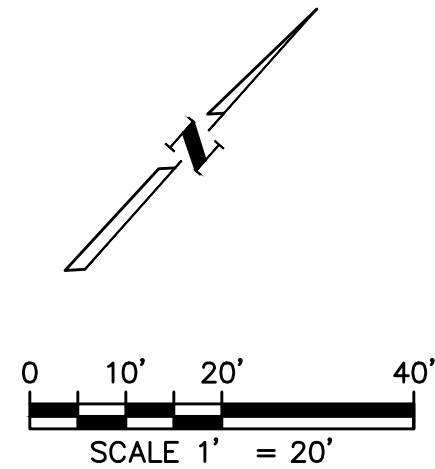
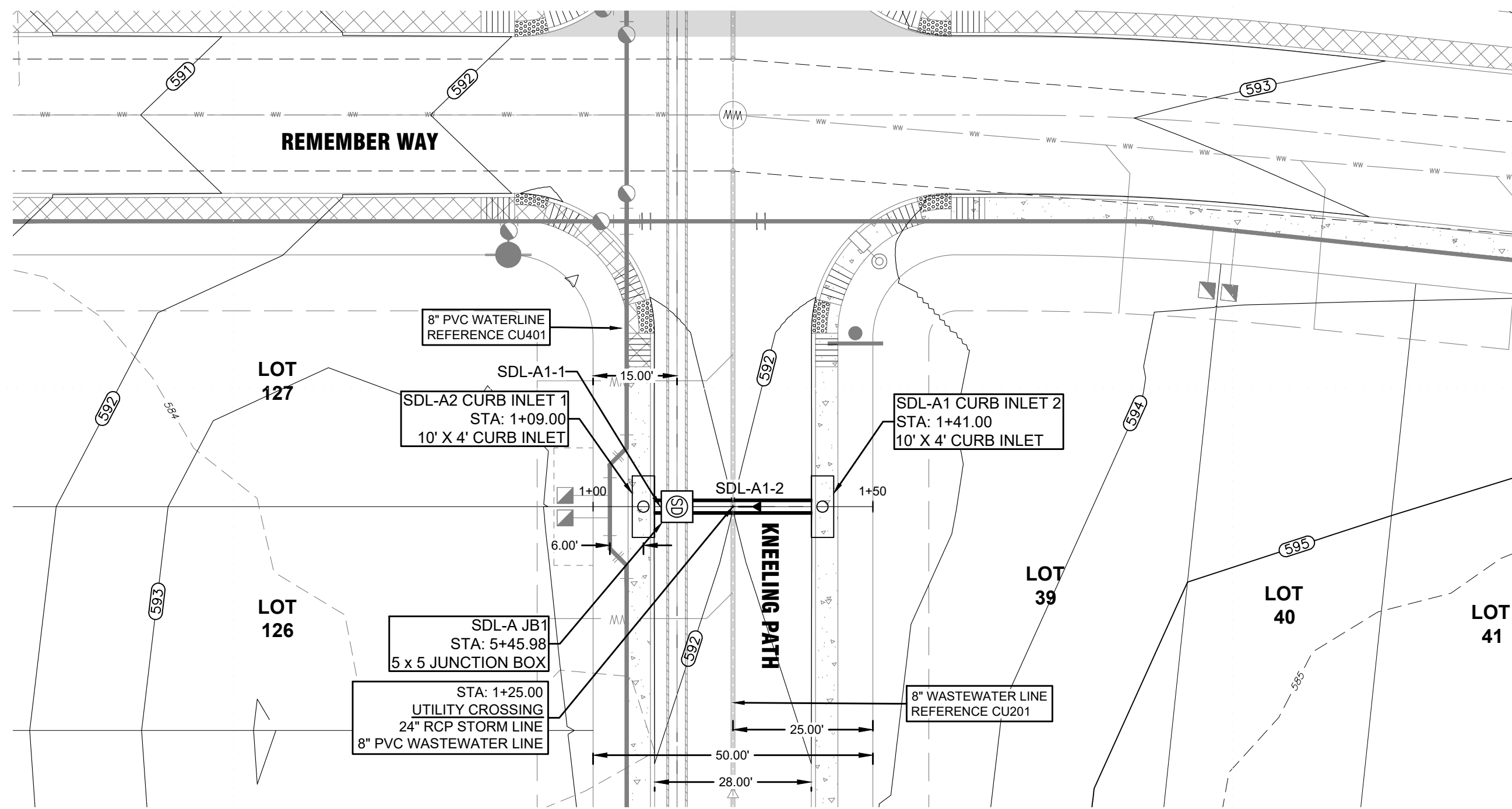
SDLA-A - PROFILE 3 PROFILE - STA. 9+55 TO 12+75



| GENERAL NOTES (ALL SHEETS)   |   |
|--|---|
| 1.   | EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.  |
| 2.   | REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.  |
| 3.   | REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.  |
| 4.   | LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.   |
| 5.   | REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.   |
| 6.   | REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.  |
| 7.   | REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.  |
| 8.   | IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE FINAL ACCEPTANCE.   |
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| 10.  | PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.  |
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| 13.  | CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.  |
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| 16.  | CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX TIE-INS. REFERENCE DETAILS SHEETS ### TO C003 FOR ADDITIONAL DETAIL & INFORMATION.   |
| 17.  | THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.   |
| 18.  | ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.  |
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| 20.  | CONCRETE SHALL BE A MIN. OF 3000 PSI IN 28 DAYS WITH #4 BARS @ 12\"/>   |
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| DESIGNED BY:   | JOS/TS  |
| DRAFTED BY:  | JOS   |
| CHECKED BY:  | NFUR/PP   |
| SHEET  | CG403   |
| 40   | OF 75   |

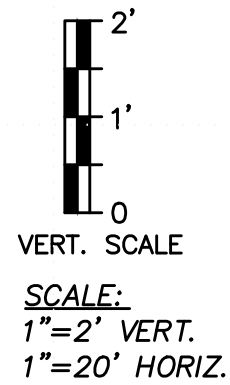
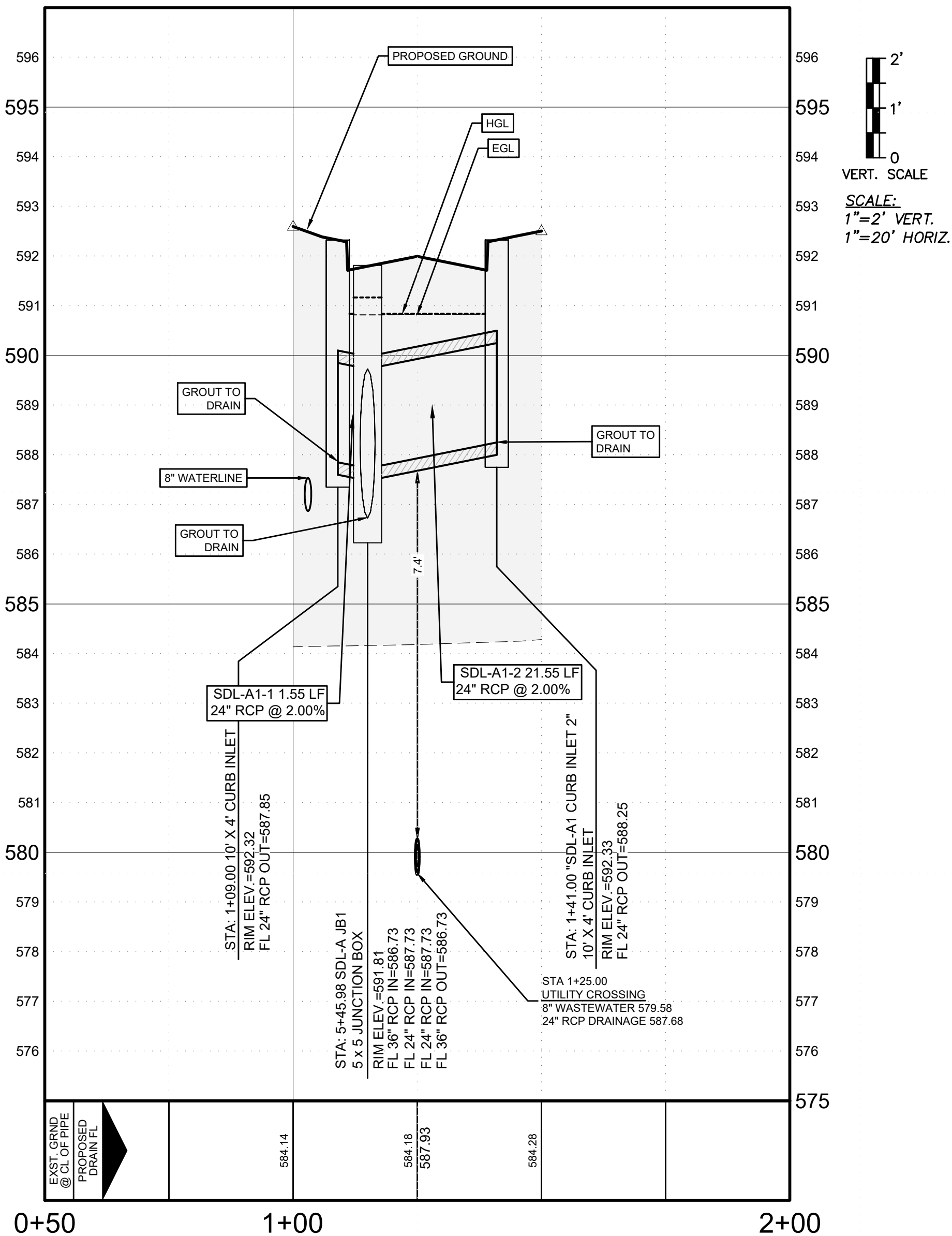


REVISIONS: 1. PROJECTS 1186 - VALLE SOL UNIT 2 REDSIGNAGE SHEETS 1186.02A - CG404 - SDL A1 PWDWG  
LAST MODIFIED ON: January 25, 2024  
LAST MODIFIED BY: JCS  
PLOTTED ON: January 21, 2024  
PLOT STYLE: VTDUP PRODUCTIONS STANDARD CTR



| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING SIGN                            |
|        | EXISTING FIRE HYDRANT                    |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED CAP/PLUG                        |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION BOX           |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60" DRAINAGE MANHOLE            |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |

SDL-A1 PROFILE - STA. 0+50 TO 2+00

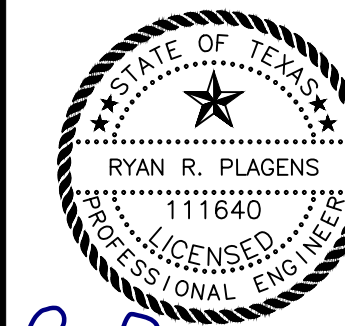


- GENERAL NOTES (ALL SHEETS)
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  - PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.
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  - REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES.
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LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

| VALLE SOL UNIT 2 SUBDIVISION |        |
|------------------------------|--------|
| PLAT NO. 22-11800251         |        |
| STORM DRAIN LINE A1          |        |
| DESIGNED BY:                 | JOS/TS |
| DRAFTED BY:                  | JOS    |
| CHECKED BY:                  | NFURRP |
| SHEET                        |        |
| CG404                        |        |
| 41                           | OF 75  |



ENGINEERING  
+ SURVEYING  
11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPDESIGN.COM  
TBEELS E-10194068



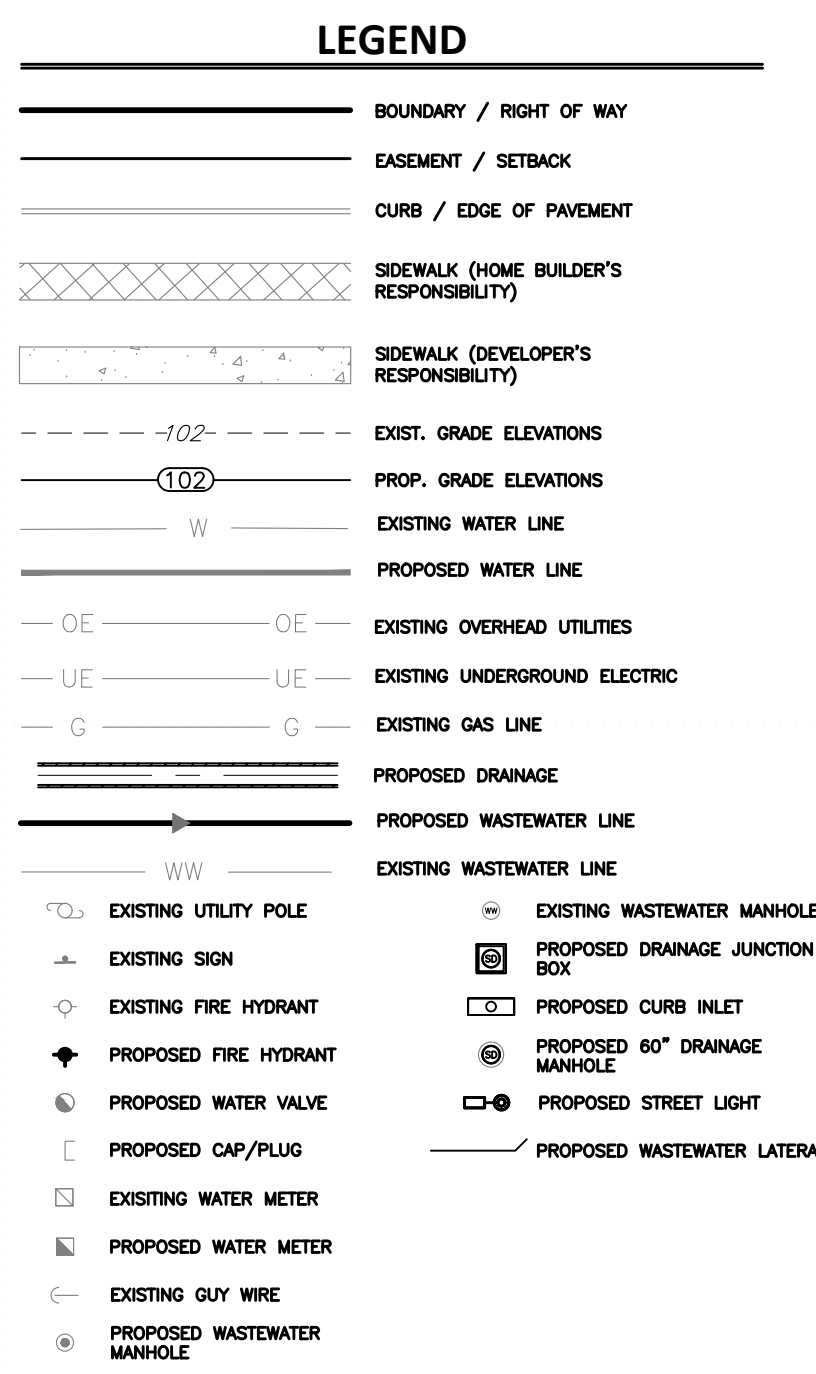
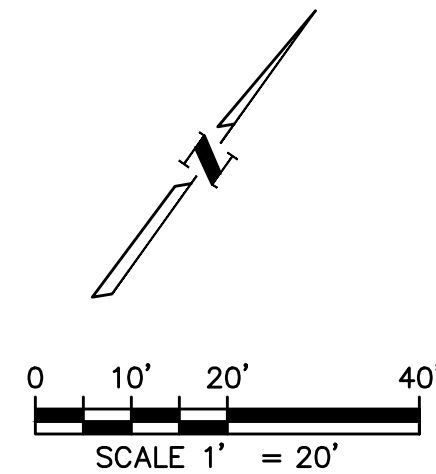
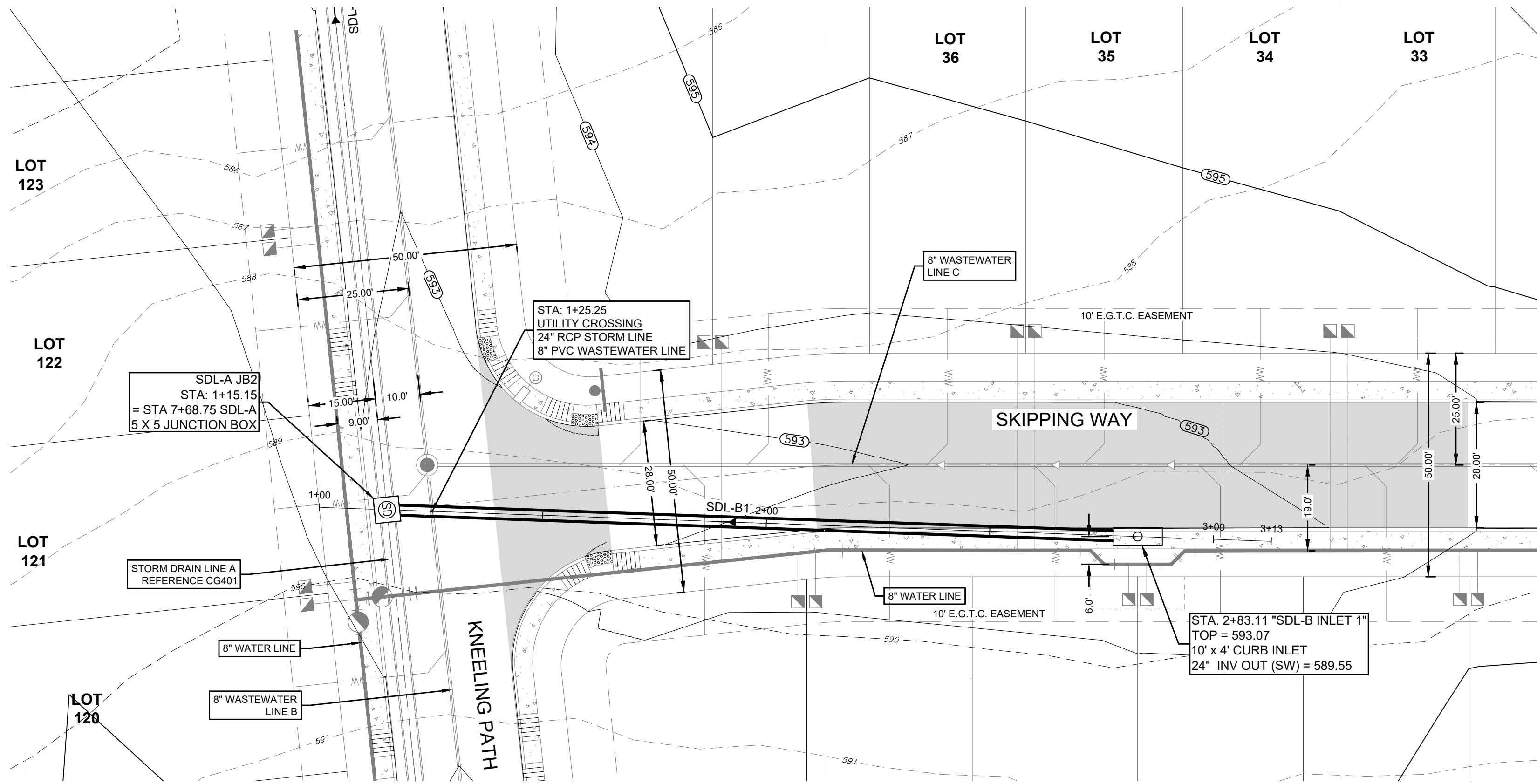
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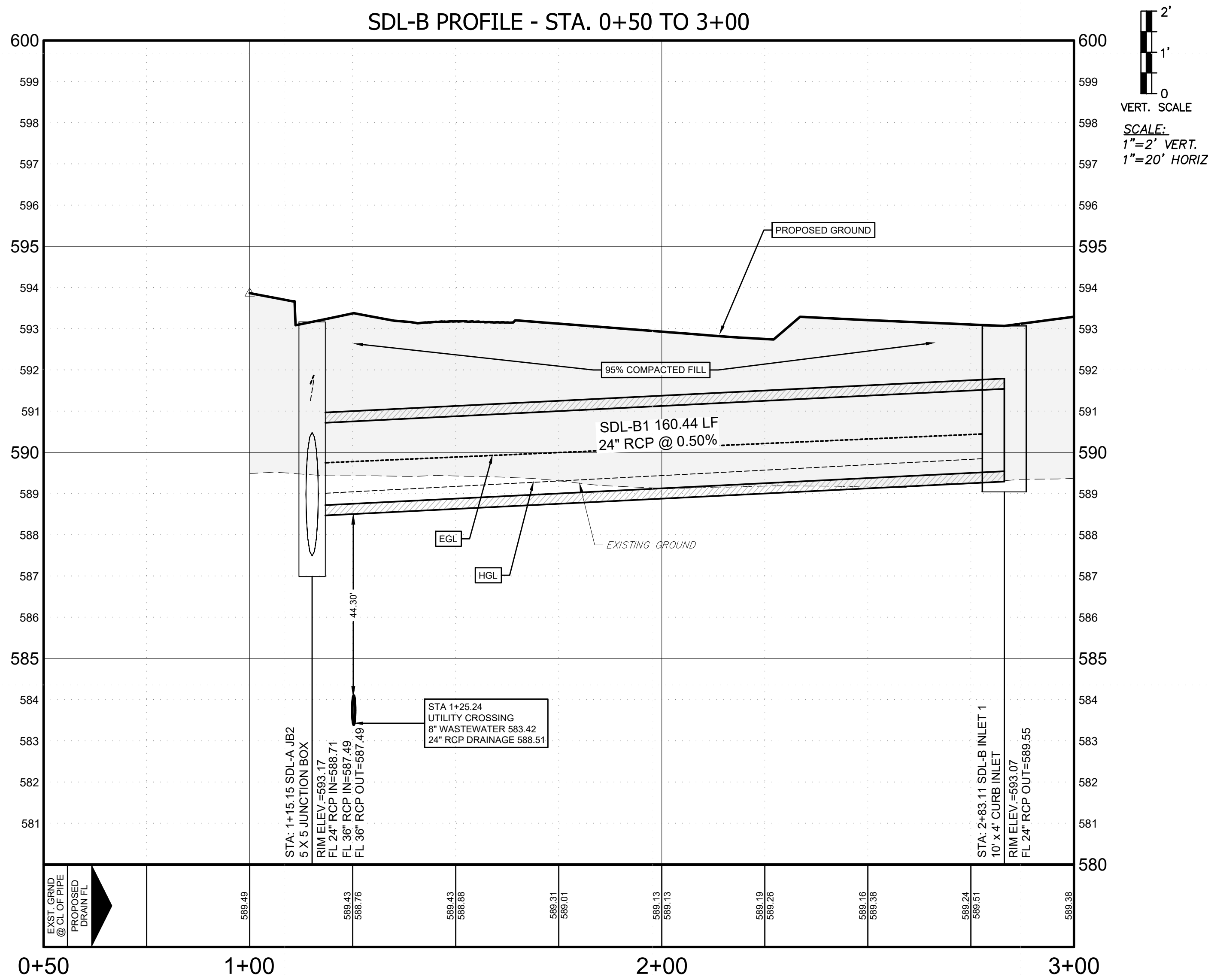
PROJECT: 11800251 - VALLE SOL UNIT 2 REDSIGNAGE SHEETS 11800251-0001 - CG407 - SDL-B PWP (DWG)  
LAST MODIFIED ON: January 25, 2024  
PLOT DATE: January 25, 2024  
PLOT STYLE: VTOUP PRODUCTION STANDARD CTR



UP ENGINEERING + SURVEYING  
11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPENGINEERING.COM TBEELS E-10194606

STATE OF TEXAS  
111640  
RYAN R. PLAGENS  
Professional Engineer  
111640  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

SDL-B PROFILE - STA. 0+50 TO 3+00



1 REVISED SHEET

GENERAL NOTES (ALL SHEETS)

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
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- REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
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- ALL STORM DRAINAGE PIPE WITHIN THE PUBLIC ROW SHALL BE MIN. RCP (REINFORCED CONCRETE PIPE)
- PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
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- CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX TIE-INS. REFERENCE DETAILS SHEETS ### TO C603 FOR ADDITIONAL DETAIL & INFORMATION.
- THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
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| REV | DATE    | DESCRIPTION                           | BY  |
|-----|---------|---------------------------------------|-----|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFU/RRP

SHEET  
CG407

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
STORM DRAIN LINE B



**SHEET REMOVED**



FILE NAME: \\S:\PROJECTS\196 - VALLE SOL\196.2A - VALLE SOL - UNIT 2\REDRAW\CG400SHEETS\196.2 - CG400 - DUMMY SHEET PLACEHOLDER.DWG  
LAST MODIFIED ON: January 18, 2024  
DRAWN BY: JACOB  
PLOTTED ON: January 21, 2024  
PLOT STYLE: V16 (PLOT PRODUCTION STANDARD).CTB

SHEET REMOVED

CHECKED BY: XXX

DRAFTED BY: XXX

DESIGNED BY: XXX

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         | BY                                    |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
  
SHEET REMOVED

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



FILE NAME: \\S:\PROJECTS\196 - VALLE SOL\196.2A - VALLE SOL - UNIT 2\REDRAW\CG410SHEETS\196.2 - CG410 - DUMMY SHEET PLACEHOLDER.DWG  
LAST MODIFIED ON: January 18, 2024  
DRAWN BY: JACOB  
PLOTTED ON: January 21, 2024  
PLOT STYLE: V16 (PLOT PRODUCTION STANDARD).CTB

SHEET REMOVED

CHECKED BY: XXX

DRAFTED BY: XXX

DESIGNED BY: XXX

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS | BY      |                                       |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

SHEET REMOVED

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

**UP**  
**ENGINEERING**  
**+ SURVEYING**

11903 JONES MALSERKER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENROADSURVEYING.COM  
TBEELS E-10194606



FILE NAME: \\S:\PROJECTS\186 - VALLE SOL\186.2A - VALLE SOL - UNIT 2\REDRAW\CG41\CG41.dwg  
LAST MODIFIED ON: January 18, 2024  
DRAWN BY: JACOB  
PLOTTED ON: January 21, 2024  
PLOT STYLE: V18 (PLOT PRODUCTION STANDARD).CTB

SHEET REMOVED

CHECKED BY: XXX

DRAFTED BY: XXX

DESIGNED BY: XXX

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         | BY                                    |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

SHEET REMOVED

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LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
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WWW.OPENSOURCEENGINEERING.COM  
TBEELS E-10194606



FILE NAME: \\S:\PROJECTS\196 - VALLE SOL\196.2A - VALLE SOL - UNIT 2\REDRAW\CG41\CG41.dwg  
LAST MODIFIED ON: January 18, 2024  
DRAWN BY: JACOB  
PLOT DATE: January 21, 2024  
PLOT TITLE: V16 (P) PRODUCTION STANDARD CTB

SHEET REMOVED

DESIGNED BY: **xxx**  
DRAFTED BY: **xxx**  
CHECKED BY: **xxx**

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         | BY                                    |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

SHEET REMOVED

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



FILE NAME: \\S:\PROJECTS\196 - VALLE SOL\196.2A - VALLE SOL - UNIT 2\REDRAW\CG413\196.2 - CG413 - DUMMY SHEET PLACEHOLDER.DWG  
LAST MODIFIED ON: January 18, 2024  
DRAWN BY: JACOB  
PLOTTED ON: January 21, 2024  
PLOT STYLE: V16 (PLOT PRODUCTION STANDARD).CTB

SHEET REMOVED

DESIGNED BY: xxx  
DRAFTED BY: XXX  
CHECKED BY: XXX

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         | BY                                    |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
  
SHEET REMOVED

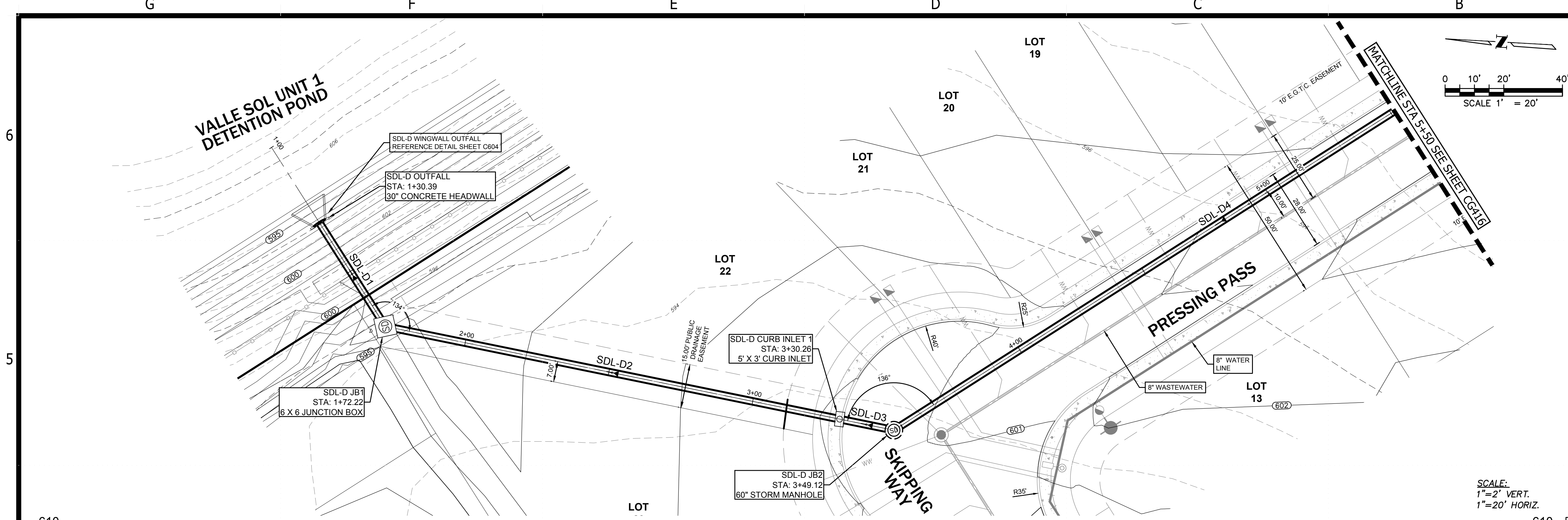
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



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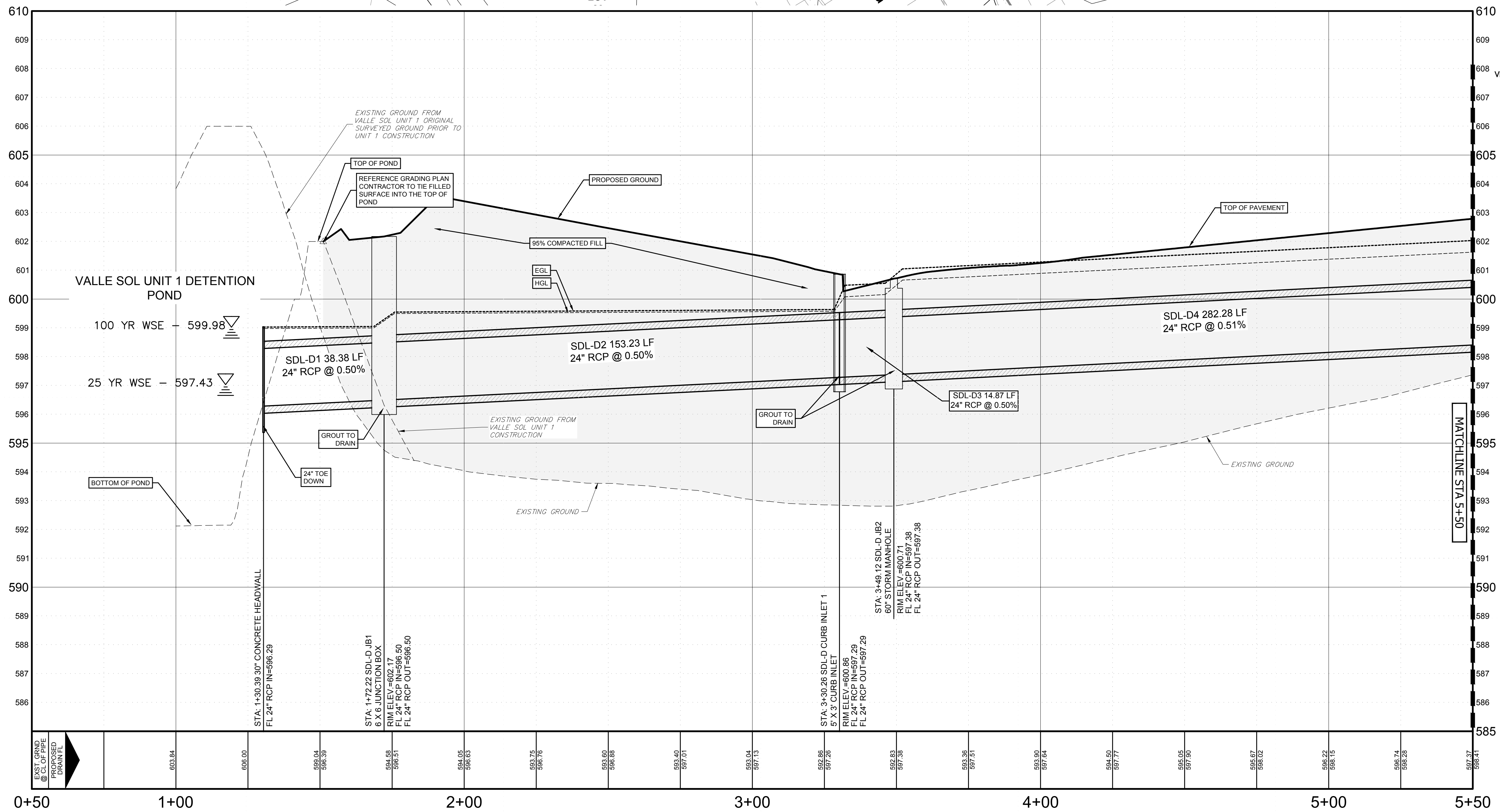
FILE NAME: I:\PROJECTS\1986 - VALLE SOL UNIT 2 REDDESIGN\CG415\CG415 STORM DRAIN LINE.DWG  
LAST MODIFIED ON: January 25, 2024  
LAST PLOTTED ON: January 24, 2024  
PLOT STYLE: VTOUP.PLOT  
PLOT PRODUCTION STANDARD CBT



SCALE:  
1"=2' VERT.  
1"=20' HORIZ.

| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING SIGN                            |
|        | EXISTING FIRE HYDRANT                    |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED CAP/PLUG                        |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION               |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60" DRAINAGE MANHOLE            |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |

1 REVISED SHEET



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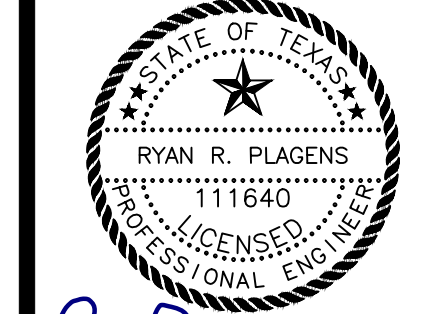
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
STORM DRAIN LINE D

| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFURRP  |                                       |     |

SHEET  
**CG415**  
52 OF 75

**UP ENGINEERING + SURVEYING**  
11903 JONES MALIBESBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM  
TBEELS E-10194606









FILE NAME: I:\PROJECTS\1896 - VALLE SOL UNIT 2 REDSIGNAGE\SHEETS\1896-2 - CG417 STORM DRAIN LINE D1.DWG  
LAST MODIFIED ON: January 25, 2024  
LAST PLOTTED ON: January 25, 2024  
PLOT STYLE: VTOUP.PLOT  
PLOT BY: JTS

6

5

4

3

2

G

F

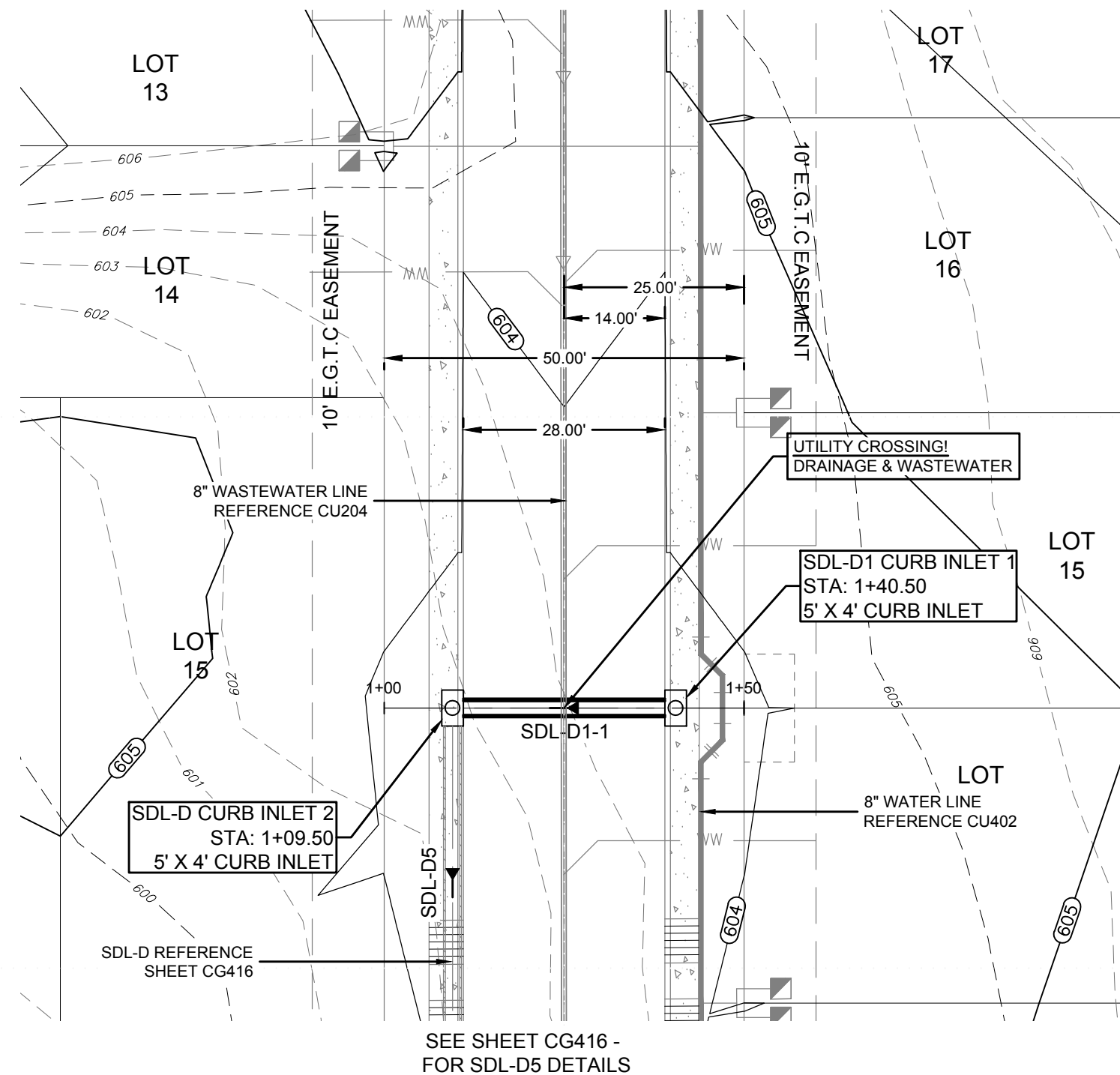
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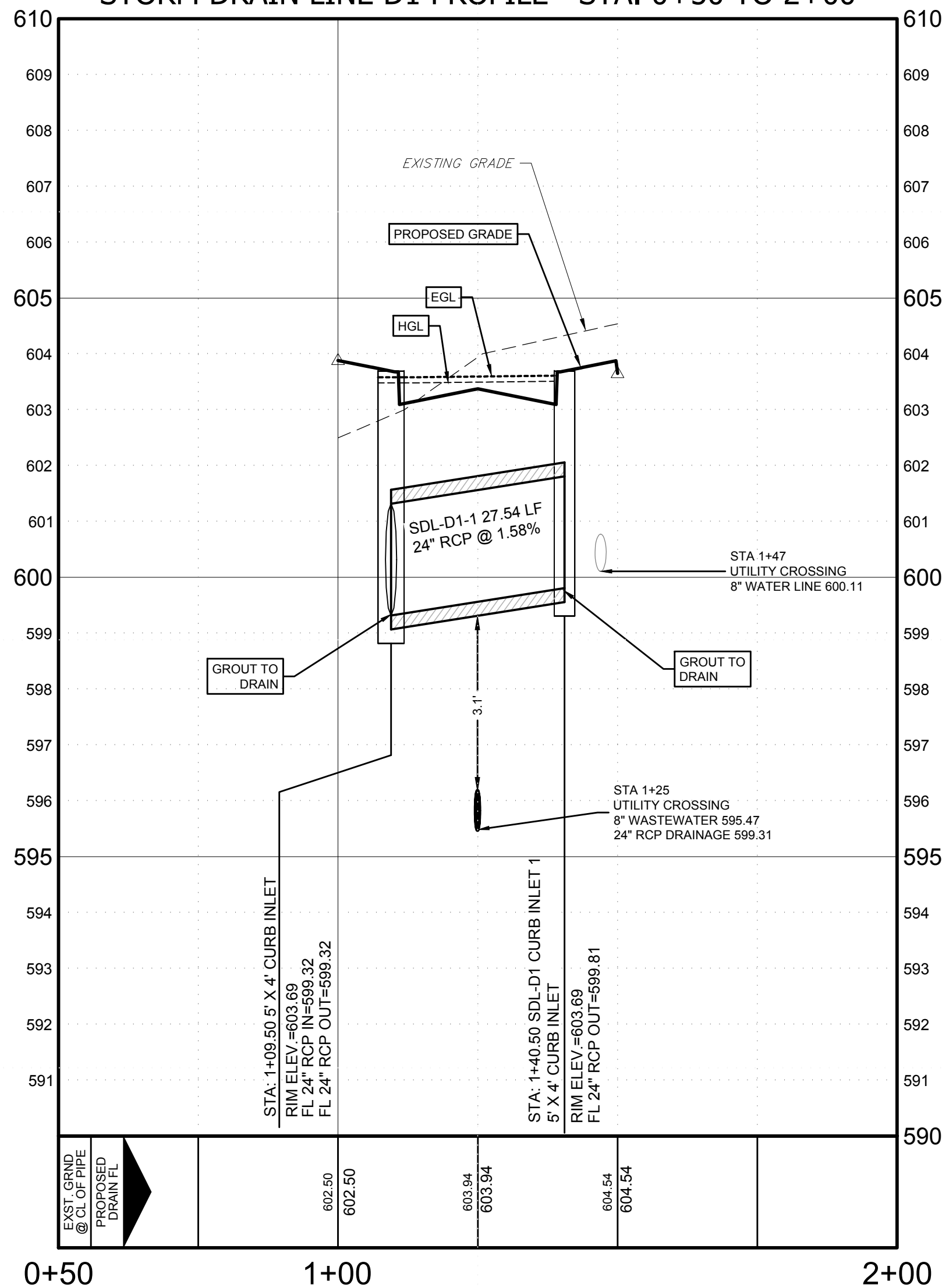
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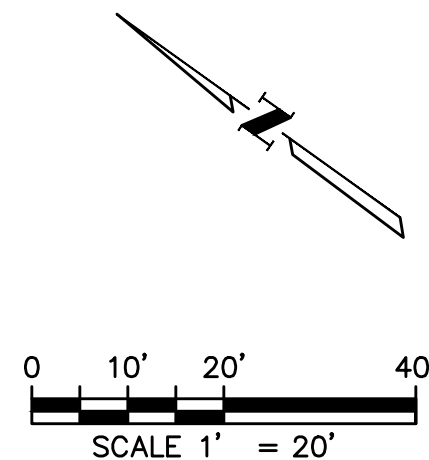
A



STORM DRAIN LINE D1 PROFILE - STA. 0+50 TO 2+00



VERT. SCALE  
SCALE:  
1"=2' VERT.  
1"=20' HORIZ.



LEGEND

- |   |  |   |                                |
|---|--|---|--------------------------------|
| — | BOUNDARY / RIGHT OF WAY                  | — | EXISTING WASTEWATER LINE       |
| — | EASEMENT / SETBACK                       | — | EXISTING UNDERGROUND ELECTRIC  |
| — | CURB / EDGE OF PAVEMENT                  | — | EXISTING GAS LINE              |
| — | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) | — | PROPOSED DRAINAGE              |
| — | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    | — | PROPOSED WASTEWATER LINE       |
| — | EXIST. GRADE ELEVATIONS                  | — | EXISTING WASTEWATER MANHOLE    |
| — | PROP. GRADE ELEVATIONS                   | — | PROPOSED DRAINAGE JUNCTION BOX |
| — | EXISTING WATER LINE                      | — | PROPOSED CURB INLET            |
| — | PROPOSED WATER LINE                      | — | PROPOSED 60" DRAINAGE MANHOLE  |
| — | EXISTING OVERHEAD UTILITIES              | — | PROPOSED STREET LIGHT          |
| — | EXISTING UNDERGROUND ELECTRIC            | — | PROPOSED WASTEWATER LATERAL    |
| — | EXISTING GAS LINE                        | — |                                |
| — | PROPOSED DRAINAGE                        | — |                                |
| — | PROPOSED WASTEWATER LINE                 | — |                                |
| — | EXISTING WASTEWATER LINE                 | — |                                |
| — | EXISTING UTILITY POLE                    | — |                                |
| — | EXISTING SIGN                            | — |                                |
| — | EXISTING FIRE HYDRANT                    | — |                                |
| — | PROPOSED FIRE HYDRANT                    | — |                                |
| — | PROPOSED WATER VALVE                     | — |                                |
| — | PROPOSED CAP/PLUG                        | — |                                |
| — | EXISTING WATER METER                     | — |                                |
| — | PROPOSED WATER METER                     | — |                                |
| — | EXISTING GUY WIRE                        | — |                                |
| — | PROPOSED WASTEWATER MANHOLE              | — |                                |

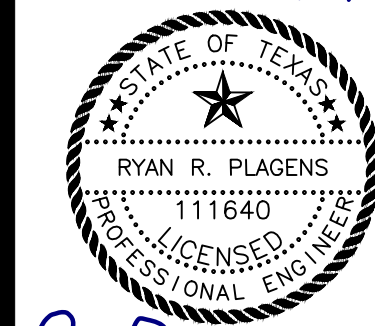
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TIFELS E-10194606



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

STORM DRAIN LINE D1

| REV | DATE    | DESCRIPTION                           | BY  |
|-----|---------|---------------------------------------|-----|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

DESIGNED BY: JTS/TS  
DRAFTED BY: JTS  
CHECKED BY: NFU/RRP

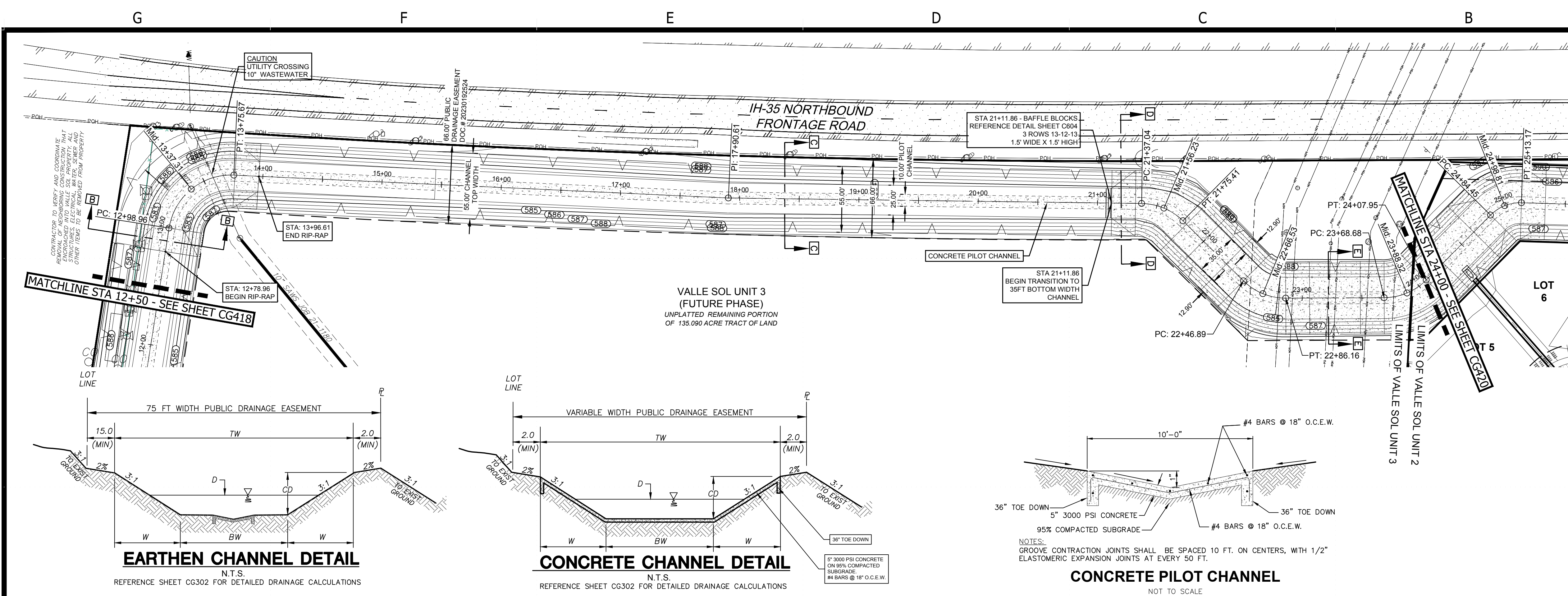
SHEET  
**CG417**

54 OF 75



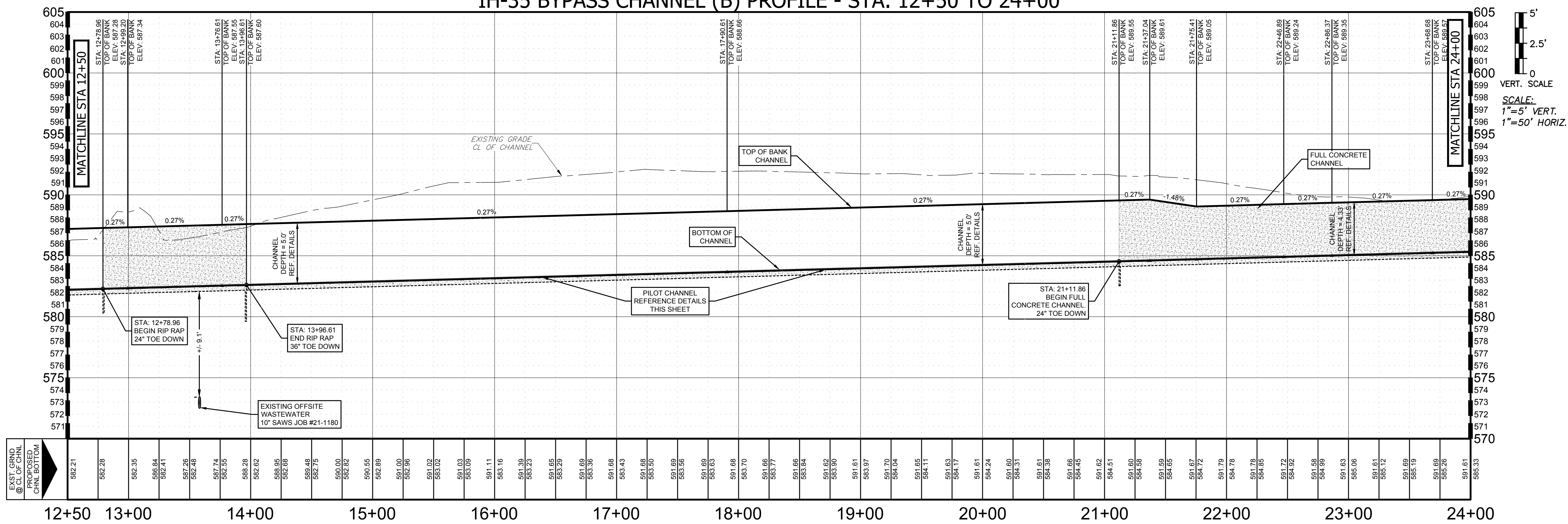






| CHANNEL CROSS SECTION  | STA                  | N     | S (%) | TW (FT) | BW (FT) | W (FT) | 100 YR STORM EVENT (CFS) | D (FT) | CD (FT) | FULL FLOW CAPACITY (CFS) | V (FPS) |
|------------------------|----------------------|-------|-------|---------|---------|--------|--------------------------|--------|---------|--------------------------|---------|
| B-B (CONCRETE CHANNEL) | 12+78.79 TO 13+96.61 | 0.015 | 0.27% | 55.00   | 25.00   | 15.00  | 625.00                   | 2.40   | 5.00    | 2387.67                  | 11.94   |
| C-C (EARTHEN CHANNEL)  | 13+96.61 TO 21+11.86 | 0.035 | 0.27% | 55.00   | 25.00   | 15.00  | 625.00                   | 3.90   | 5.00    | 1023.00                  | 4.44    |
| D-D (CONCRETE CHANNEL) | 21+11.86 TO 21+85.09 | 0.015 | 0.27% | 55.00   | 25.00   | 15.00  | 625.00                   | 2.40   | 5.00    | 2388.00                  | 11.94   |
| E-E (CONCRETE CHANNEL) | 21+85.09 TO 31+45.06 | 0.035 | 0.27% | 60.80   | 35.00   | 12.90  | 625.00                   | 3.30   | 4.30    | 1009.00                  | 1.22    |

### IH-35 BYPASS CHANNEL (B) PROFILE - STA. 12+50 TO 24+00



#### GENERAL NOTES (ALL SHEETS)

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
- REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
- REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET C015.
- REFERENCE SHEET CR100 FOR OVERALL ROADWAY PLAN.
- REFERENCE SHEET CR301 & CR302 FOR TYPICAL STREET SECTIONS AND ROADWAY DETAILS.
- REFERENCE SHEET CR300 SIGNAGE AND STRIPING PLAN.
- IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE FINAL ACCEPTANCE.
- ALL STORM DRAINAGE PIPE WITHIN THE PUBLIC ROW SHALL BE MIN. RCP (REINFORCED CONCRETE PIPE).
- PIPE INVERTS, SLOPE AND ALIGNMENT STATIONING ARE REFERENCED FROM CL OF STRUCTURES TO CL OF STRUCTURES. PIPE LENGTHS SHOWN ARE FROM INSIDE WALL OF STRUCTURE TO INSIDE WALL OF STRUCTURE.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL GROUT TO DRAIN AT ALL CURB INLETS AND JUNCTION BOXES. PROVIDE CONCRETE COLLARS AT ALL CURB INLET AND JUNCTION BOX TIE-INS. REFERENCE DETAILS SHEETS ### TO C603 FOR ADDITIONAL DETAIL & INFORMATION.
- THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES.
- CONCRETE SHALL BE A MIN. OF 3000 PSI IN 28 DAYS WITH #4 BARS @ 12" O.C.E.W. UNLESS OTHERWISE NOTED/SPECIFIED.
- CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE [CITY OF SAN ANTONIO] STANDARD DETAILS AND SPECIFICATIONS.

**CAUTION!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGESTS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

LENAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

I-35 BYPASS CHANNEL

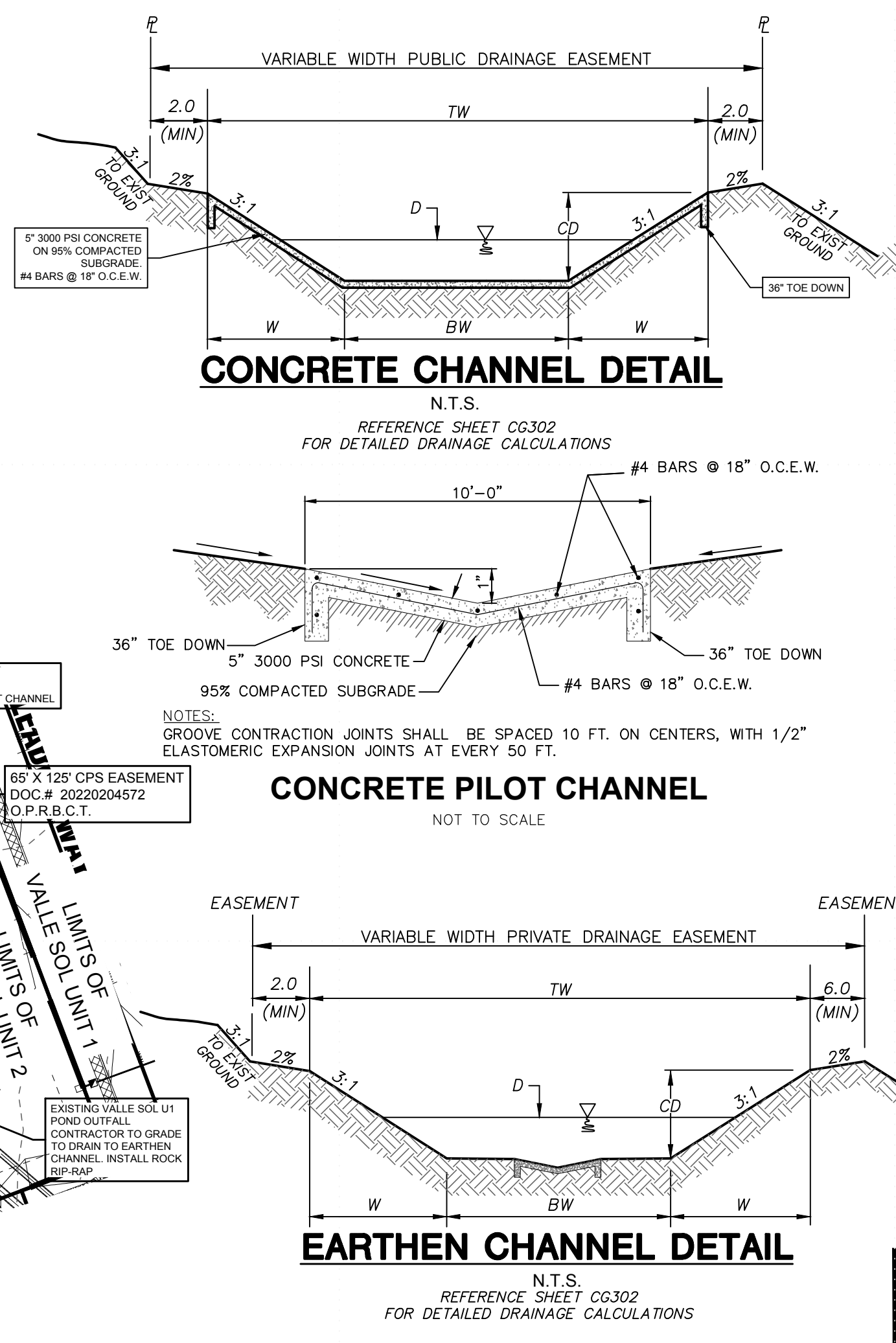
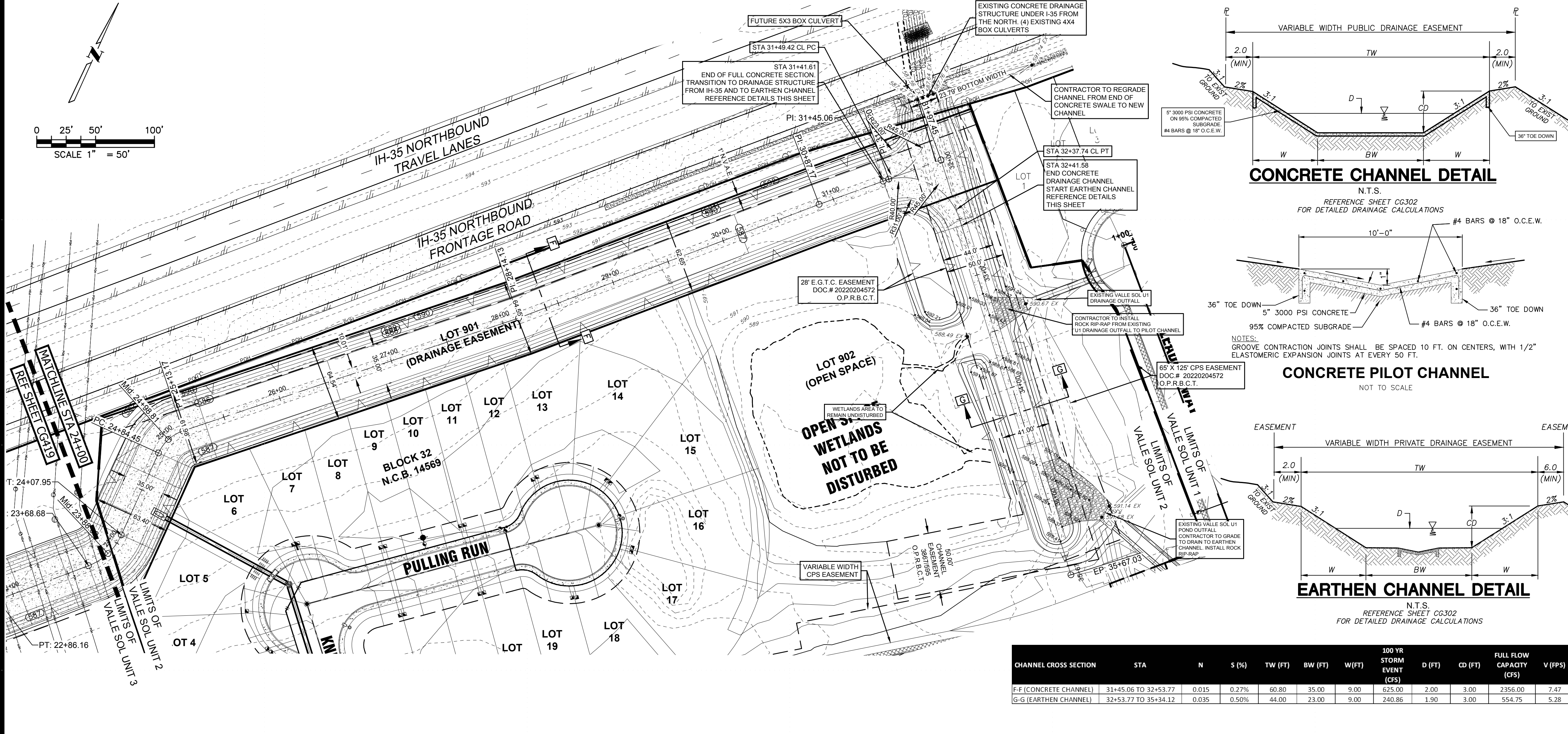
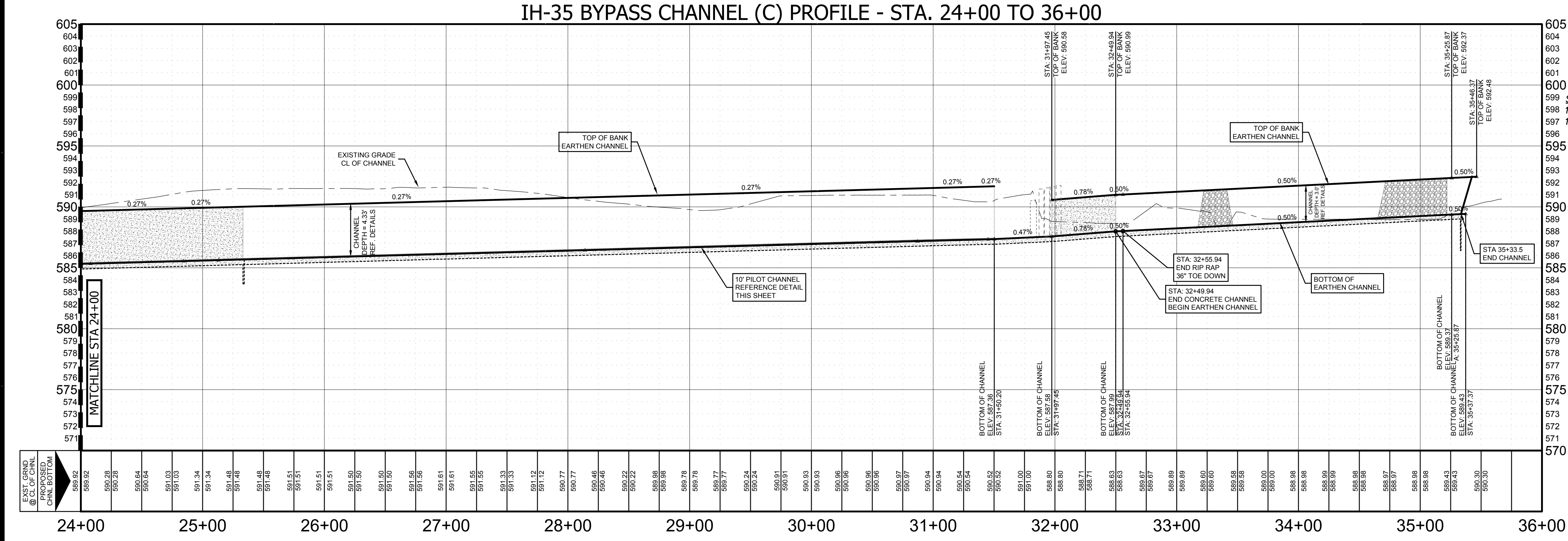
| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         | BY                                    |

DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFURRP

SHEET  
**CG419**  
56 OF 75



FILE NAME: I:\PROJECTS\1806 - VALLE SOL UNIT 2 REDSIGN\ASB\CHS\1806-2 - CG420 I-35 BYPASS CHANNEL.DWG  
LAST MODIFIED ON: January 21, 2024  
PLOTTED ON: January 21, 2024  
PLOT STYLE: VTO.PLOT PRODUCTION STANDARD CTR



**LEGEND**

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- SIDEWALK (HOME BUILDER'S RESPONSIBILITY)
- SIDEWALK (DEVELOPER'S RESPONSIBILITY)
- EXIST. GRADE ELEVATIONS
- PROP. GRADE ELEVATIONS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING GAS LINE
- PROPOSED DRAINAGE
- PROPOSED WASTEWATER LINE
- EXISTING WASTEWATER LINE
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED CAP/PLUG
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING GUY WIRE
- PROPOSED WASTEWATER MANHOLE
- EXISTING WASTEWATER MANHOLE
- PROPOSED DRAINAGE JUNCTION BOX
- PROPOSED CURB INLET
- PROPOSED 60" DRAINAGE MANHOLE
- PROPOSED STREET LIGHT
- PROPOSED WASTEWATER LATERAL

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- REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES.
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**CAUTION!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIGITEST FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

**ENGINEERING + SURVEYING**  
11903 JONES MALIBESER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPENGINEERING.COM  
1/21/24

**STATE OF TEXAS**  
RYAN R. PLAGENS  
111640  
LICENSED PROFESSIONAL ENGINEER

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
I-35 BYPASS CHANNEL

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |

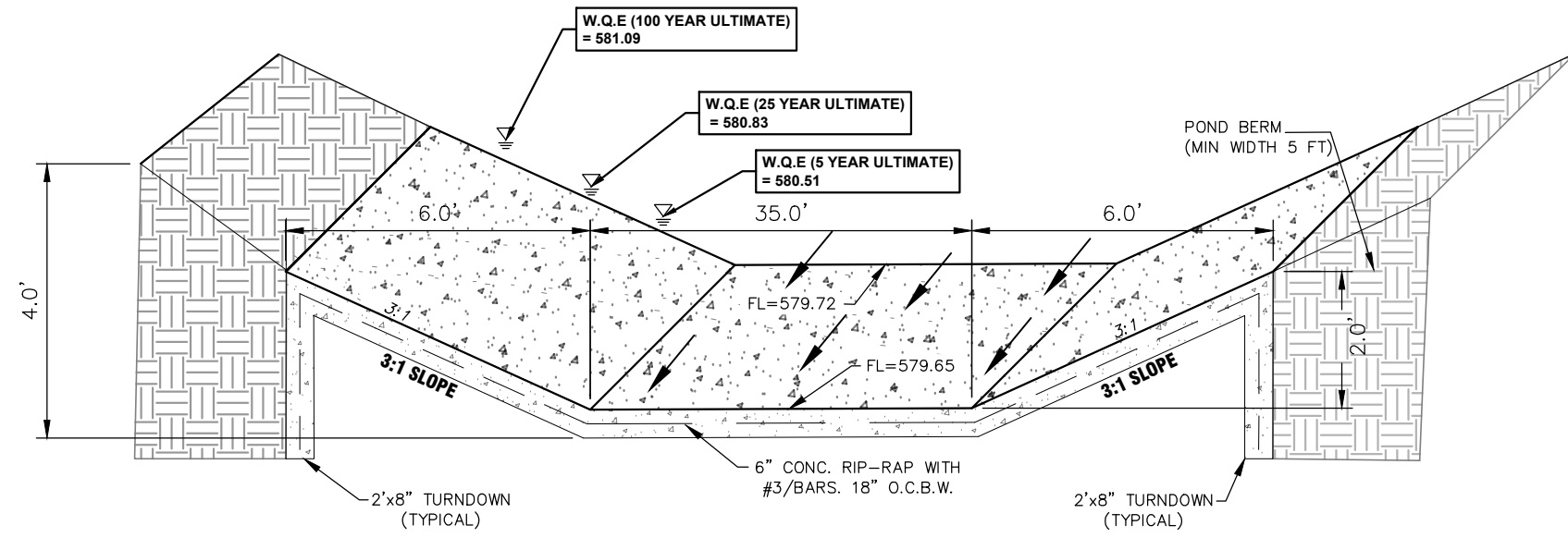
DESIGNED BY: JOST/S  
DRAFTED BY: JOST  
CHECKED BY: NFURRRP

SHEET  
**CG420**  
57 OF 75

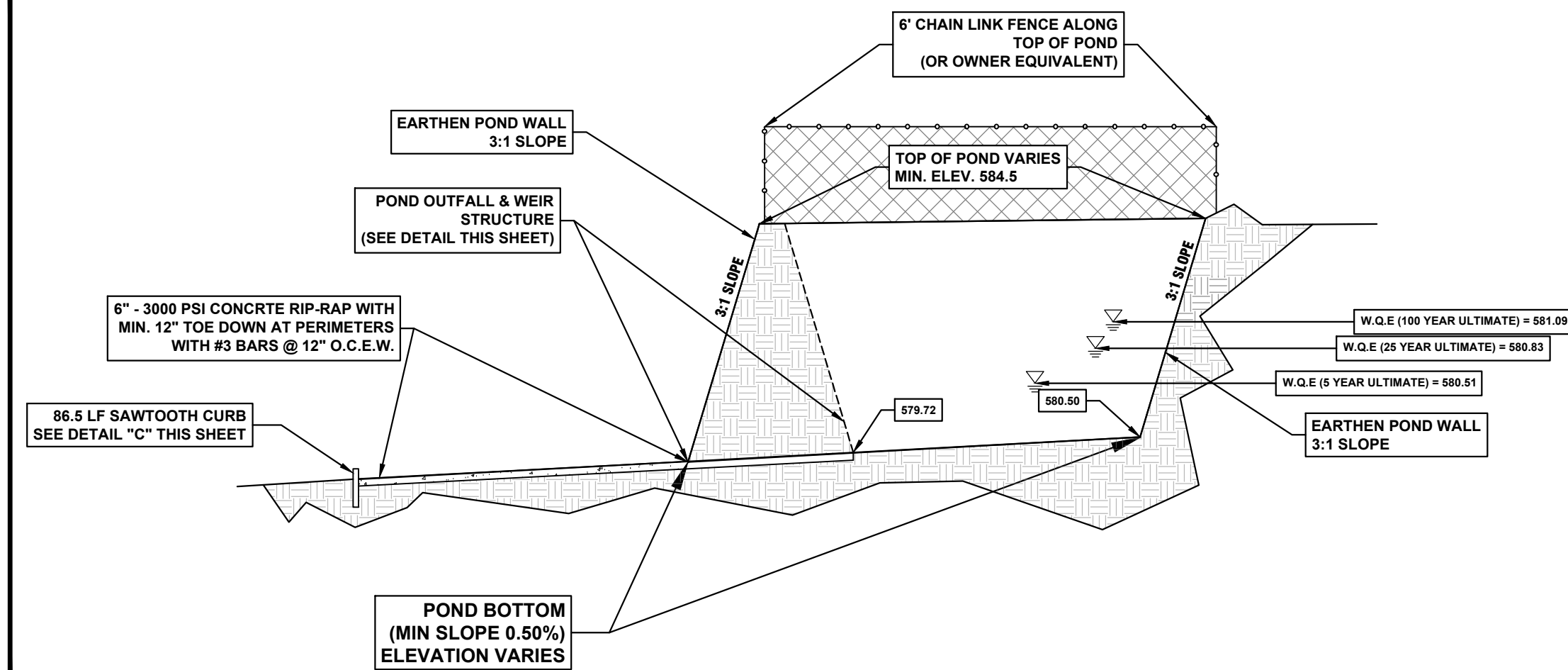


# POND NOTES

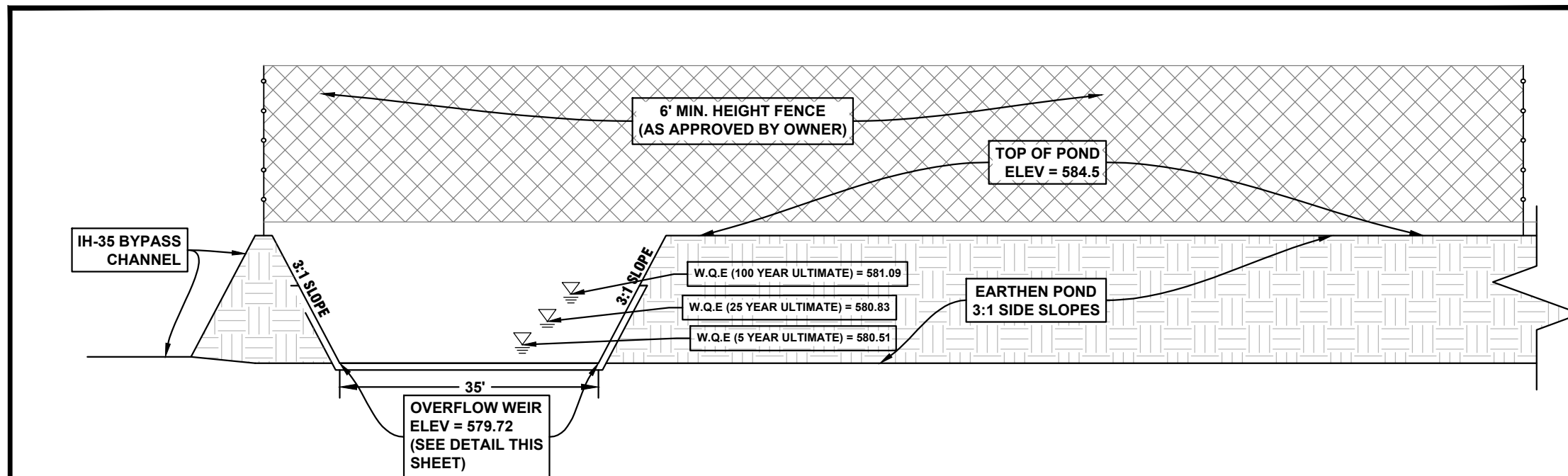
1. CONCRETE SHALL BE A MINIMUM 3000 PSI IN 28 DAYS WITH #4 BARS @ 12" O.C.E.W. UNLESS OTHERWISE SPECIFIED.
2. CONTRACTOR SHALL INCORPORATE WEEP HOLES AS NEEDED..
3. IMPROVED EARTHEN CHANNELS AND DETENTION PONDS SHALL BE VEGETATED BY SEEDING OR SODDING. EIGHTY-FIVE PERCENT OF THE CHANNEL OR POND SURFACE AREA MUST HAVE ESTABLISHED VEGETATION BEFORE THE CITY OF SAN ANTONIO WILL ACCEPT THE CONSTRUCTION OF THE POND.
4. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND APPURTENANCES AS CALLED OUT ON PLANS.
5. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY, IN ACCORDANCE WITH CITY OF SAN ANTONIO STANDARD SPECIFICATIONS.



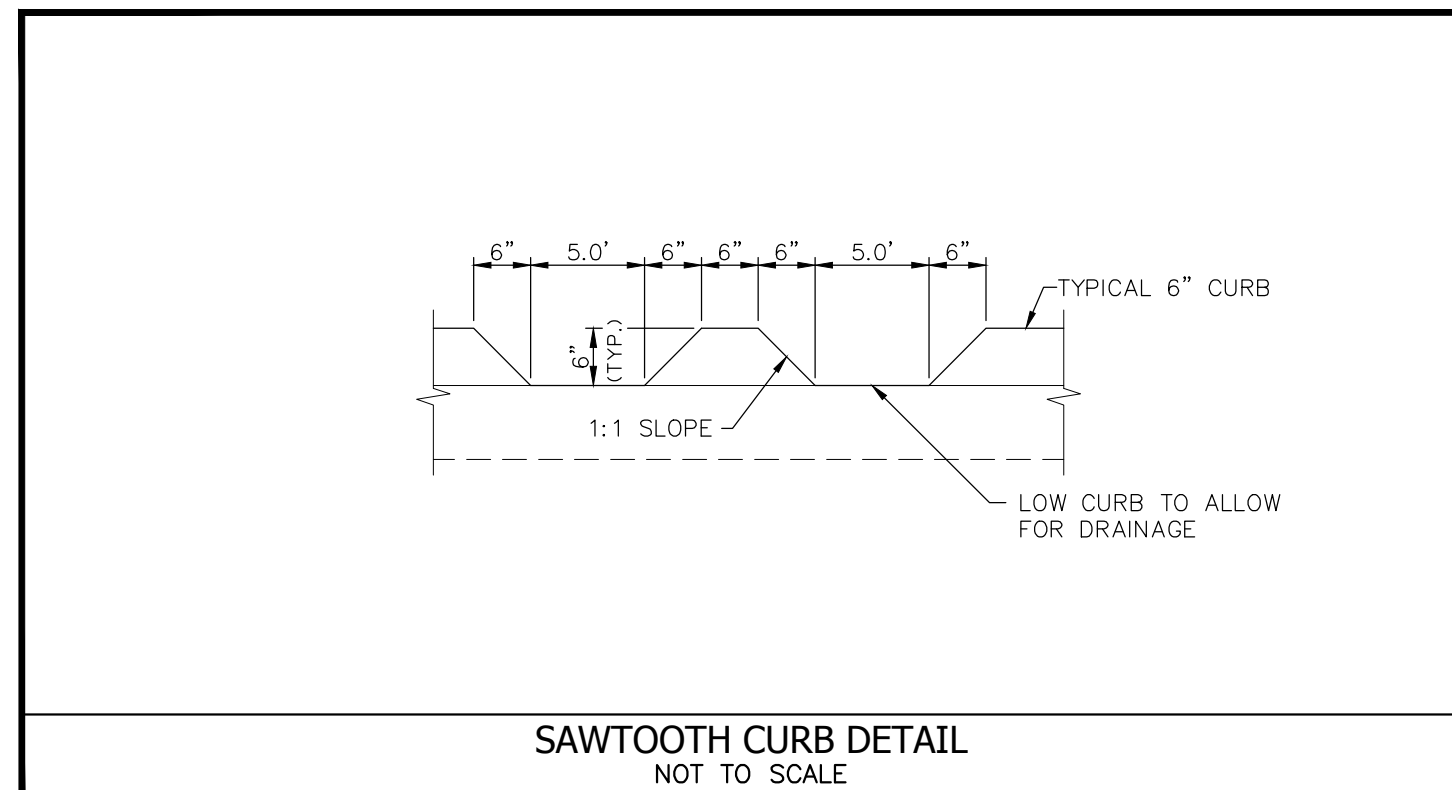
POND OUTLET WEIR DETAIL  
NOT TO SCALE



DETAIL "A" - POND SECTION  
NOT TO SCALE

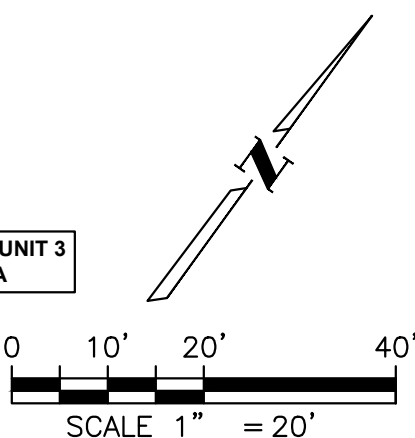
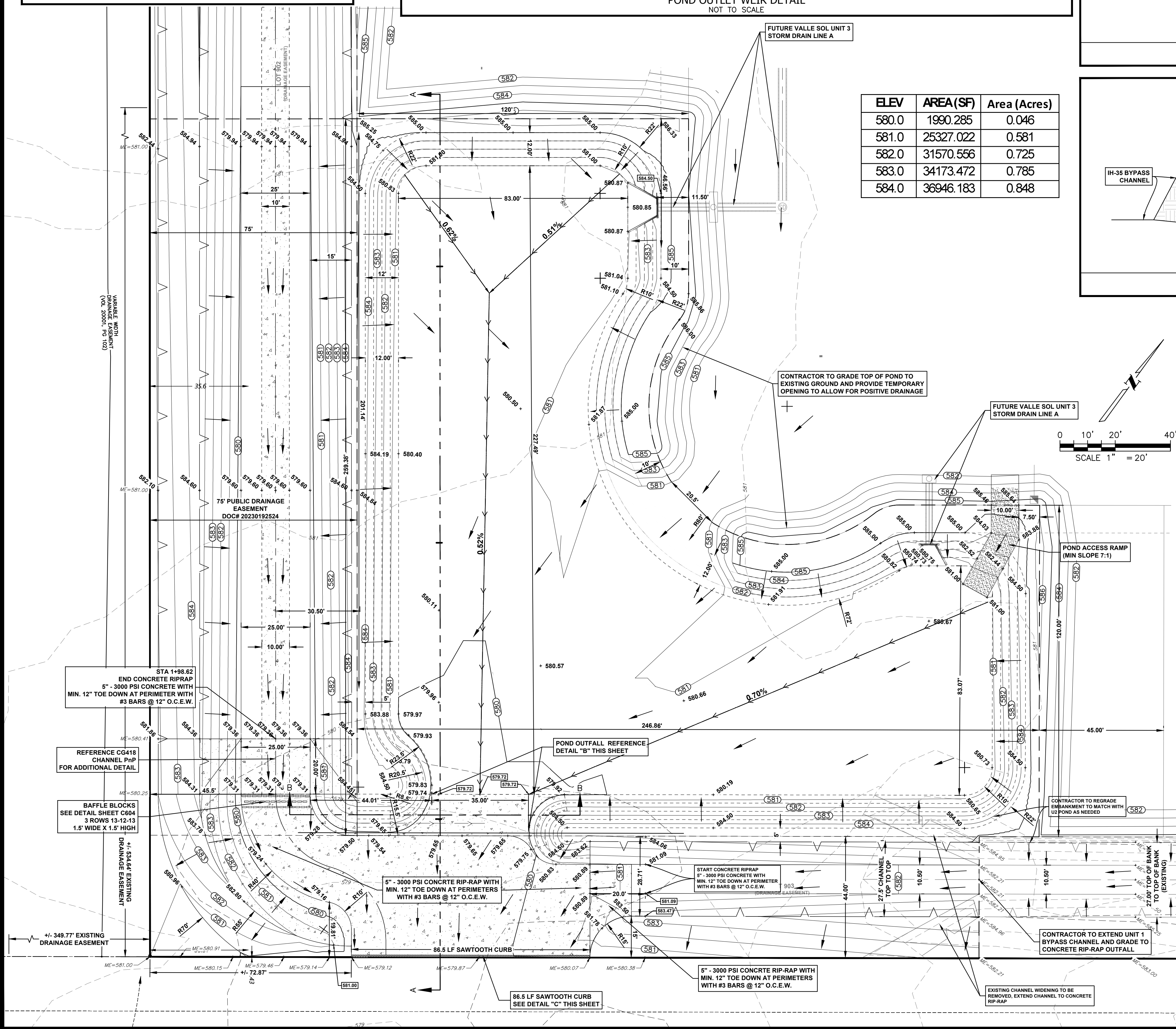


DETAIL "B" - POND WEIR SECTION  
NOT TO SCALE



SAWTOOTH CURB DETAIL  
NOT TO SCALE

| ELEV  | AREA(SF)  | Area (Acres) |
|-------|-----------|--------------|
| 580.0 | 1990.285  | 0.046        |
| 581.0 | 25327.022 | 0.581        |
| 582.0 | 31570.556 | 0.725        |
| 583.0 | 34173.472 | 0.785        |
| 584.0 | 36946.183 | 0.848        |

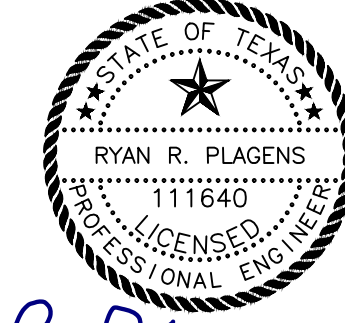


**1** REVISED SHEET

**WARNING!!**  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING TEXAS ONE CALL SYSTEM @ 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

**CAUTION:**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTSS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

**UP**  
**ENGINEERING**  
**+ SURVEYING**  
111 TOWER DR. SUITE 225  
SAN ANTONIO, TX 78232 TEL 210-774-5504  
WWW.OPENINGUPENGINEERING.COM  
TBEELS E-10194606



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
UNIT 2 - SOUTHERLY DETENTION POND

| REV          | DATE    | DESCRIPTION                           | BY  |
|--------------|---------|---------------------------------------|-----|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/TS  |                                       |     |
| DRAFTED BY:  | JOS     |                                       |     |
| CHECKED BY:  | NFUR/PP |                                       |     |
| SHEET        |         |                                       |     |
| CG500        |         |                                       |     |
| 58           | OF      | 75                                    |     |

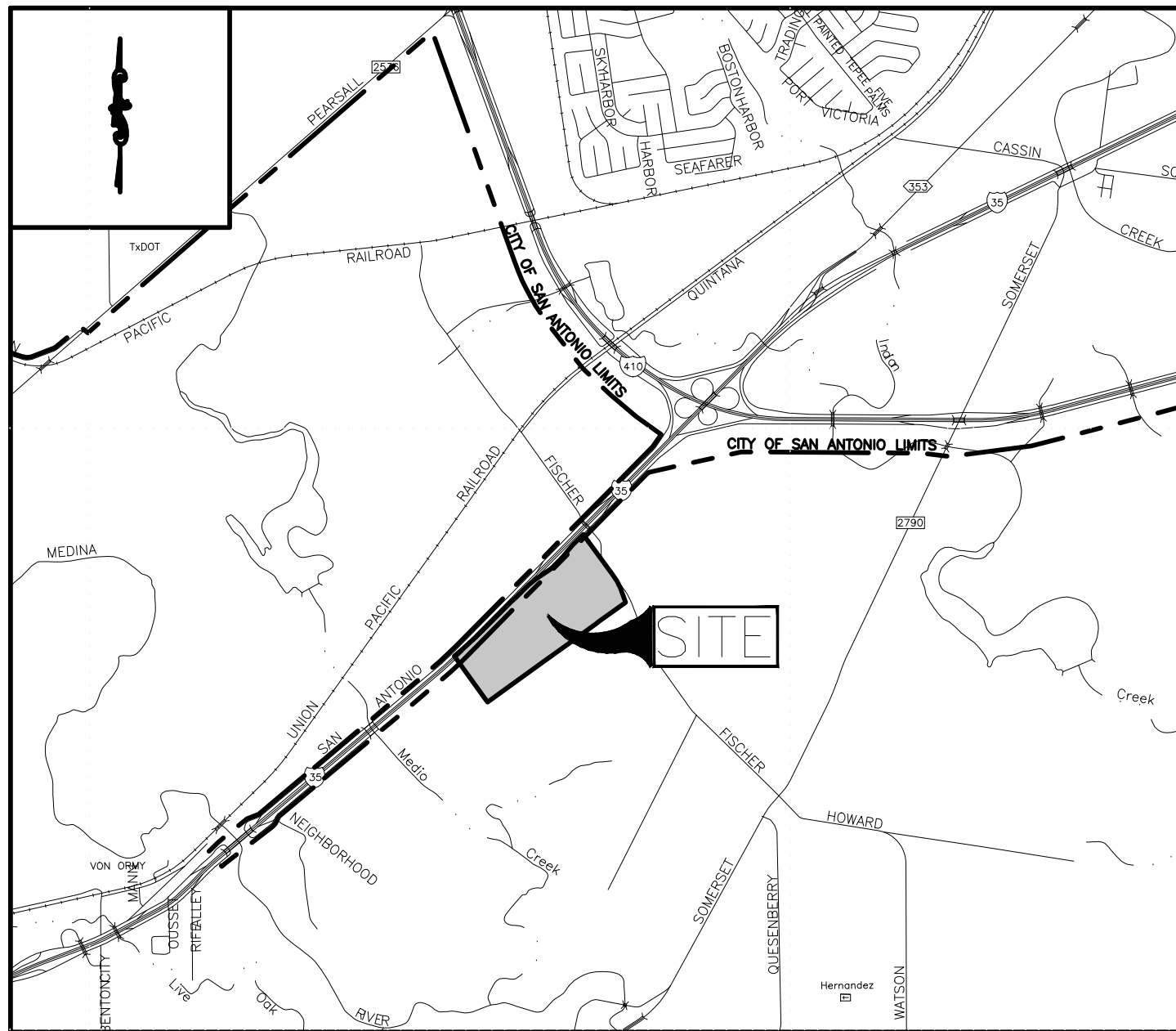
PROJECT: 1186 - VALLE SOL UNIT 2 - SOUTHERLY DETENTION POND  
LAST MODIFIED ON: June 13, 2024  
PLOT FILE: V15.DWG  
PLOT STYLE: V15.DWG  
PLOT SCALE: 1\"/>



# WASTEWATER CONSTRUCTION DOCUMENTS FOR VALLE SOL UNIT 2 SUBDIVISION

San Antonio, Texas

PLAT NO. 22-11800251



VICINITY MAP  
NOT TO SCALE

PERMITTED - SEPTEMBER 15, 2023

REVISED DATE - JANUARY 17, 2024

## SAWS CONSTRUCTION NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE PLANS, SPECIFICATIONS, GENERAL CONDITIONS AND WITH THE FOLLOWING AS APPLICABLE:
  - CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) "DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEM", TEXAS ADMINISTRATIVE CODE (TAC) TITLE 30 PART 1 CHAPTER 217 AND "PUBLIC DRINKING WATER", TAC TITLE 30 PART 1 CHAPTER 290.
  - CURRENT TxDOT "STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE"
  - CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION"
  - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
  - CURRENT CITY OF SAN ANTONIO "UTILITY EXCAVATION CRITERIA MANUAL" (UECM).
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP) FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS. WORK COMPLETED BY THE CONTRACTOR WITHOUT AND APPROVED COUNTER PERMIT AND/OR A GCP WILL BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE EXPENSE OF THE CONTRACTOR AND/OR THE DEVELOPER.
- THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE, [HTTP://WWW.SAWS.ORG/BUSINESS\\_CENTER/SPECS](http://www.saws.org/business_center/specs). UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.
- THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-2973, ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.
- LOCATION AND DEPTH OF EXISTING UTILITIES AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF THE UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAWS UTILITY LOCATES: [HTTP://WWW.SAWS.ORG/SERVICE/LOCATES](http://www.saws.org/service/locates)  
COSA DRAINAGE 210-207-0724 OR (210) 207-6026  
COSA TRAFFIC SIGNAL OPERATIONS 210-206-8480  
COSA TRAFFIC SIGNAL DAMAGES 210-207-3951  
TEXAS STATE WIDE ONE CALL LOCATOR 1-800-545-6005 OR 811
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, DRIVEWAYS, LANDSCAPING AND STRUCTURES TO ITS ORIGINAL OR BETTER CONDITION IF DAMAGES ARE MADE AS A RESULT OF THE PROJECT'S CONSTRUCTION.
- ALL WORK IN TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) AND/OR BEXAR COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH RESPECTIVE CONSTRUCTION SPECIFICATIONS AND PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL COMPLY WITH CITY OF SAN ANTONIO OR OTHER GOVERNING MUNICIPALITY'S TREE ORDINANCES WHEN EXCAVATING NEAR TREES.
- THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN PERMIT.
- HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS. REQUESTS SHOULD BE SENT TO [CONSTWORKREQ@SAWS.ORG](mailto:CONSTWORKREQ@SAWS.ORG). WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO [CONSTWORKREQ@SAWS.ORG](mailto:CONSTWORKREQ@SAWS.ORG). ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.
- COMPACTION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTION REQUIREMENTS ON ALL TRENCH BACKFILL AND PAYING FOR THE TESTS PERFORMED BY A THIRD PARTY. COMPACTION TESTS WILL BE DONE AT ONE LOCATION POINT RANDOMLY SELECTED, OR AS INDICATED BY THE SAWS INSPECTOR AND/OR THE TEST ADMINISTRATOR, PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET AT A MINIMUM. THIS PROJECT WILL NOT BE ACCEPTED AND FINALIZED BY SAWS WITHOUT THIS REQUIREMENT BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.
- A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWS CONSTRUCTION INSPECTION DIVISION.

## SEWER NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SANITARY SEWER OVERFLOW (SSO) OCCURS AS A RESULT OF THEIR WORK. ALL CONTRACTOR PERSONNEL RESPONSIBLE FOR SSO PREVENTION AND CONTROL SHALL BE TRAINED ON PROPER RESPONSE. SHOULD AN SSO OCCUR, THE CONTRACTOR SHALL:
  - IDENTIFY THE SOURCE OF THE SSO AND NOTIFY SAWS EMERGENCY OPERATIONS CENTER (EOC) IMMEDIATELY AT (210) 704-SAWS (210-704-7297). PROVIDE THE ADDRESS OF THE SPILL AND AN ESTIMATED VOLUME OR FLOW.
  - ATTEMPT TO ELIMINATE THE SOURCE OF THE SSO.
  - CONTAIN SEWAGE FROM THE SSO TO THE EXTENT OF PREVENTING A POSSIBLE CONTAMINATION OF WATERWAYS.
  - CLEAN UP SPILL SITE (RETURN CONTAINED SEWAGE TO THE COLLECTION SYSTEM IF POSSIBLE) AND PROPERLY DISPOSE OF CONTAMINATED SOIL/MATERIALS.
  - CLEAN THE AFFECTED SEWER MAINS AND REMOVE ANY DEBRIS.
  - MEET ALL POST-SSO REQUIREMENTS AS PER THE EPA CONSENT DECREE, INCLUDING LINE CLEANING AND TELEVISION THE AFFECTED SEWER MAINS (AT SAWS DIRECTION) WITHIN 24 HOURS. SHOULD THE CONTRACTOR FAIL TO ADDRESS AN SSO IMMEDIATELY AND TO SAWS SATISFACTION, THEY WILL BE RESPONSIBLE FOR ALL COSTS INCURRED BY SAWS, INCLUDING ANY FINES FROM EPA.
- NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE FOR THIS WORK. ALL WORK SHALL BE DONE ACCORDING TO GUIDELINES SET BY THE TCEQ AND SAWS.
- THE CONTRACTOR SHALL PROVIDE BYPASS PUMPING OF SEWAGE AROUND EACH SEGMENT OF PIPE TO BE REPLACED, IN ACCORDANCE WITH SAWS STANDARD SPECIFICATION ITEM NO. 865, "BYPASS PUMPING SMALL DIAMETER SANITARY SEWER MAINS" AND STANDARD SPECIFICATION ITEM NO. 864, "BYPASS PUMPING LARGE DIAMETER SANITARY SEWER MAINS" AS APPLICABLE. PAYMENT FOR SUCH WORK WILL BE MADE UNDER THE APPROPRIATE BID ITEM ASSOCIATED WITH SANITARY SEWER BYPASS PUMPING IN ACCORDANCE WITH SAWS STANDARD SPECIFICATIONS 865 AND 864.
- PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING FORCE MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-3500 AND/OR SAWS PRODUCTION GROUPS AT LEAST TWO WEEKS OR MORE IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS; THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.
- ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ALLOWANCES AND ADJUSTMENTS FOR TOP OF MANHOLES TO MATCH THE FINISHED GRADE OF THE PROJECT'S IMPROVEMENTS. (NSPI)
- MANHOLE REMOVAL: WHERE EXISTING MANHOLES ARE TO BE REPLACED BY THE CONTRACTOR, THE EXISTING MANHOLES SHALL BE REMOVED. (NSPI)
- SMART MANHOLE COVERS: THE CONTRACTOR SHALL NOTIFY SAWS EOC AT 210-233-SAWS (210-233-7297) AND EITHER AMERICA ESPINOZA AT 210-233-2934 OR JOSE A. MARTINEZ AT 210-233-3071 A MINIMUM OF 72 HOURS, NOT COUNTING WEEKENDS OR SAWS HOLIDAYS, BEFORE WORKING ON THE PIPE OR MANHOLE, IN ORDER TO HAVE SAWS REMOVE THE SMART COVER. ANY DAMAGE DONE TO THE SMART COVER WILL BE CHARGED TO THE CONTRACTOR THROUGH A CHANGE ORDER.
- FLOW METERS IN MANHOLES: THE CONTRACTOR SHALL NOTIFY BOBBY JOHNSON AT 210-233-3493 OR ABEL BORUNDA AT 210-233-3704 A MINIMUM OF 72 HOURS, NOT COUNTING WEEKENDS OR SAWS HOLIDAYS, BEFORE WORKING ON THE PIPE OR MANHOLE, IN ORDER TO HAVE SAWS REMOVE THE FLOW METER IN THE MANHOLE. ANY DAMAGE DONE TO THE FLOW METER WILL BE CHARGED TO THE CONTRACTOR THROUGH A CHANGE ORDER.

## SAWS - WASTEWATER CONSTRUCTION SHEET LIST

| SHEET NUMBER      | SHEET TITLE                               |
|-------------------|---|
| WASTEWATER SHEETS |   |
| CU000             | SAWS SANITARY SEWER COVER SHEET           |
| CU100             | OVERALL UTILITY LAYOUT                    |
| CU200             | WASTEWATER LINE A                         |
| CU201             | WASTEWATER LINE B                         |
| CU202             | WASTEWATER LINE B                         |
| CU203             | WASTEWATER LINE C                         |
| CU204             | WASTEWATER LINE D                         |
| CU205             | EXISTING WASTEWATER LINE A - REMEMBER WAY |
| CU206             | WASTEWATER LINE E                         |

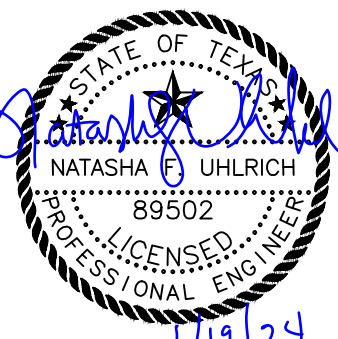
1 REVISED SHEET

UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

|  |                       |
|--|-----------------------|
| Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD. |                       |
| Address: 100 NE LOOP 410, SUITE 1155                       |                       |
| City: SAN ANTONIO  | State: TEXAS          |
| Phone: _____   | Zip: 78216            |
| Fax: _____   |                       |
| SAWS Block Map: 122-536                                    |                       |
| Total EDUs: 195  | Total Acreage: 33.62  |
| Total Linear Footage of Pipe: 4,734 L.F. 8" PVC            | Plat No.: 22-11800251 |
| Number of Lots: 195 S.F.                                   | SAWS Job No.: 22-1656 |
| 4 N.S.F.   |                       |

**UP**  
ENGINEERING  
+ SURVEYING

11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPENGINEERING.COM  
TBEELS E-10194606



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

SAWS SANITARY SEWER COVER SHEET

| REV | DATE     | DESCRIPTION                           | BY  |
|-----|----------|---------------------------------------|-----|
| 1   | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |

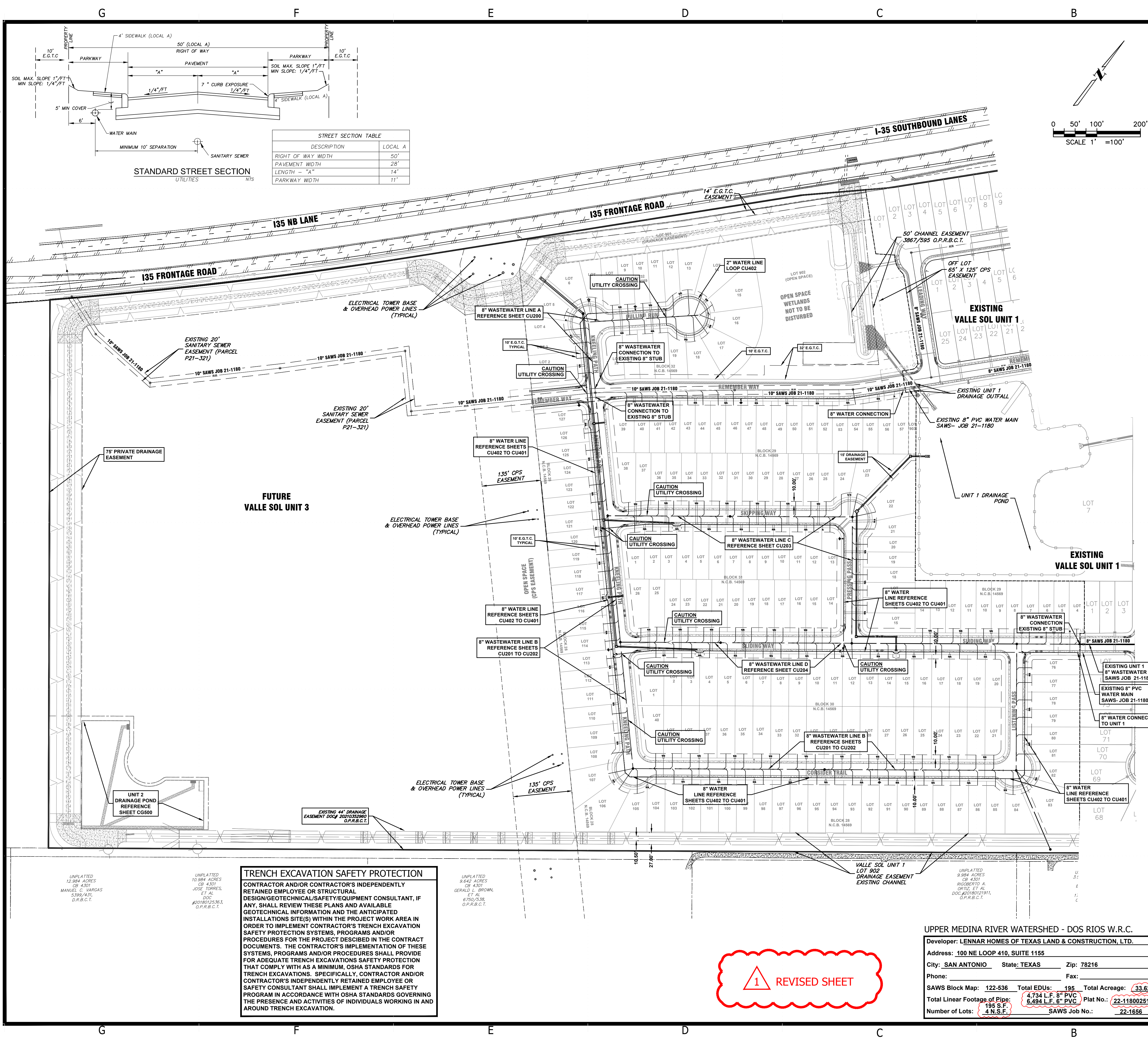
DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFURRP

SHEET

CU000

59 OF 75





### LEGEND

|  |                                |
|--|--------------------------------|
| BOUNDARY / RIGHT OF WAY                  | EXISTING WASTEWATER MANHOLE    |
| EASEMENT / SETBACK                       | PROPOSED DRAINAGE JUNCTION BOX |
| CURB / EDGE OF PAVEMENT                  | PROPOSED CURB INLET            |
| SIDEWALK (HOME BUILDER'S RESPONSIBILITY) | PROPOSED 60" DRAINAGE MANHOLE  |
| SIDEWALK (DEVELOPER'S RESPONSIBILITY)    | PROPOSED STREET LIGHT          |
| EXIST. GRADE ELEVATIONS                  | PROPOSED WASTEWATER LATERAL    |
| PROP. GRADE ELEVATIONS                   |                                |
| EXISTING WATER LINE                      |                                |
| PROPOSED WATER LINE                      |                                |
| EXISTING OVERHEAD UTILITIES              |                                |
| EXISTING UNDERGROUND ELECTRIC            |                                |
| EXISTING GAS LINE                        |                                |
| PROPOSED DRAINAGE                        |                                |
| PROPOSED WASTEWATER LINE                 |                                |
| EXISTING WASTEWATER LINE                 |                                |
| TOS                                      |                                |
| EXISTING UTILITY POLE                    |                                |
| EXISTING SIGN                            |                                |
| EXISTING FIRE HYDRANT                    |                                |
| PROPOSED FIRE HYDRANT                    |                                |
| PROPOSED WATER VALVE                     |                                |
| PROPOSED CAP/PLUG                        |                                |
| EXISTING WATER METER                     |                                |
| PROPOSED WATER METER                     |                                |
| EXISTING GUY WIRE                        |                                |
| PROPOSED WASTEWATER MANHOLE              |                                |

### WASTEWATER SHEET NOTES

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
- REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
- REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET #####.
- REFERENCE SHEET CU100 FOR OVERALL UTILITY LAYOUT.
- LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- AFTER ALL WASTE WATER CONSTRUCTION HAS BEEN COMPLETED, FINAL STABILIZATION OF THE CONSTRUCTION AREA ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES SHALL BE COMPLETED BY EVENLY DISTRIBUTING SEEDING AND WATERING TO A MIN. 70% OF THE NATIVE BACKGROUND VEGETATIVE COVER.
- ALL WASTE WATER MANHOLES SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE SAWS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION (LATEST EDITION).
- ALL WASTE WATER PRECAST MANHOLES SHALL BE SUPPLIED BY A SAWS APPROVED MANUFACTURER.
- CONTRACTOR SHALL PROVIDE MANUFACTURED STUB OUT CAP & PLUG TO MEET 30 TAC 213.5(3)(G) STANDARDS AND TO MEET ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS ARE 6" DIA. AND 35 FEET IN LENGTH UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS SHALL BE EXTENDED TO THE BACK OF THE 10' E.G.T.C. AND CARPED AND SEALED.
- WASTE WATER LATERALS TO LOTS THAT SLOPE AWAY FROM THE STREET SHALL BE SLOPED FROM THE TEE OR STACK AT 2% TO THE PROPERTY LINE.
- ALL WASTE WATER PIPE TO BE SDR 26 PER ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED. PIPE JOINTS TO BE SDR 26 PER ASTM D3139 SPECIFICATIONS.
- ALL WASTE WATER LINES WHICH CROSS WATER LINES ARE TO HAVE A MINIMUM OF A SINGLE LENGTH OF SDR 26(ASST D2241-09), PRESSURE RATED (150 PSI) PIPE, CENTERED ON THE WATERLINE SUCH THAT EACH WASTE WATER JOINT IS A MINIMUM OF NINE FEET FROM THE WATERLINE.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF PIPE, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES. CONTRACTOR TO REFER TO SAWS STANDARD DETAILS FOR ALL SAWS APPURTENANCES AND STRUCTURES.
- CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE (CITY OF SAN ANTONIO) STANDARD DETAILS AND SPECIFICATIONS.

### CAUTION!!!

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

**TRENCH EXCAVATION SAFETY PROTECTION**  
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATIONS SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

|   |              |
|---|--------------|
| Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.        |              |
| Address: 100 NE LOOP 410, SUITE 1155                              |              |
| City: SAN ANTONIO   | State: TEXAS |
| Zip: 78216  |              |
| Phone: _____  | Fax: _____   |
| SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62      |              |
| Total Linear Footage of Pipe: 4,734 L.F. 8" PVC 6,494 L.F. 6" PVC |              |
| Number of Lots: 195 S.F. 4 N.S.F.                                 |              |
| SAWS Job No.: 22-1180251  |              |



11903 JONES VALLEY, SUITE 102  
SAN ANTONIO, TX 78216  
WWW.UPENGINEERING.COM  
TEL 210-774-5504  
FAX 210-774-1792

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

OVERALL UTILITY LAYOUT

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |

DESIGNED BY: JOS/TS  
DRAFTED BY: JOS  
CHECKED BY: NFURRP

SHEET  
**CU100**  
60 OF 75







UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.

Address: 100 NE LOOP 410, SUITE 1155

City: SAN ANTONIO State: TEXAS Zip: 78216

Phone: Fax:

SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62

Total Linear Footage of Pipe: 4,734 L.F. 8" PVC 6,494 L.F. 6" PVC Plat No.: 22-11800251

Number of Lots: 4 N.S.F. SAWS Job No.: 22-1656

1 REVISED SHEET

0 25' 50' 100'  
SCALE 1" = 50'

LEGEND

- BOUNDARY / RIGHT OF WAY  
EASEMENT / SETBACK  
CURB / EDGE OF PAVEMENT  
SIDEWALK (HOME BUILDER'S RESPONSIBILITY)  
SIDEWALK (DEVELOPER'S RESPONSIBILITY)  
EXIST. GRADE ELEVATIONS  
PROP. GRADE ELEVATIONS  
EXISTING WATER LINE  
PROPOSED WATER LINE  
EXISTING OVERHEAD UTILITIES  
EXISTING UNDERGROUND ELECTRIC  
EXISTING GAS LINE  
PROPOSED DRAINAGE  
PROPOSED WASTEWATER LINE  
EXISTING WASTEWATER LINE  
TOS  
TOP OF STACK  
EXISTING UTILITY POLE  
EXISTING SIGN  
EXISTING FIRE HYDRANT  
PROPOSED FIRE HYDRANT  
PROPOSED WATER VALVE  
PROPOSED CAP/PLUG  
EXISTING WATER METER  
PROPOSED WATER METER  
EXISTING GUY WIRE  
PROPOSED WASTEWATER MANHOLE  
EXISTING WASTEWATER MANHOLE  
PROPOSED DRAINAGE JUNCTION BOX  
PROPOSED CURB INLET  
PROPOSED 60" DRAINAGE MANHOLE  
PROPOSED STREET LIGHT  
PROPOSED WASTEWATER LATERAL

WASTEWATER SHEET NOTES

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
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- REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
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- REFERENCE SHEET C010 FOR OVERALL UTILITY LAYOUT.
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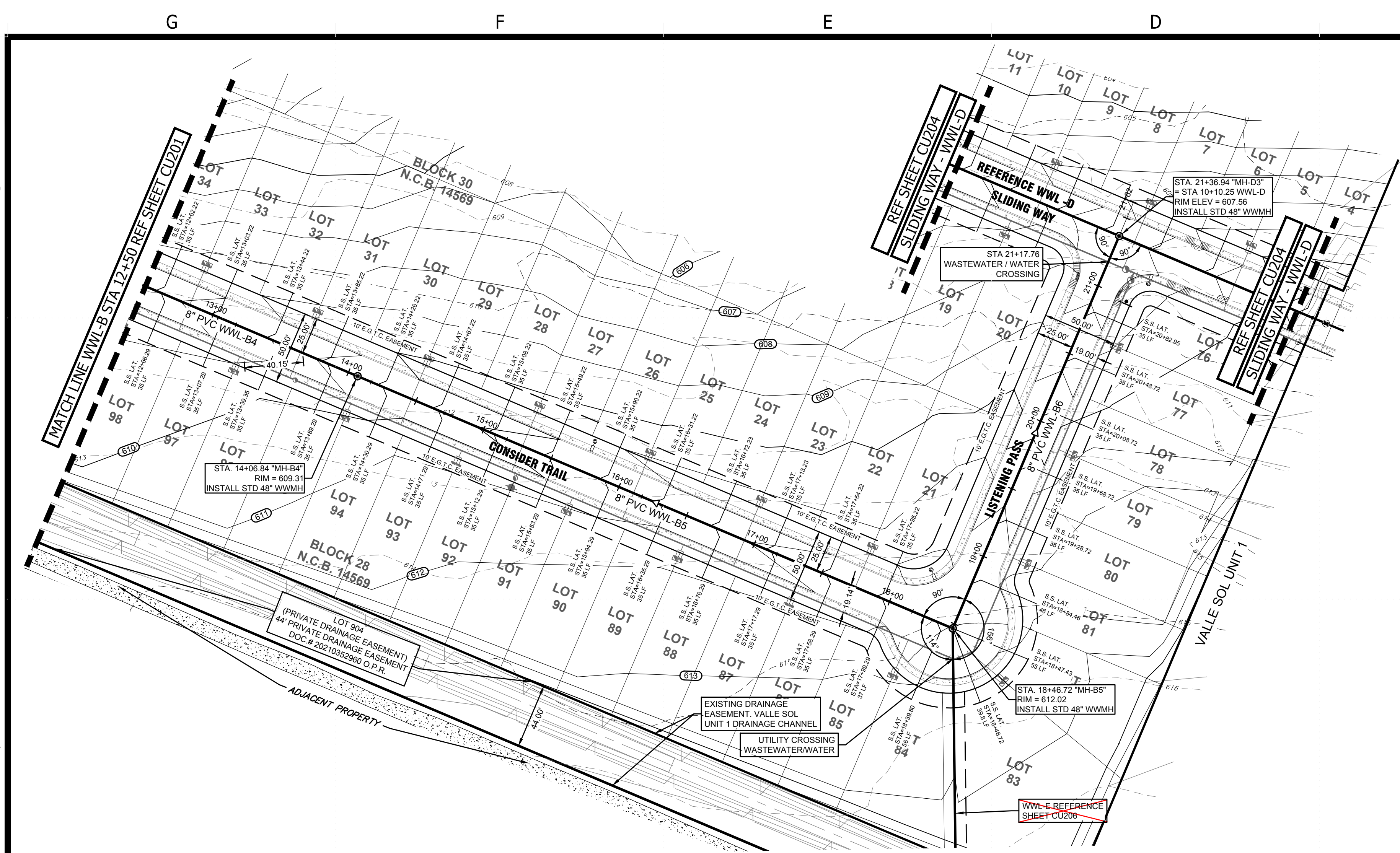
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
WASTEWATER LINE B

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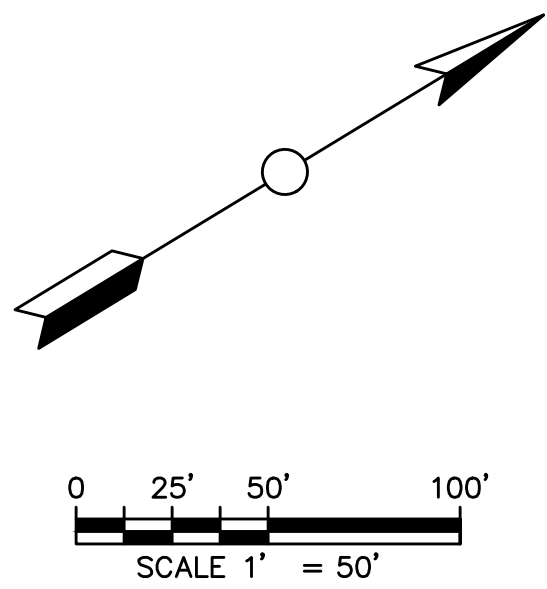
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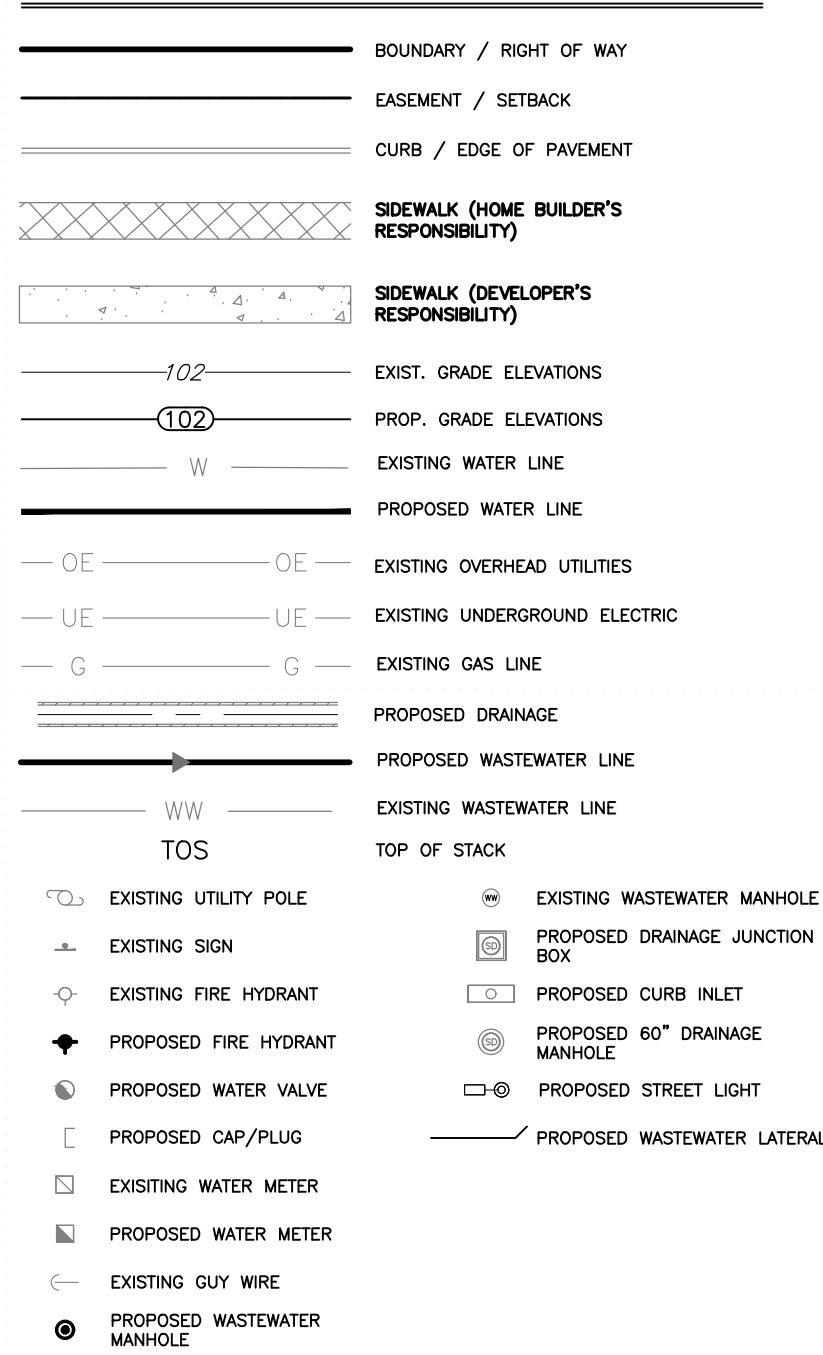


KNEELING PATH & CONSIDER TRAIL & LISTENING PASS

SCALE:  
1"=5' VERT.  
1"=50' HORIZ.



LEGEND



WASTEWATER SHEET NOTES

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
- REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION. REFERENCE SHEET C012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET ###.
- REFERENCE SHEET CU100 FOR OVERALL UTILITY LAYOUT.
- LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- AFTER ALL WASTE WATER CONSTRUCTION HAS BEEN COMPLETED, FINAL STABILIZATION OF THE CONSTRUCTION AREA ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES SHALL BE COMPLETED BY EVENLY DISTRIBUTING SEEDING AND WATERING TO A MIN. 70% OF THE NATIVE BACKGROUND VEGETATIVE COVER.
- ALL WASTE WATER MANHOLES SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE SANS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION (LATEST EDITION).
- ALL WASTE WATER PRECAST MANHOLES SHALL BE SUPPLIED BY A SANS APPROVED MANUFACTURER.
- CONTRACTOR SHALL PROVIDE MANUFACTURED STUB OUT CAP & PLUG TO MEET 30 TAC 213.5(3)(G) STANDARDS AND TO MEET ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS ARE 6" DIA. AND 35 FEET IN LENGTH UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS SHALL BE EXTENDED TO THE BACK OF THE 10' E.G.T.C. AND CAPPED AND SEALED.
- WASTE WATER LATERALS TO LOTS THAT SLOPE AWAY FROM THE STREET SHALL BE SLOPED FROM THE TEE OR STACK AT 2% TO THE PROPERTY LINE.
- ALL WASTE WATER PIPE TO BE SDR 26 PER ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED. PIPE JOINTS TO BE SDR 26 PER ASTM D3139 SPECIFICATIONS.
- ALL WASTE WATER LINES WHICH CROSS WATER LINES ARE TO HAVE A MINIMUM OF A SINGLE LENGTH OF SDR 26(AST D2241-09), PRESSURE RATED (150 PSI) PIPE, CENTERED ON THE WATERLINE SUCH THAT EACH WASTE WATER JOINT IS A MINIMUM OF NINE FEET FROM THE WATERLINE.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF PIPE, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES. CONTRACTOR TO REFER TO SANS STANDARD DETAILS FOR ALL SANS APPURTENANCES AND STRUCTURES.
- CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE (CITY OF SAN ANTONIO) STANDARD DETAILS AND SPECIFICATIONS.



UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.

Address: 100 NE LOOP 410, SUITE 1155

City: SAN ANTONIO State: TEXAS Zip: 78216

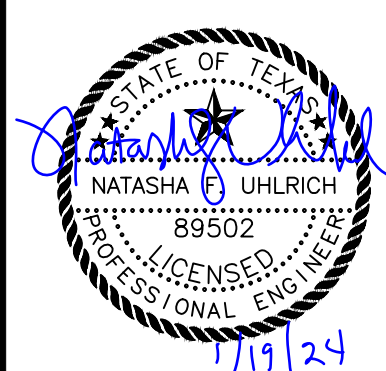
Phone: Fax:

SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62

Total Linear Footage of Pipe: 4,734 L.F. 8" PVC, 6,494 L.F. 6" PVC, Plat No.: 22-11800251

Number of Lots: 195 S.F., 4 N.S.F. SAWS Job No.: 22-1656

CAUTION!!  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTEST @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.



LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

WASTEWATER LINE B

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |

DESIGNED BY: JOS/ITS

DRAFTED BY: JOS

CHECKED BY: NFU/RRP

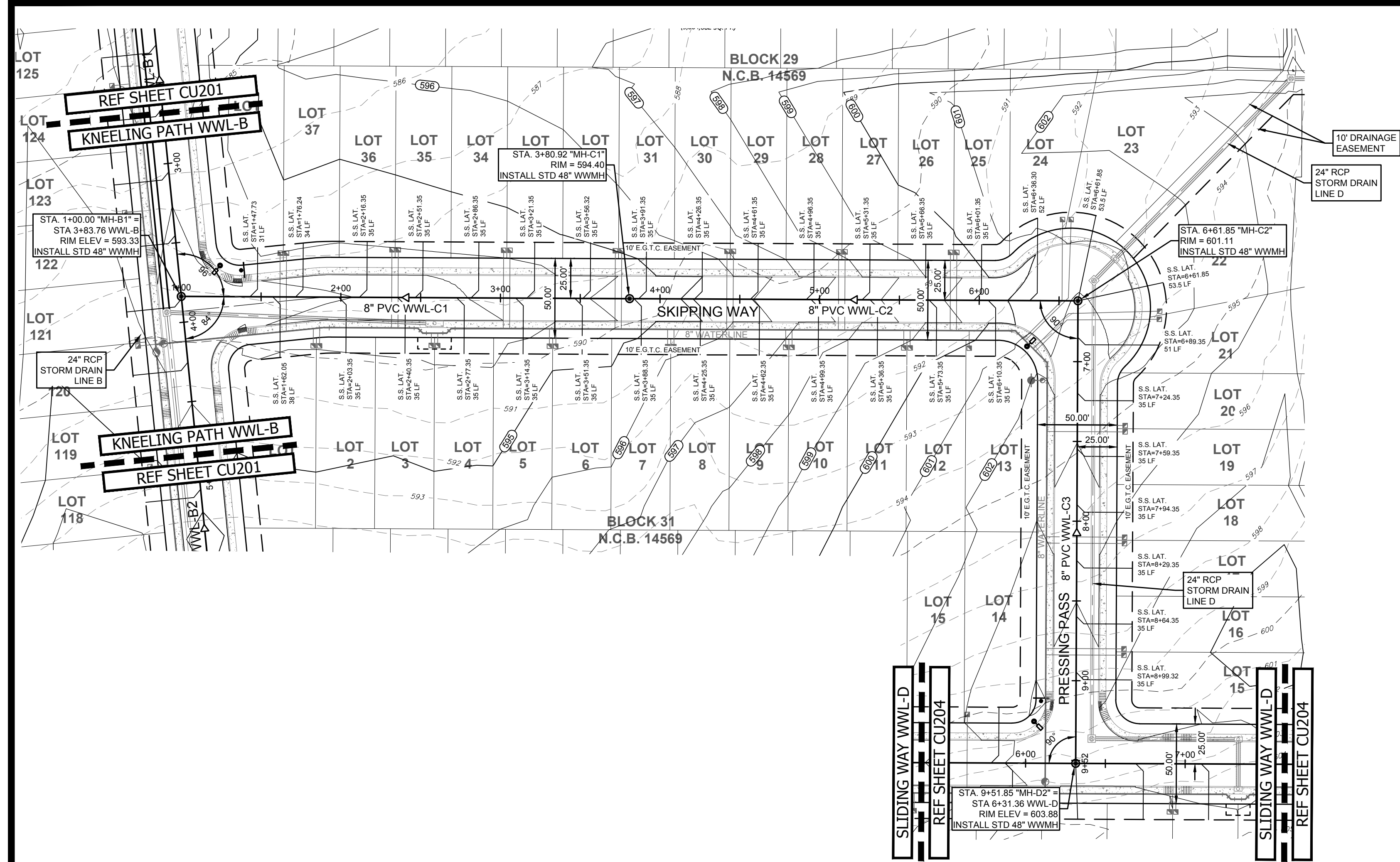
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CU202

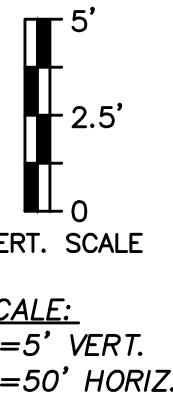
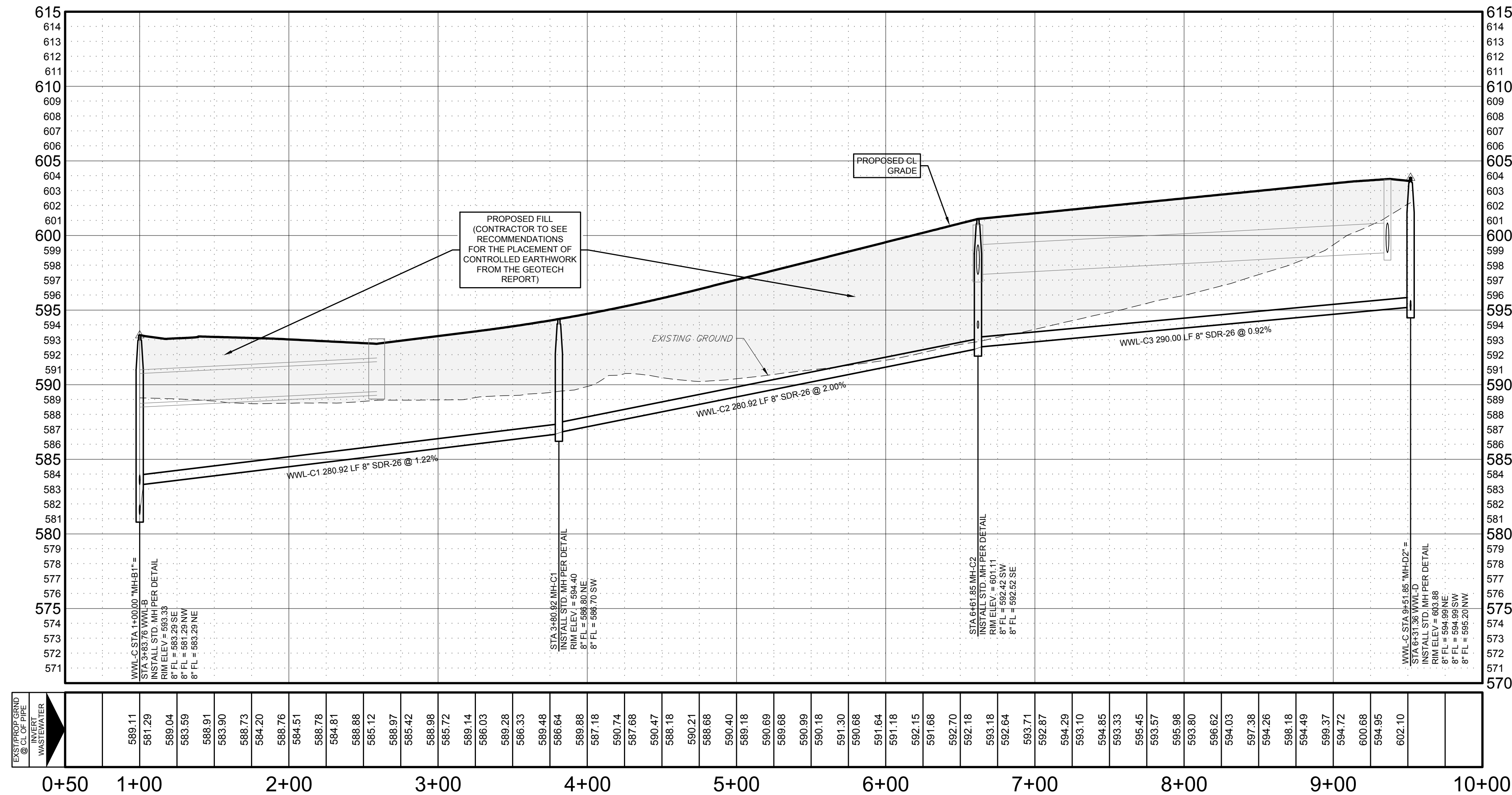
63 OF 75



FILE NAME: U:\PROJECTS\1896 - VALLE SOL UNIT 2 REDDESIGN\DWG\1896-2 - CU203 WASTEWATER LINE.CWG  
LAST MODIFIED ON: January 19, 2024  
LAST PLOTTED ON: January 19, 2024  
PLOT DATE: 1/19/24  
PLOT STYLE: V10.DWG  
PLOT PRODUCTIONS STANDARD CTR



### SKIPPING WAY & PRESSING PASS



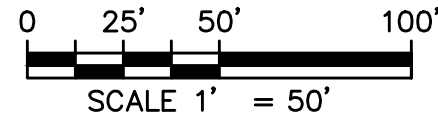
### UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

|   |              |
|---|--------------|
| Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.        |              |
| Address: 100 NE LOOP 410, SUITE 1155                              |              |
| City: SAN ANTONIO   | State: TEXAS |
| Phone: _____  | Zip: 78216   |
| Fax: _____  |              |
| SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62      |              |
| Total Linear Footage of Pipe: 4,734 L.F. 8" PVC 6,494 L.F. 6" PVC |              |
| Number of Lots: 195 S.F. 4 N.S.F.                                 |              |
| SAWS Job No.: 22-11800251   |              |

**CAUTION!!**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.  
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTEST @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

### LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- SIDEWALK (HOME BUILDER'S RESPONSIBILITY)
- SIDEWALK (DEVELOPER'S RESPONSIBILITY)
- EXIST. GRADE ELEVATIONS
- PROP. GRADE ELEVATIONS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING GAS LINE
- PROPOSED DRAINAGE
- PROPOSED WASTEWATER LINE
- EXISTING WASTEWATER LINE
- TOS
- TOP OF STACK
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED CAP/PLUG
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING GUY WIRE
- PROPOSED WASTEWATER MANHOLE
- EXISTING WASTEWATER MANHOLE
- PROPOSED DRAINAGE JUNCTION BOX
- PROPOSED CURB INLET
- PROPOSED 60" DRAINAGE MANHOLE
- PROPOSED STREET LIGHT
- PROPOSED WASTEWATER LATERAL



### WASTEWATER SHEET NOTES

- EXISTING CONDITIONS SURVEY WAS PREPARED BY WESTWOOD PROFESSIONAL SERVICES, INC. IN MAY, OF 2020.
- REFERENCE COVER SHEET FOR ADDITIONAL SITE INFORMATION.
- REFERENCE SHEET CU012, GENERAL NOTES FOR ADDITIONAL SITE NOTES.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN, REFERENCE SHEET #####.
- REFERENCE SHEET CU100 FOR OVERALL UTILITY LAYOUT.
- LOCATION OF EXISTING UTILITIES, SOME OF WHICH MAY NOT BE SHOWN, COULD IMPACT CONSTRUCTION MEANS AND METHODS. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO BID AND CONSTRUCTION, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR TO CONTACT THE AREA "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS.
- CONTRACTOR TO SHALL EXPOSE ALL EXISTING UTILITIES CROSSING PROPOSED GRAVITY LINES AND INSURE THERE WILL BE NO CONFLICT PRIOR TO BEGINNING CONSTRUCTION. ADDITIONALLY, CONTRACTOR TO PLAN UTILITY INSTALLATIONS IN A MANNER TO AVOID CONFLICTS WITH PROPOSED GRAVITY LINES.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES (IF SHOWN) MAY BE EXAGGERATED FOR GRAPHICAL CLARITY. THE SURVEY SHOWS FIELD MEASURED SIZES AND DEPTHS AS OBSERVED FROM GROUND LEVEL OPENINGS.
- ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
- THERE ARE NO EXISTING HERITAGE TREES ON THE SITE.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- AFTER ALL WASTE WATER CONSTRUCTION HAS BEEN COMPLETED, FINAL STABILIZATION OF THE CONSTRUCTION AREA ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES SHALL BE COMPLETED BY EVENLY DISTRIBUTING SEEDING AND WATERING TO A MIN. 70% OF THE NATIVE BACKGROUND VEGETATIVE COVER.
- ALL WASTE WATER MANHOLES SHALL BE CONSTRUCTION IN ACCORDANCE WITH THE SAWS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION (LATEST EDITION).
- ALL WASTE WATER PRECAST MANHOLES SHALL BE SUPPLIED BY A SAWS APPROVED MANUFACTURER.
- CONTRACTOR SHALL PROVIDE MANUFACTURED STUB OUT CAP & PLUG TO MEET 30 TAC 213.5(3)(C) STANDARDS AND TO MEET ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS ARE 6" DIA. AND 35 FEET IN LENGTH UNLESS OTHERWISE NOTED.
- ALL RESIDENTIAL WASTE WATER SERVICE LATERALS SHALL BE EXTENDED TO THE BACK OF THE 10' E.O.T.C. AND CAPPED AND SEALED.
- WASTE WATER LATERALS TO LOTS THAT SLOPE AWAY FROM THE STREET SHALL BE SLOPED FROM THE TEE OR STACK AT 2% TO THE PROPERTY LINE.
- ALL WASTE WATER PIPE TO BE SDR 26 PER ASTM D3034 SPECIFICATIONS UNLESS OTHERWISE NOTED. PIPE JOINTS TO BE SDR 26 PER ASTM D3119 SPECIFICATIONS.
- ALL WASTE WATER LINES WHICH CROSS WATER LINES ARE TO HAVE A MINIMUM OF A SINGLE LENGTH OF SDR 26(AST D2241-09), PRESSURE RATED (150 PSI) PIPE, CENTERED ON THE WATERLINE SUCH THAT EACH WASTE WATER JOINT IS A MINIMUM OF NINE FEET FROM THE WATERLINE.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF PIPE, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- REFERENCE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION ON DRAINAGE STRUCTURES & APPURTENANCES. CONTRACTOR TO REFER TO SAWS STANDARD DETAILS FOR ALL SAWS APPURTENANCES AND STRUCTURES.
- CONTRACTOR TO REPAIR AND/OR REPLACE ALL DAMAGED SIDEWALKS AND CURBS AROUND SITE IN ACCORDANCE WITH THE (CITY OF SAN ANTONIO) STANDARD DETAILS AND SPECIFICATIONS.

11903 JONES MALSERGER, SUITE 102  
SAN ANTONIO, TX 78216  
WWW.OPENINGUPENGINEERING.COM  
TELEPHONE 717-1792

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

WASTEWATER LINE C

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |

DESIGNED BY: JOST/TS

DRAFTED BY: JOST

CHECKED BY: NFURRR

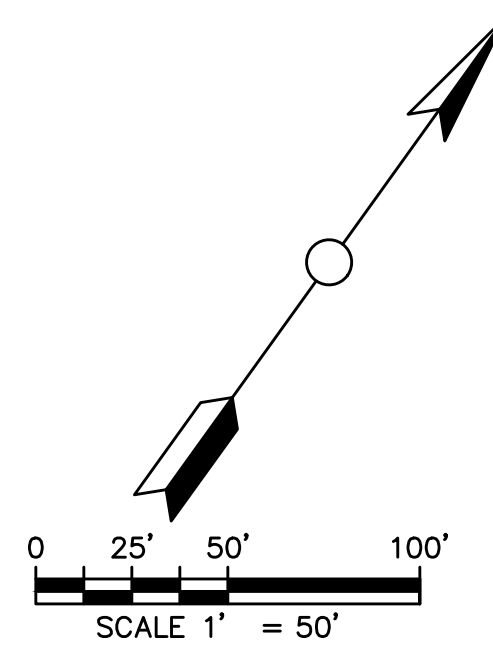
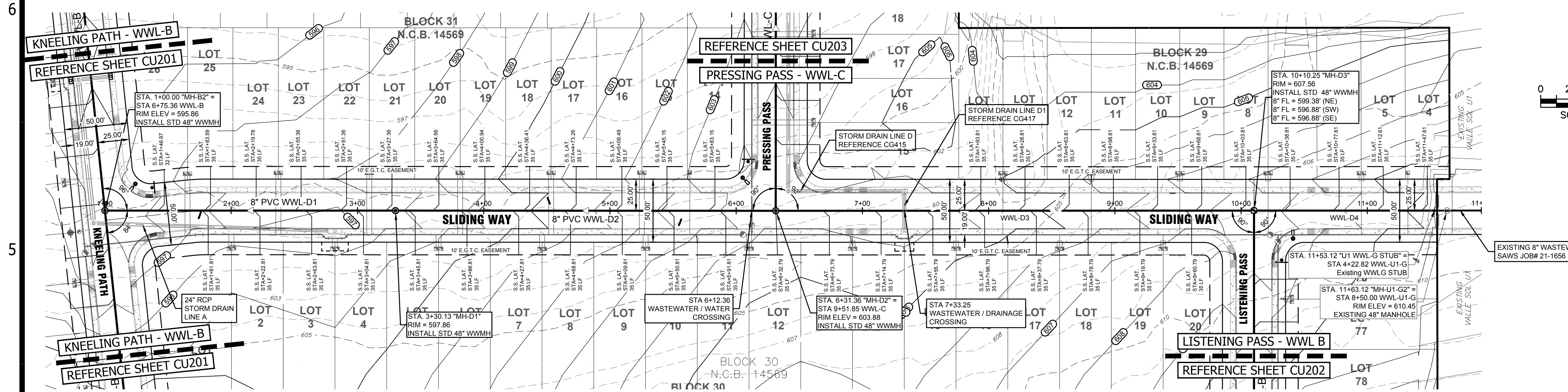
SHEET

CU203

64 OF 75



FILE NAME: V:\PROJECTS\1186 - VALLE SOL UNIT 2 REDDESIGN\DWG\1186-2 - CU20A WASTEWATER LINE.DWG  
LAST MODIFIED ON: January 15, 2024  
LAST PLOTTED ON: January 15, 2024  
PLOTTER: HP DesignJet T1100e  
PLOT STYLE: V10.DWT (Production Standard) CTB



| LEGEND |  |
|--------|--|
|        | BOUNDARY / RIGHT OF WAY                  |
|        | EASEMENT / SETBACK                       |
|        | CURB / EDGE OF PAVEMENT                  |
|        | SIDEWALK (HOME BUILDER'S RESPONSIBILITY) |
|        | SIDEWALK (DEVELOPER'S RESPONSIBILITY)    |
|        | EXIST. GRADE ELEVATIONS                  |
|        | PROP. GRADE ELEVATIONS                   |
|        | EXISTING WATER LINE                      |
|        | PROPOSED WATER LINE                      |
|        | EXISTING OVERHEAD UTILITIES              |
|        | EXISTING UNDERGROUND ELECTRIC            |
|        | EXISTING GAS LINE                        |
|        | PROPOSED DRAINAGE                        |
|        | PROPOSED WASTEWATER LINE                 |
|        | EXISTING WASTEWATER LINE                 |
|        | TOS                                      |
|        | EXISTING UTILITY POLE                    |
|        | EXISTING SIGN                            |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED FIRE HYDRANT                    |
|        | PROPOSED WATER VALVE                     |
|        | PROPOSED CAP/PLUG                        |
|        | EXISTING WATER METER                     |
|        | PROPOSED WATER METER                     |
|        | EXISTING GUY WIRE                        |
|        | PROPOSED WASTEWATER MANHOLE              |
|        | EXISTING WASTEWATER MANHOLE              |
|        | PROPOSED DRAINAGE JUNCTION BOX           |
|        | PROPOSED CURB INLET                      |
|        | PROPOSED 60" DRAINAGE MANHOLE            |
|        | PROPOSED STREET LIGHT                    |
|        | PROPOSED WASTEWATER LATERAL              |

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#### UPPER MEDINA RIVER WATERSHED - DOS RIOS W.R.C.

Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.

Address: 100 NE LOOP 410, SUITE 1155

City: SAN ANTONIO State: TEXAS Zip: 78216

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62

Total Linear Footage of Pipe: 4,734 L.F. 8" PVC 6,494 L.F. 6" PVC Plat No.: 22-11800251

Number of Lots: 4 N.S.F. SAWS Job No.: 22-1656

1 REVISED SHEET

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

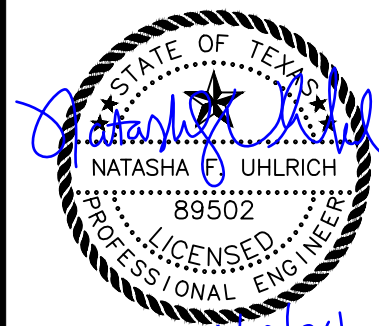
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

WASTEWATER LINE D

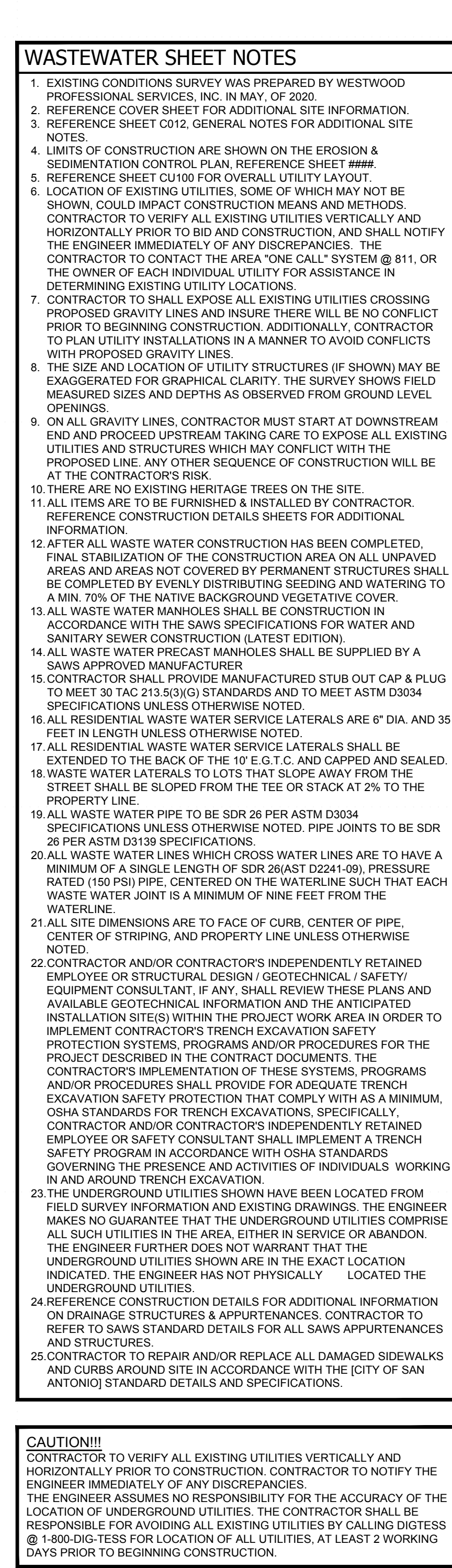
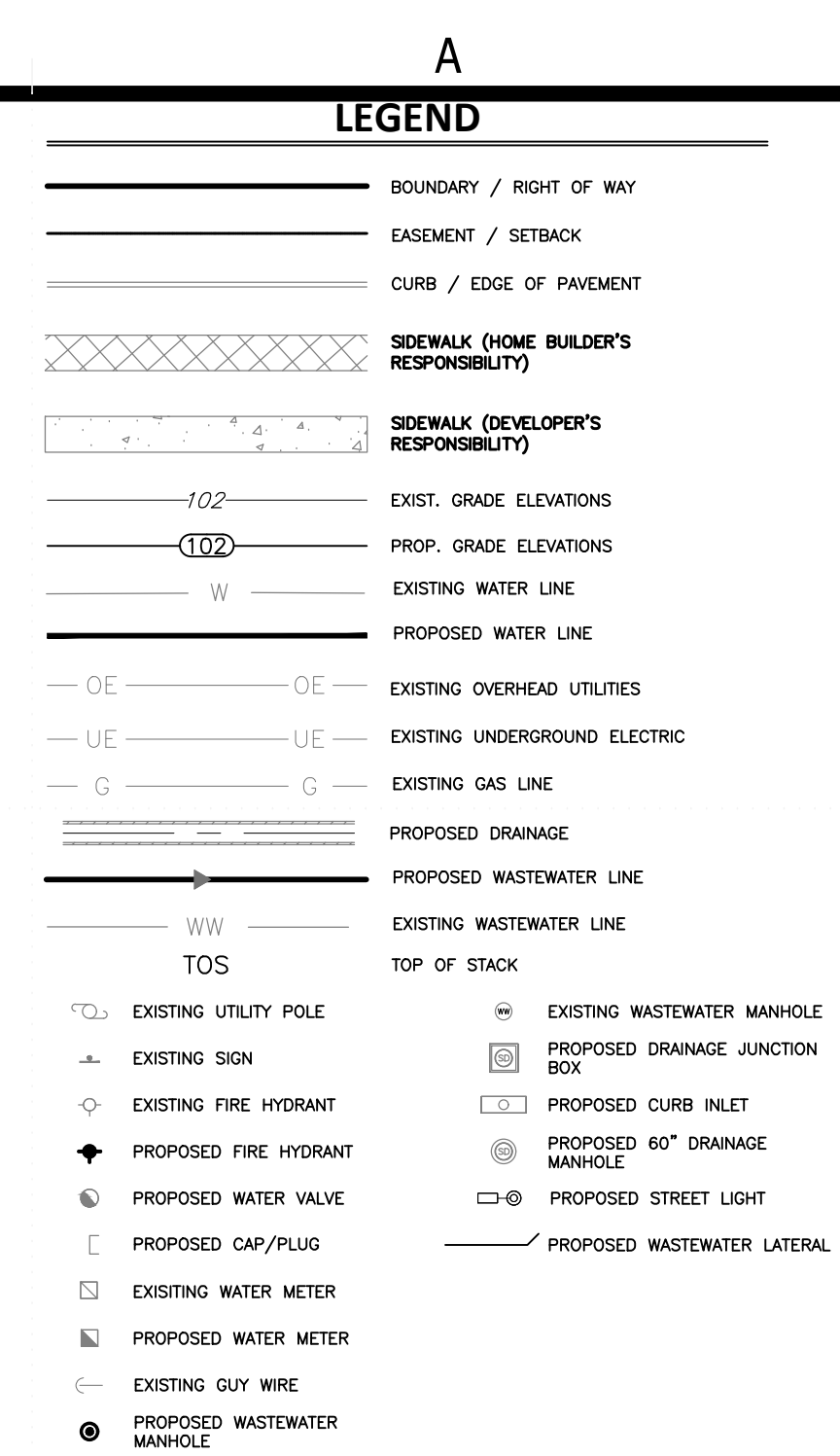
| REV          | DATE    | DESCRIPTION                           |
|--------------|---------|---------------------------------------|
| 1            | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS          |         | BY                                    |
| DESIGNED BY: | JOS/TS  |                                       |
| DRAFTED BY:  | JOS     |                                       |
| CHECKED BY:  | NFURRP  |                                       |



SHEET  
CU204

65 OF 75







|   |  |  |  |   |  |
|---|--|--|--|---|--|
|   |  |  <p><b>ENGINEERING</b><br/> <b>+ SURVEYING</b></p> <p>11803 JONES WATSEVER, SUITE 102<br/> SAN ANTONIO, TEXAS 78216 TEL. 781-771-5594<br/> WWW.UPENGINEERING.COM FAX 781-771-5594<br/> TBPBLS F-10194608</p> |  |   |  |
|   |  |  <p>1/17/24</p>  |  |   |  |
|   |  | <p>LENNAR HOMES OF TEXAS<br/> LAND &amp; CONSTRUCTION, LTD.<br/> 100 NE LOOP 410, SUITE 1155<br/> SAN ANTONIO, TEXAS 78216</p>   |  |   |  |
| <p>VALLE SOL UNIT 2 SUBDIVISION<br/> PLAT NO. 22-11800251</p> |  | <p>EXISTING WASTEWATER LINE A -<br/> REMEMBER WAY</p>  |  |   |  |
|   |  |  |  | <p>DESIGNED BY: JOS/TS<br/> DRAFTED BY: JOS/TS<br/> CHECKED BY: NFI/RRP</p> |  |
| <p>SHEET<br/> <b>CU205</b></p>                                |  |  |  |   |  |
| <p>66 OF 75</p>   |  |  |  |   |  |



FILE NAME: U:\PROJECTS\1896 - VALLE SOL UNIT 2 REDSIGN\A00SHEETS\1896-2 - C0208 WASTEWATER LINE E.DWG  
LAST MODIFIED ON: January 19, 2024  
PLOT DATE: January 19, 2024  
PLOTTER: HP DesignJet T120  
PLOT STYLE: VTOUP.PLOT  
PLOT BY: JTS

SHEET REMOVED

DESIGNED BY: JTS/JTS  
DRAFTED BY: JTS  
CHECKED BY: NFU/RRP

| REV | DATE    | DESCRIPTION                           |
|-----|---------|---------------------------------------|
| 1   | 1/17/24 | GRADING REVISIONS & VALUE ENGINEERING |
| JOS |         |                                       |

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
WASTEWATER LINE E

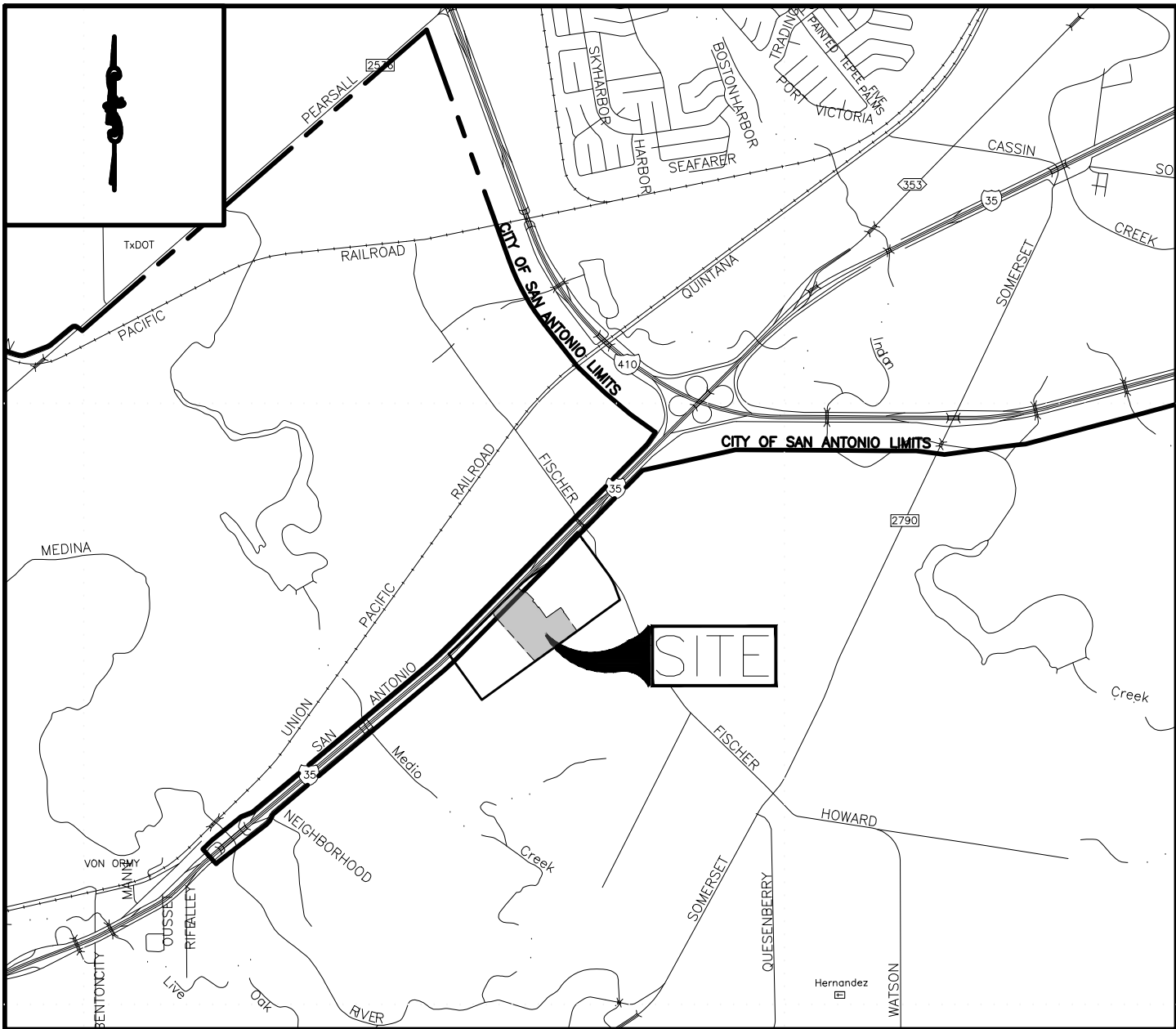
LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



# WATER CONSTRUCTION DOCUMENTS FOR VALLE SOL UNIT 2 SUBDIVISION

San Antonio, Texas

PLAT NO. 22-11800251



VICINITY MAP  
NOT TO SCALE

PERMITTED DATE: October 4, 2023  
REVISED DATE: January 17, 2024

| CONSTRUCTION SHEET LIST |                        |
|-------------------------|------------------------|
| SHEET NUMBER            | SHEET TITLE            |
| CU400                   | SAWS WATER COVER SHEET |
| CU401                   | WATER SYSTEM (1)       |
| CU402                   | WATER SYSTEM (2)       |

**SAWS CONSTRUCTION NOTES**

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE PLANS, SPECIFICATIONS, GENERAL CONDITIONS AND WITH THE FOLLOWING AS APPLICABLE:

A. CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) "DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEM", TEXAS ADMINISTRATIVE CODE (TAC) TITLE 30 PART 1 CHAPTER 217 AND "PUBLIC DRINKING WATER", TAC TITLE 30 PART 1 CHAPTER 290.

B. CURRENT TxDOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE."

C. CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION."

D. CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR CONSTRUCTION."

E. CURRENT CITY OF SAN ANTONIO "UTILITY EXCAVATION CRITERIA MANUAL" (UECM).

2. THE CONTRACTOR SHALL OBTAIN SAWS STANDARD DETAILS FROM SAWS WEBSITE, [HTTPS://APPS.SAWS.ORG/BUSINESS\\_CENTER/SPECS/CONSTSPECS/](https://apps.saws.org/business_center/specs/constspecs/) UNLESS OTHERWISE NOTED WITHIN DESIGN PLANS.

3. THE CONTRACTOR IS TO NOTIFY AND MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT 210-233-3500 (DURING REGULAR SAWS WORKING HOURS) AND PROVIDE NOTIFICATION PROCEDURES THE CONTRACTOR WILL USE TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS TWO (2) WEEKS PRIOR TO EXCAVATION. OUTSIDE OF REGULAR SAWS WORKING HOURS THE SAWS EOC SHOULD BE CONTACTED AT 210-704-7297.

4. IF NECESSARY, CONTRACTOR WILL COORDINATE USE OF SAWS PREMISES AT NO ADDITIONAL COST TO SAWS. SUCH EFFORTS INCLUDE, BUT ARE NOT LIMITED TO, OBTAINING SECURITY IDENTIFICATION BADGES REQUIRED FOR ACCESS TO SAWS FACILITIES.

5. LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.

6. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. AS-BUILTS FOR SAWS INFRASTRUCTURE CAN BE OBTAINED AT WEBSITE BELOW. CONTRACTOR SHALL COORDINATE PHYSICAL LOCATES FOR SAWS INFRASTRUCTURE THROUGH THE SAWS INSPECTOR. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS INFRASTRUCTURE. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAN ANTONIO WATER SYSTEM:  
REQUEST AS-BUILTS: [HTTPS://WWW.SAWS.ORG/SERVICE/LOCATES-SERVICE/](https://www.saws.org/service/locates-service/)

COSA DRAINAGE 210-206-8433  
COSA TRAFFIC SIGNAL OPERATIONS 210-207-7720  
TEXAS STATEWIDE ONE CALL LOCATOR 1-800-545-6005 OR 811

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, SIDEWALKS, LANDSCAPING, AND STRUCTURES TO ITS ORIGINAL OR BETTER CONDITION AS A RESULT OF DAMAGES DONE BY THE PROJECT'S CONSTRUCTION.

8. CONTRACTOR SHALL NOT MAKE USE OF DUMPSTERS OR WASTE BINS THAT ARE INTENDED TO SERVE RESIDENTS AND/OR BUSINESSES.

9. ALL WORK IN TEXAS DEPARTMENT OF TRANSPORTATION AND BEXAR COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH RESPECTIVE CONSTRUCTION SPECIFICATIONS AND PERMIT.

10. THE CONTRACTOR SHALL COMPLY WITH CITY OF SAN ANTONIO OR OTHER GOVERNING MUNICIPALITY'S TREE ORDINANCES WHEN EXCAVATING NEAR TREES.

11. ALL WORK WITHIN THE 100-YEAR FLOODPLAIN SHALL BE DONE IN ACCORDANCE WITH FLOODPLAIN DEVELOPMENT PERMIT.

12. ANY WORK COMPLETED WITHOUT PRIOR WRITTEN AUTHORIZATION WHICH IS NOT INCLUDED IN THESE PLANS AND SPECIFICATIONS WILL NOT BE COMPENSATED BY THE SAN ANTONIO WATER SYSTEM.

13. HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS.

WEEKEND WORK: CONTRACTORS ARE REQUIRED TO SUBMIT REQUEST TO THE SAWS INSPECTION CONSTRUCTION DEPARTMENT BY 12:00PM ON THE WEDNESDAY PRIOR TO THE WEEKEND BEING REQUESTED. REQUEST SHOULD BE SENT TO [CONSTWORKREQ@SAWS.ORG](mailto:CONSTWORKREQ@SAWS.ORG).

ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION AT NO COST TO SAWS.

14. PRE-CON SITE VIDEO: BEFORE THE START OF ANY CONSTRUCTION. THE SITE MUST BE VIDEO RECORDED BY THE CONTRACTOR WITH ONE COPY SUBMITTED TO SAWS INSPECTIONS. A PRE-SITE VIDEO WILL PROVIDE ACCURATE DOCUMENTATION OF THE EXISTING CONDITIONS (NSPI).

15. POWER POLE BRACING: CONTRACTORS SHOULD BE ADVISED THAT THERE ARE EXISTING OVERHEAD UTILITY POLES ALONG THE PROJECT CORRIDOR. CONTRACTORS SHOULD FURTHER BE ADVISED THAT IF THE DISTANCE FROM THE OUTSIDE FACE OF A UTILITY TRENCH TO THE FACE OF A UTILITY POLE IS LESS THAN 5 FEET, SAID UTILITY POLE IS SUBJECT TO BRACING, BASED ON A DETERMINATION MADE BY UTILITY POLE OWNER. IT IS ADVISABLE FOR THE CONTRACTOR TO REVIEW THE CONSTRUCTION DOCUMENTS AND VISIT THE CONSTRUCTION SITE TO DETERMINE POTENTIAL IMPACTS.

16. CONSTRUCTION SEQUENCING: IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO SCHEDULE SEQUENCING FOR REMOVAL AND INSTALLATION OF EXISTING AND PROPOSED SAWS UTILITIES IN CONJUNCTION WITH GENERAL PROJECT CONSTRUCTION. SEQUENCE OF CONSTRUCTION ACTIVITIES SHALL BE CONSIDERED IN ORDER TO MINIMIZE THE EXTENT AND DURATION OF DISTURBANCES.

17. CONTRACTOR SHALL COMPLY WITH APPLICABLE REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE OVERSEEN BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), OSHA INFORMATION AND RELATED MATERIALS MAY BE OBTAINED AT [HTTPS://WWW.OSHA.GOV/](https://www.osha.gov/) OR AT THE OSHA SAN ANTONIO OFFICE LOCATED AT FOUNTAINHEAD TOWER, SUITE 605 8200 W. INTERSTATE 10 SAN ANTONIO, TX 78230 WHICH IS ALSO REACHABLE BY PHONE AT (210) 472-5040.

18. TRENCH EXCAVATION SAFETY PROTECTION: CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREAS IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

**WATER SECTION**

1. PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH SAWS CONSTRUCTION INSPECTION DIVISION AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS; THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.

FOR WATER MAINS 12" OR HIGHER: SAWS EMERGENCY OPERATION CENTER (210) 233-2014.

2. ASBESTOS CEMENT (AC) PIPE, ALSO KNOWN AS TRANSITE PIPE WHICH IS KNOWN TO CONTAIN ASBESTOS-CONTAINING MATERIAL (ACM), MAY BE LOCATED WITHIN THE PROJECT LIMITS. SPECIAL WASTE MANAGEMENT PROCEDURES AND HEALTH AND SAFETY REQUIREMENTS WILL BE APPLICABLE WHEN REMOVAL AND/OR DISTURBANCE OF THIS PIPE OCCURS. SUCH WORK IS TO BE MADE UNDER SPECIAL SPECIFICATION ITEM NO. 3000, "SPECIAL SPECIFICATION FOR HANDLING ASBESTOS CEMENT PIPE".

3. VALVE REMOVAL: WHERE THE CONTRACTOR IS TO ABANDON A WATER MAIN, THE CONTROL VALVE LOCATED ON THE ABANDONING BRANCH WILL BE REMOVED AND REPLACED WITH A CAP/PLUG. (NSPI)

4. SUITABLE ANCHORAGE/THRUST BLOCKING OR JOINT RESTRAINT SHALL BE PROVIDED AT ALL OF THE FOLLOWING MAIN LOCATIONS: DEAD ENDS, PLUGS, CAPS, TEES, CROSSES, VALVES AND BENDS, IN ACCORDANCE WITH THE STANDARD DRAWINGS DD-839 SERIES AND ITEM NO. 839, IN THE SAWS STANDARD SPECIFICATIONS FOR CONSTRUCTION.

5. ALL VALVES SHALL READ "OPEN RIGHT"

6. PRVS REQUIRED: CONTRACTOR TO VERIFY THAT NO PORTION OF THE TRACT IS BELOW GROUND ELEVATION OF 605 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS

BELOW 605 FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO. NO DUAL SERVICES ALLOWED FOR ANY LOT(S) IF "PRV IS/ARE REQUIRED FOR SUCH LOT(S)", ONLY SINGLE SERVICE CONNECTIONS SHALL BE ALLOWED. \*NOTE: A PRESSURE REGULATOR IS ALSO KNOWN AS A PRESSURE REDUCING VALVE (PRV).

7. PIPE DISINFECTION WITH DRY HTH FOR PROJECTS LESS THAN 800 LINEAR FEET. (ITEM #847.3): MAINS SHALL BE DISINFECTED WITH DRY HTH WHERE SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE INSPECTOR, AND SHALL NOT EXCEED A TOTAL LENGTH OF 800 FEET. THIS METHOD OF DISINFECTION WILL ALSO BE FOLLOWED FOR MAIN REPAIRS. THE CONTRACTOR SHALL UTILIZE ALL APPROPRIATE SAFETY MEASURE TO PROTECT HIS PERSONNEL DURING DISINFECTION OPERATIONS.

8. BACKFLOW PREVENTION DEVICES:

8.1. ALL IRRIGATION SERVICES WITHIN RESIDENTIAL AREAS ARE REQUIRED TO HAVE BACKFLOW PREVENTION DEVICES.

8.2. ALL COMMERCIAL BACKFLOW PREVENTION DEVICES MUST BE APPROVED BY SAWS PRIOR TO INSTALLATION.

9. FINAL CONNECTION TO THE EXISTING WATER MAIN SHALL NOT BE MADE UNTIL THE WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED AND SAWS HAS RELEASED THE MAIN FOR TIE-IN AND USE.



SAWS PRESSURE ZONE 790

|  |                       |                      |  |
|--|-----------------------|----------------------|--|
| Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD. |                       |                      |  |
| Address: 100 NE LOOP 410, SUITE 1155                       |                       |                      |  |
| City: SAN ANTONIO  | State: TEXAS          | Zip: 78216           |  |
| Phone: _____   | Fax: _____            |                      |  |
| SAWS Block Map: 122-536                                    | Total EDUs: 195       | Total Acreage: 33.62 |  |
| Total Linear Footage of Pipe: 5,643 L.F., 8" PVC           | Plat No.: 22-11800251 |                      |  |
| 195 S.F.   | 297 L.F. 2" CU        |                      |  |
| Number of Lots: 4 N.S.F.                                   | SAWS Job No.:         | 22-1163              |  |

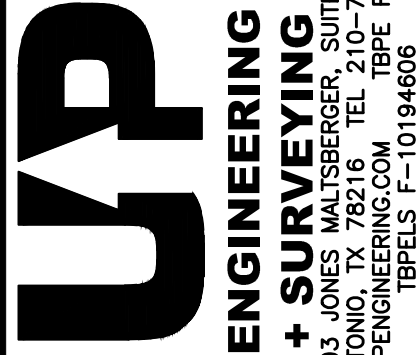
VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

SAWS WATER COVER SHEET

|              |        |
|--------------|--------|
| DESIGNED BY: | JOS/TS |
| DRAFTED BY:  | JOS    |
| CHECKED BY:  | NFURRP |
| SHEET        |        |
| CU400        |        |
| 59           | 65     |

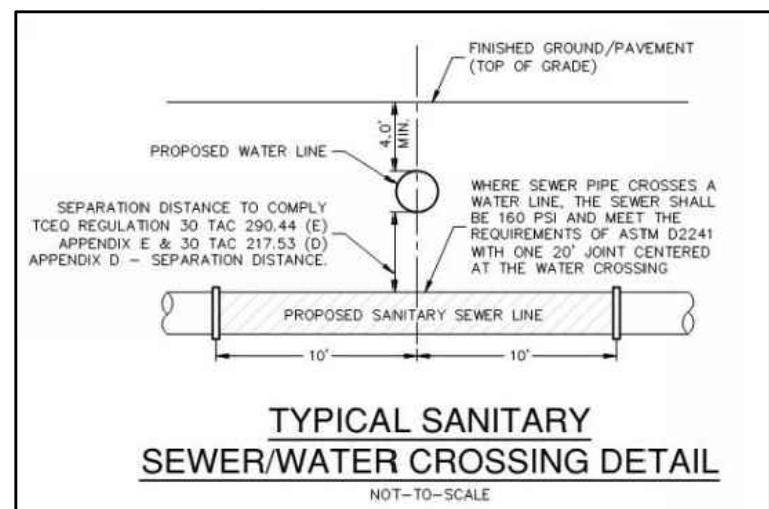
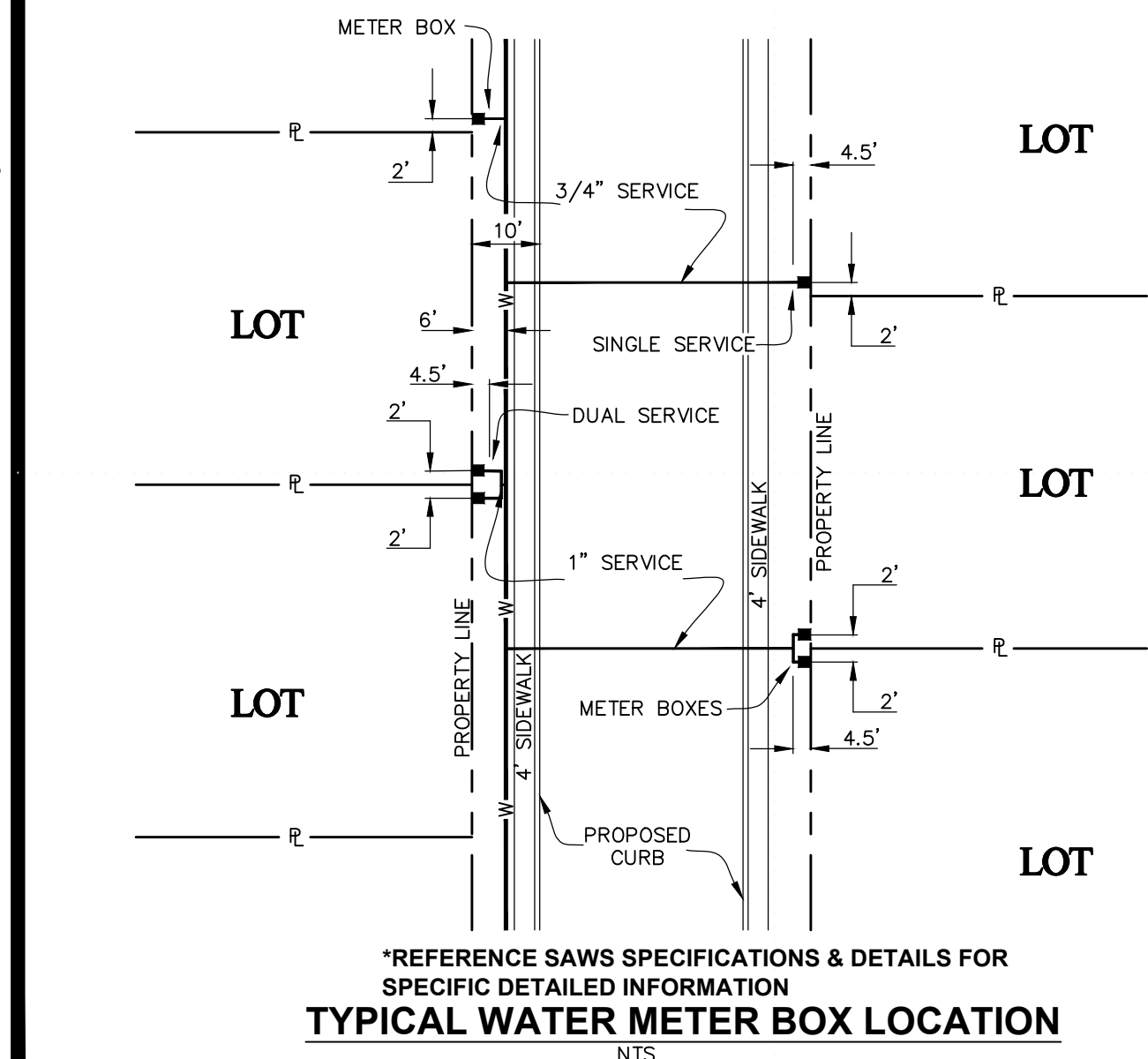


LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216





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1 REVISED SHEET

SAWS PRESSURE ZONE 790

Developer: LENNAR HOMES OF TEXAS LAND & CONSTRUCTION, LTD.

Address: 100 NE LOOP 410, SUITE 1155

City: SAN ANTONIO State: TEXAS Zip: 78216

Phone: Fax:

SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62

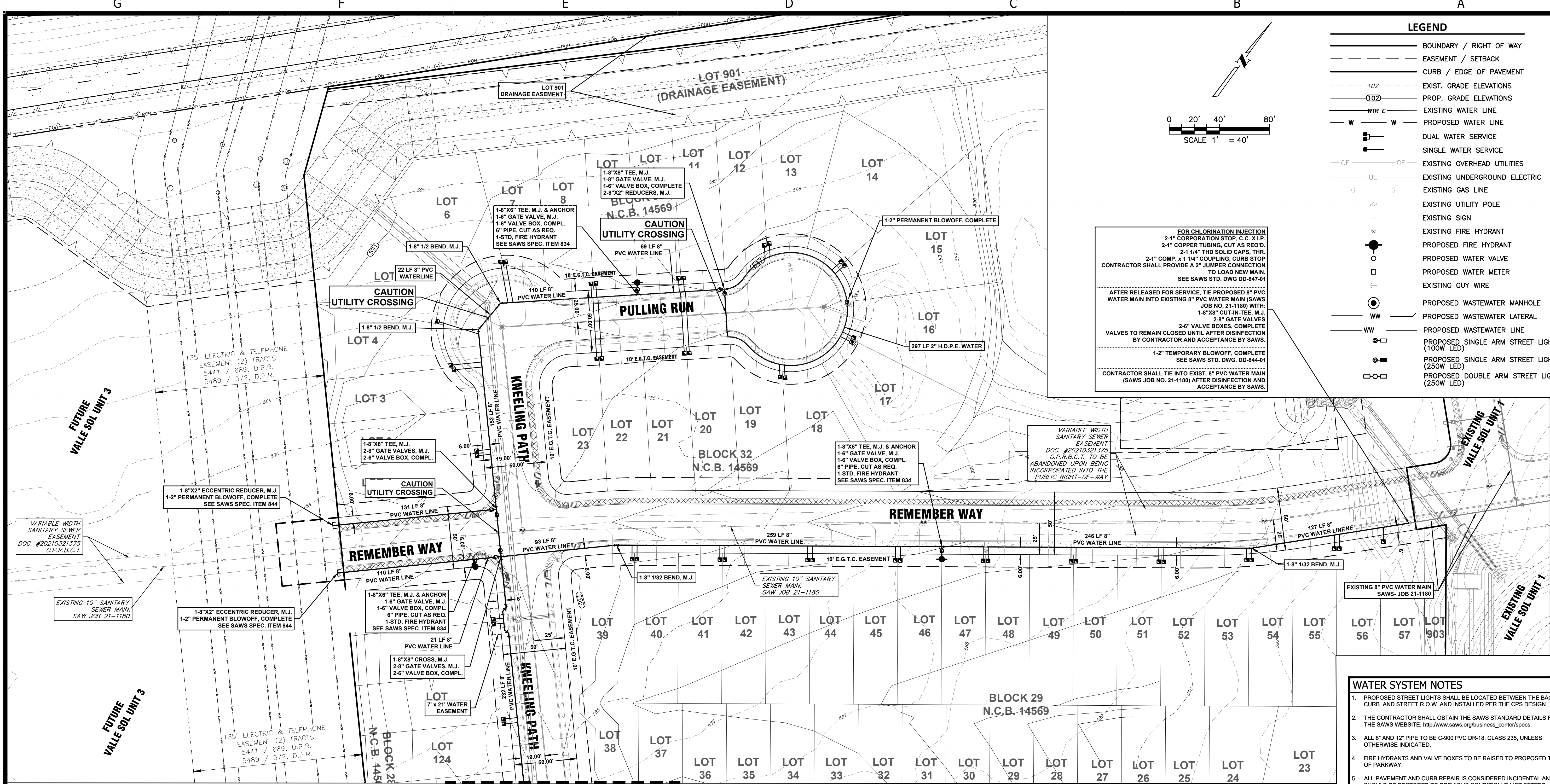
Total Linear Footage of Pipe: 5,643 L.F. 8" PVC 297 L.F. 2" CU

Number of Lots: 195 S.F. 4 N.S.F. SAWS Job No.: 22-11800251

!!! CAUTION !!!

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTEST @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.



**WATER SYSTEM NOTES**

- PROPOSED STREET LIGHTS SHALL BE LOCATED BETWEEN THE BACK OF CURB AND STREET R.O.W. AND INSTALLED PER THE CPS DESIGN.
- THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE, [http://www.saws.org/business\\_center/specs](http://www.saws.org/business_center/specs).
- ALL 8" AND 12" PIPE TO BE C-900 PVC DR-18, CLASS 235, UNLESS OTHERWISE INDICATED.
- FIRE HYDRANTS AND VALVE BOXES TO BE RAISED TO PROPOSED TOP OF PARKWAY.
- ALL PAVEMENT AND CURB REPAIR IS CONSIDERED INCIDENTAL AND SHOULD BE RESTORED TO PREVIOUS CONDITION IF NOT BETTER.
- ALL WATER LINE JOINTS ARE TO BE RESTRAINED PER MANUFACTURERS RECOMMENDATIONS.
- REFERENCE SHEET CU401 FOR WATER METER LOCATION DETAILS.
- ALL SYMBOLS ARE ONLY FOR PICTORIAL PURPOSES AND THE REPLACEMENTS OF ALL APPURTENANCES SHOULD FOLLOW ALL CODE REQUIREMENTS.

**TRENCH EXCAVATION SAFETY PROTECTION**

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATE INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS, SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

**JOINT RESTRAINT NOTE:**

CONTRACTOR SHALL INSTALL RETAINER GLANDS OR MEGALUGS AT ALL FITTINGS AND PROVIDE JOINT RESTRAINING HARNESS OR FIELD LOK GASKETS AT ALL JOINTS WITHIN THE LENGTH SHOWN. CONTRACTOR SHALL INSURE THAT ALL TEES, BENDS, VALVES, ETC. HAVE A MINIMUM OF 5 FT OF PIPE WITH NO JOINTS ON EACH SIDE OF THE FITTING. JOINT RESTRAINTS AND RETAINER GLANDS OR MEGALUGS SHALL BE CALCULATED BY SAWS APPROVED PROGRAMS AND VERIFIED BY SAWS INSPECTOR. CONTRACTOR SHALL INSTALL CONCRETE THRUST BLOCKING IN ACCORDANCE WITH SAWS STD. DRAWING 839 IN ADDITION TO JOINT RESTRAINTS UNLESS OTHERWISE DIRECTED BY THE SAWS INSPECTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE JOINT RESTRAINTS AND THRUST BLOCKING WITH THE SAWS INSPECTOR.

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

WATER SYSTEM (1)

DESIGNED BY: JOST/TS

DRAFTED BY: JOST

CHECKED BY: NFURRP

SHEET  
**CU401**

60 OF 65

ENGINEERING  
+ SURVEYING

11903 JONES WALSHBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.OPENINGUPDESIGN.COM TBEELS E-10194606

STATE OF TEXAS  
NATASHA RU UHLRICH  
89502  
LICENSED PROFESSIONAL ENGINEER  
1/18/24



## SAWS PRESSURE ZONE 790

Developer: LENNAR HOMES OF TEXAS LAND &amp; CONSTRUCTION, LTD.

Address: 100 NE LOOP 410, SUITE 1155

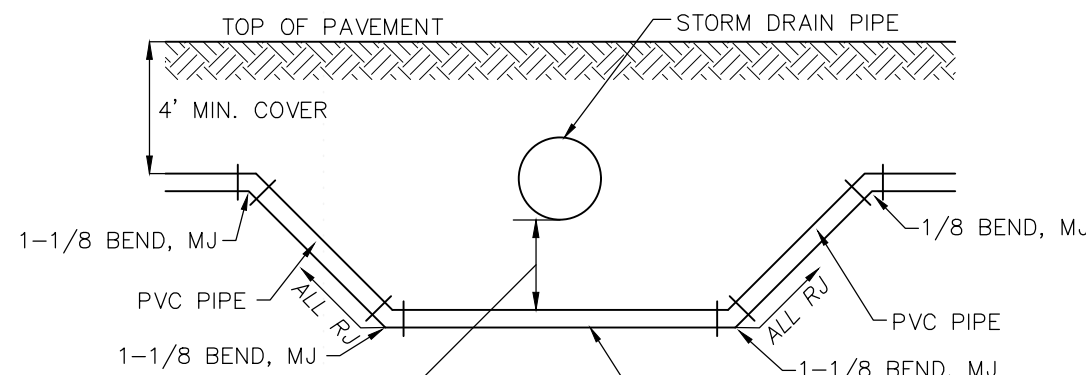
City: SAN ANTONIO State: TEXAS Zip: 78216

Phone: Fax:

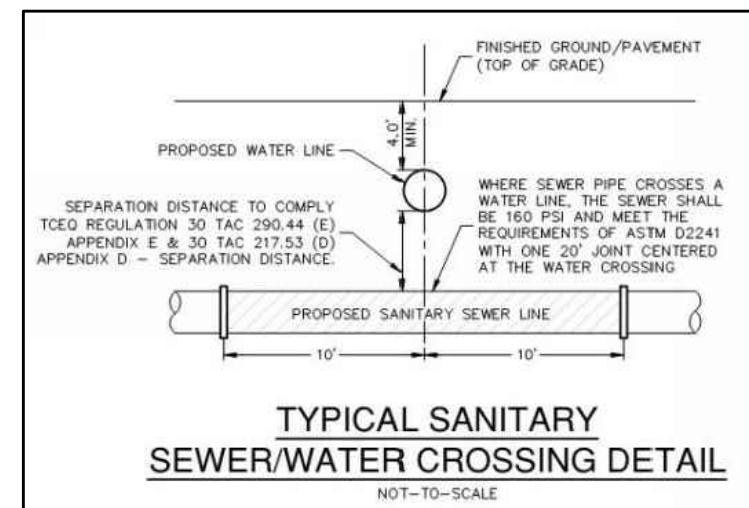
SAWS Block Map: 122-536 Total EDUs: 195 Total Acreage: 33.62

Total Linear Footage of Pipe: 5,643 L.F. 8" PVC 297 L.F. 2" CU Plat No.: 22-11800251

Number of Lots: 4 N.S.F. SAWS Job No.: 22-1163



SEPARATION DISTANCE OR PROTECTION TO COMPLY WITH REQUIREMENTS OF 30 TAC 290.44(e) AND 217.53 (d)—NO CLOSER THAN NINE (9) FEET IN ALL DIRECTIONS.



0 20' 40' 80'  
SCALE 1" = 40'

## WATER SYSTEM NOTES

- PROPOSED STREET LIGHTS SHALL BE LOCATED BETWEEN THE BACK OF CURB AND STREET R.O.W. AND INSTALLED PER THE CPS DESIGN.
- THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE, [http://www.saws.org/business\\_center/specs](http://www.saws.org/business_center/specs).
- ALL 8" AND 12" PIPE TO BE C-900 PVC DR-18, CLASS 235, UNLESS OTHERWISE INDICATED.
- FIRE HYDRANTS AND VALVE BOXES TO BE RAISED TO PROPOSED TOP OF PARKWAY.
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- REFERENCE SHEET CU401 FOR WATER METER LOCATION DETAILS.
- ALL SYMBOLS ARE ONLY FOR PICTORIAL PURPOSES AND THE REPLACEMENTS OF ALL APPURTENANCES SHOULD FOLLOW ALL CODE REQUIREMENTS.

## TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNER/TECHNICAL SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATE INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

## JOINT RESTRAINT NOTE:

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## !!! CAUTION !!!

CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

## LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- EXIST. GRADE ELEVATIONS
- PROP. GRADE ELEVATIONS
- EXISTING WATER LINE
- PROPOSED WATER LINE
- DUAL WATER SERVICE
- SINGLE WATER SERVICE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING GAS LINE
- EXISTING UTILITY POLE
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- EXISTING GUY WIRE
- PROPOSED WASTEWATER MANHOLE
- PROPOSED WASTEWATER LATERAL
- PROPOSED WASTEWATER LINE
- PROPOSED SINGLE ARM STREET LIGHT (100W LED)
- PROPOSED SINGLE ARM STREET LIGHT (250W LED)
- PROPOSED DOUBLE ARM STREET LIGHT (250W LED)

FOR CHLORINATION INJECTION  
2-1/4" CORPORATION STOP, C.C. X.I.P.  
2-1" COPPER TUBING, CUT AS REQ'D.  
2-1 1/4" THD SOLID CAPS, THR.  
2-1" COMP. x 1 1/4" COUPLING, CURB STOP  
CONTRACTOR SHALL PROVIDE A 2" JUMPER CONNECTION TO LOAD NEW MAIN.  
SEE SAWS STD. DWG DD-847-01

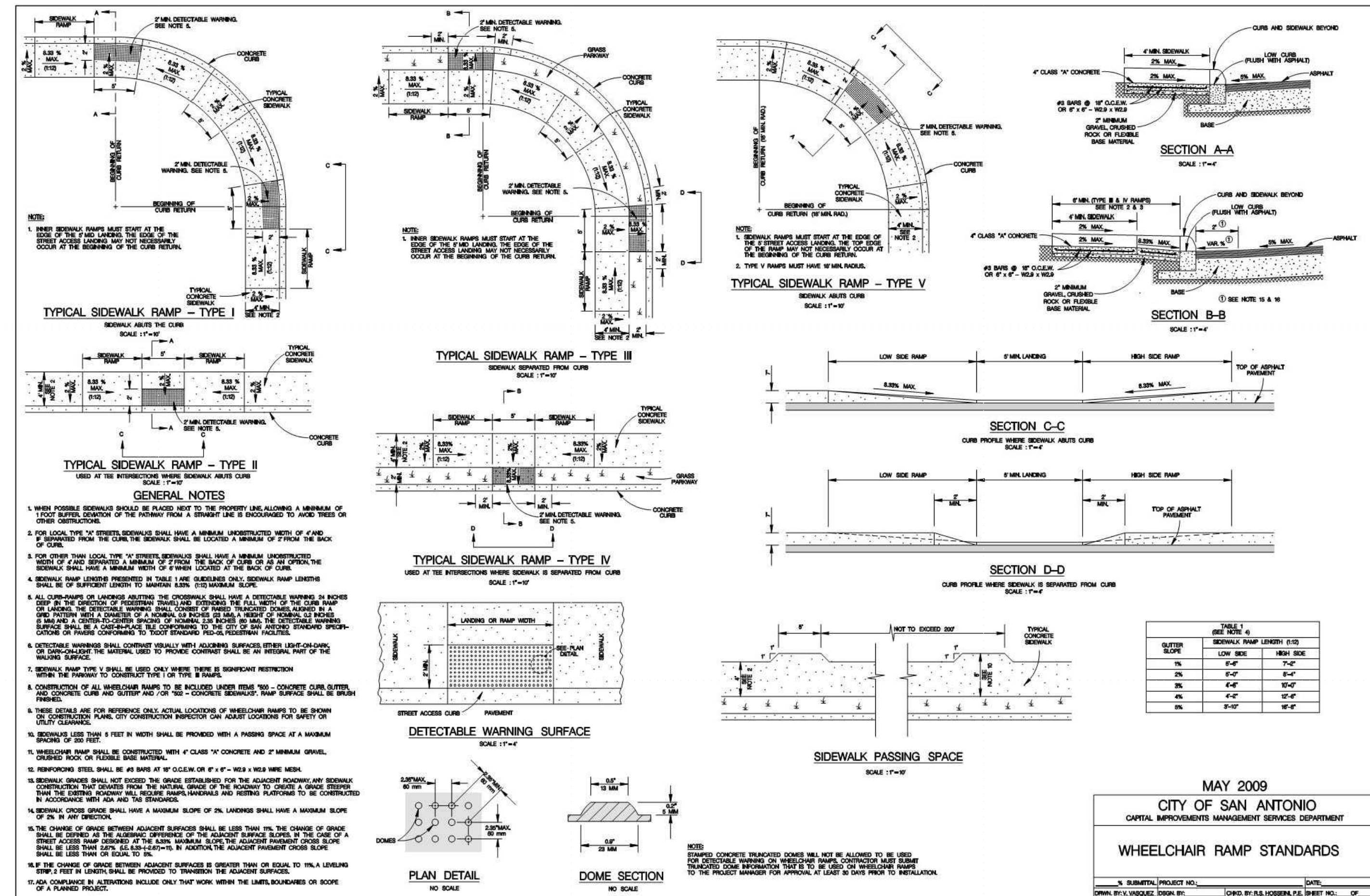
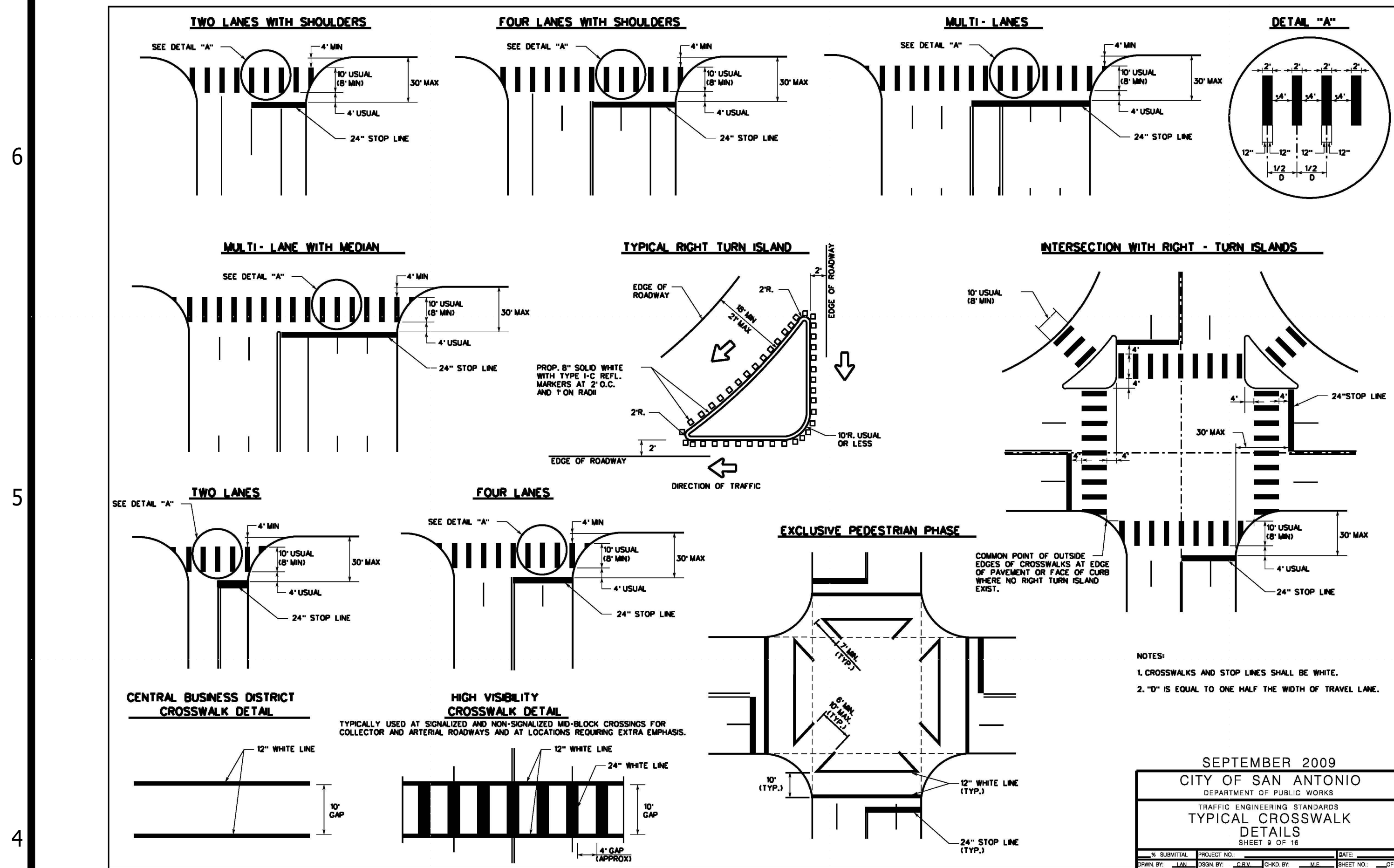
AFTER RELEASED FOR SERVICE, TIE PROPOSED 8" PVC WATER MAIN INTO EXISTING 8" PVC WATER MAIN (SAWS JOB NO. 21-1180) WITH:  
1-8"X6" CUT-IN-TEE, M.J.  
2-8" GATE VALVES  
2-6" VALVE BOXES, COMPLETE  
VALVES TO REMAIN CLOSED UNTIL AFTER DISINFECTION BY CONTRACTOR AND ACCEPTANCE BY SAWS.  
1-2" TEMPORARY BLOWOFF, COMPLETE  
SEE SAWS STD. DWG. DD-844-01  
CONTRACTOR SHALL TIE INTO EXIST. 8" PVC WATER MAIN (SAWS JOB NO. 21-1180) AFTER DISINFECTION AND ACCEPTANCE BY SAWS.

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251  
WATER SYSTEM (2)

| REV          | DATE     | DESCRIPTION                           | BY  |
|--------------|----------|---------------------------------------|-----|
| 1            | 11/17/24 | GRADING REVISIONS & VALUE ENGINEERING | JOS |
| DESIGNED BY: | JOS/ITS  |                                       |     |
| DRAFTED BY:  | JOS      |                                       |     |
| CHECKED BY:  | NFURRP   |                                       |     |
| SHEET        | CU402    |                                       |     |
| 61           | OF       | 65                                    |     |



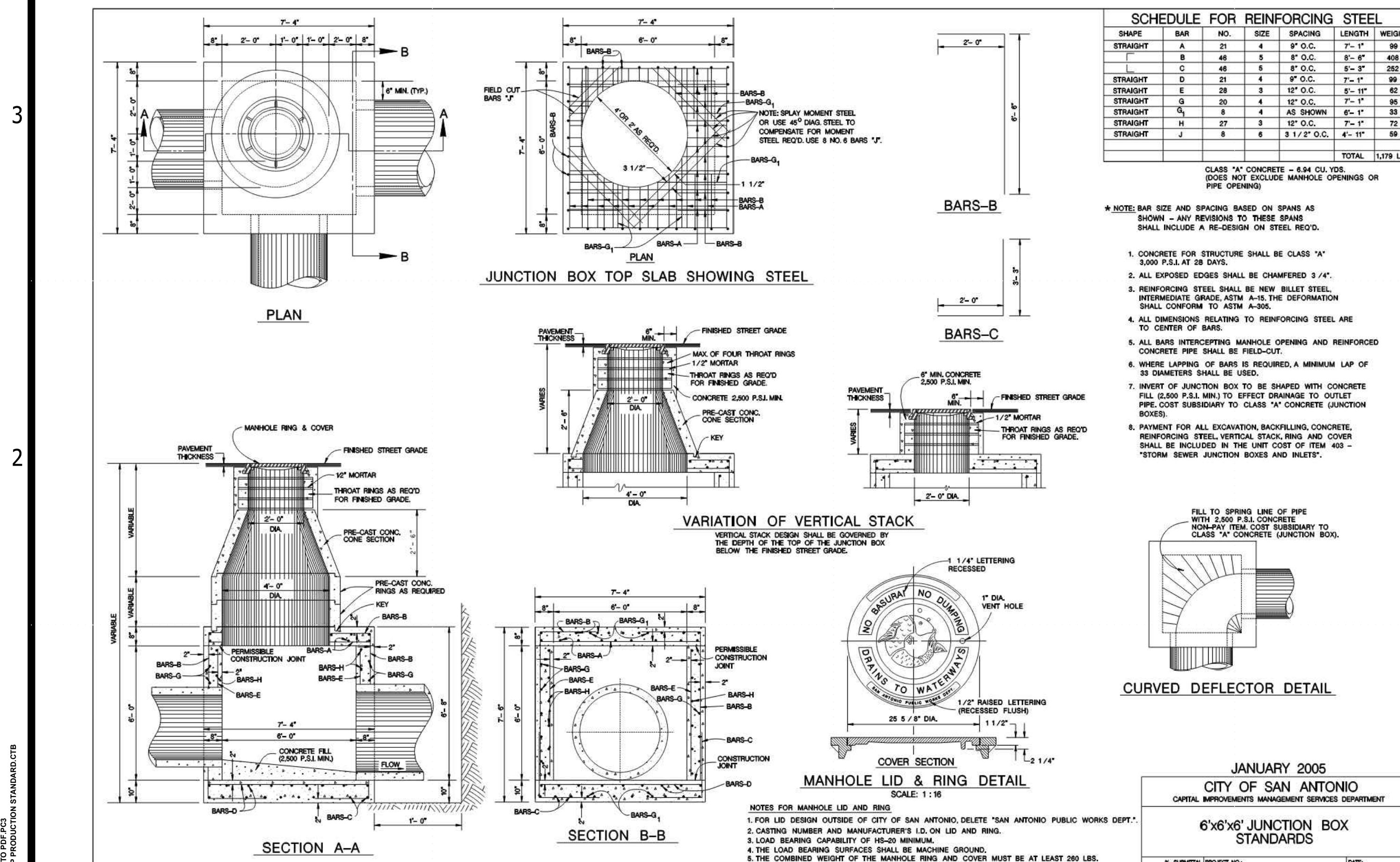


## 101 | TYPICAL CROSSWALK DETAILS

SCALE: N.T.S.

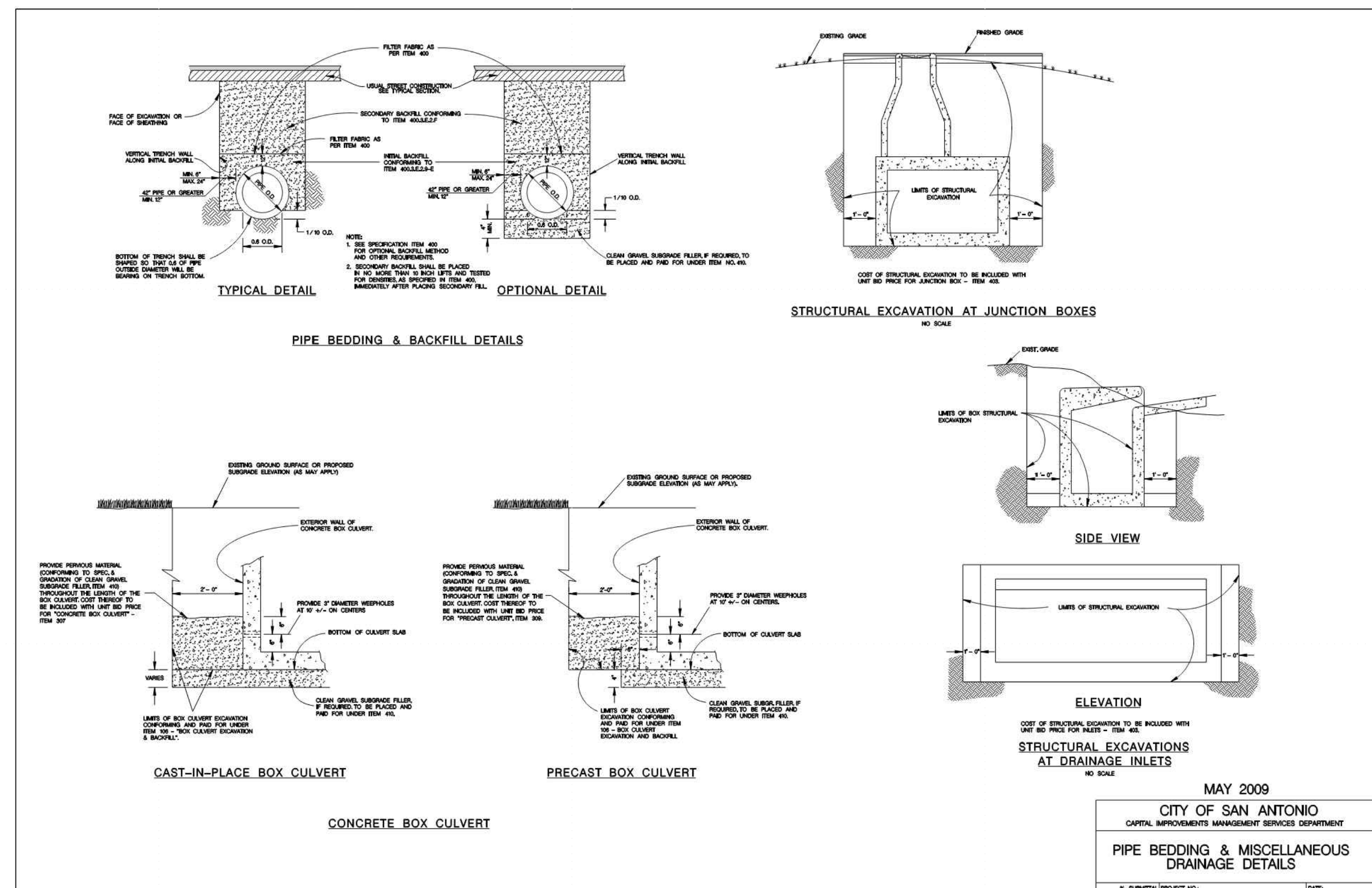
## 102 | WHEELCHAIR RAMP STANDARDS

SCALE: N.T.S.



103 | 6' X 6' X 6' JUNCTION BOX STANDARDS

SCALE: N.T.S.



## PIPE BEDDING & MISCELLANEOUS DRAINAGE DETAILS

SCALE: N.T.S.















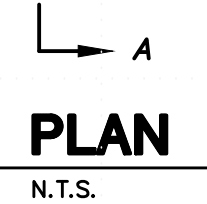


**DISCHARGE VELOCITIES GREATER THAN 10 FPS REQUIRE  
ROCK OUTLET PROTECTION.**



## 3

2



### I-35 BYPASS CHANNEL - BAFFLE BLOCK DETAIL

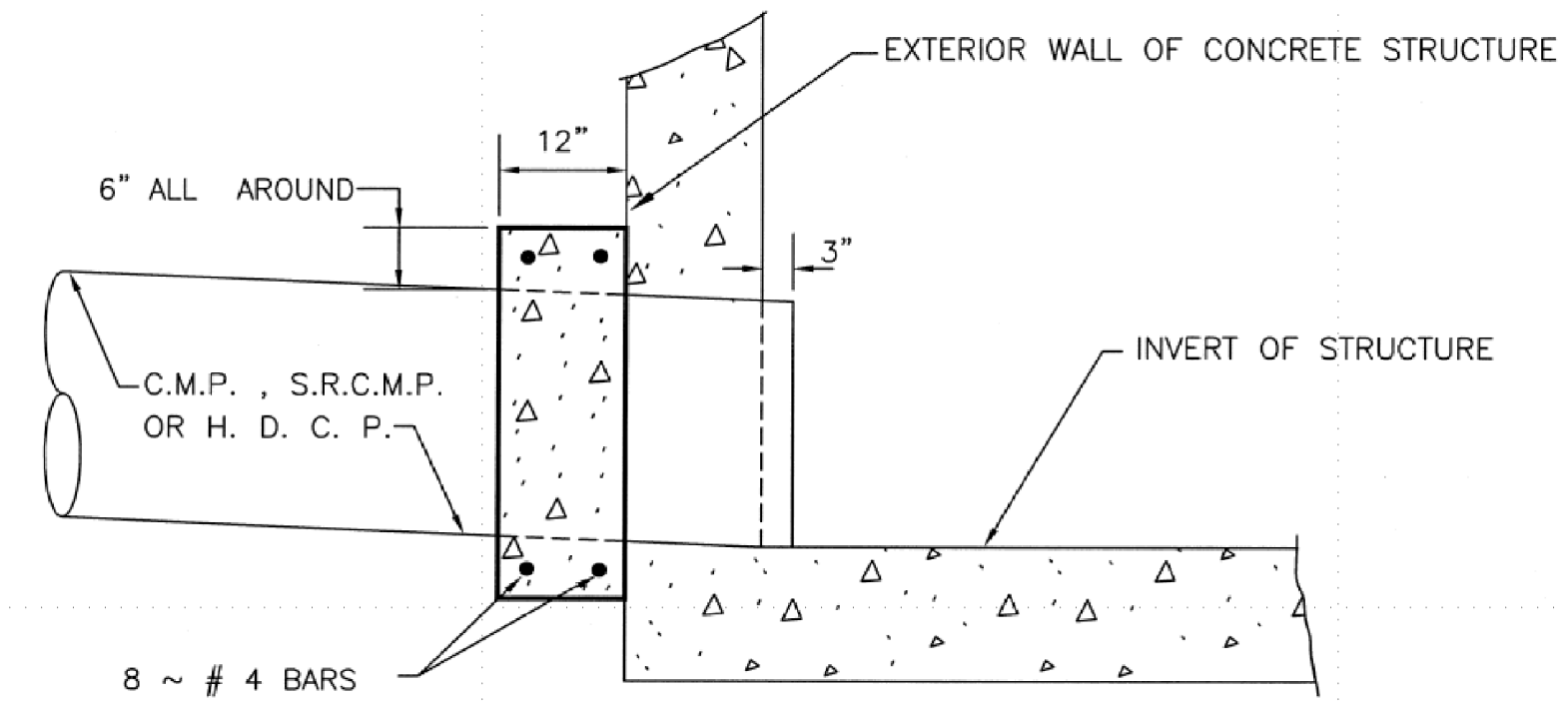
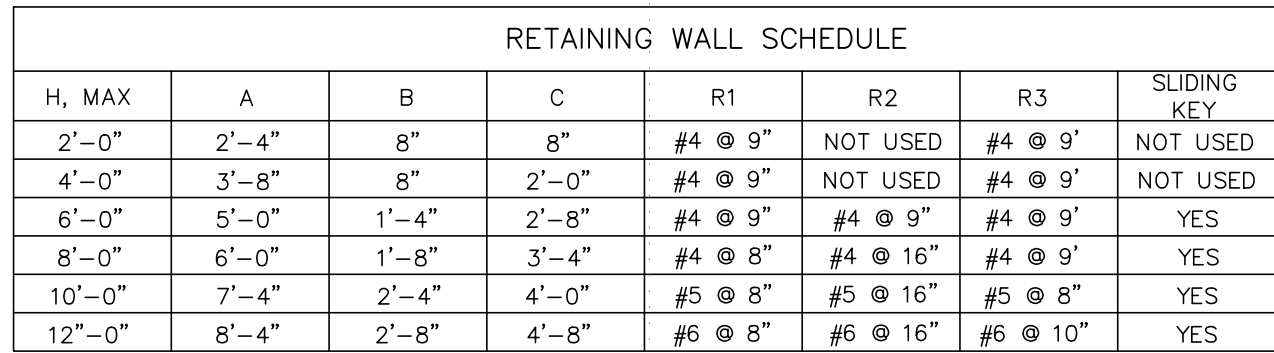
## G

20



B





| RETAINING WALL SCHEDULE |       |       |       |         |          |          |             |
|-------------------------|-------|-------|-------|---------|----------|----------|-------------|
| H <sub>1</sub> MAX      | A     | B     | C     | R1      | R2       | R3       | SLIDING KEY |
| 2'-0"                   | 2'-4" | 8"    | 8"    | #4 @ 9" | NOT USED | #4 @ 9'  | NOT USED    |
| 4'-0"                   | 3'-8" | 8"    | 2'-0" | #4 @ 9" | NOT USED | #4 @ 9'  | NOT USED    |
| 6'-0"                   | 5'-0" | 1'-4" | 2'-8" | #4 @ 9" | #4 @ 9"  | #4 @ 9'  | YES         |
| 8'-0"                   | 6'-0" | 1'-8" | 3'-4" | #4 @ 8" | #4 @ 16" | #4 @ 9'  | YES         |
| 10'-0"                  | 7'-4" | 2'-4" | 4'-0" | #5 @ 8" | #5 @ 16" | #5 @ 8"  | YES         |
| 12'-0"                  | 8'-4" | 2'-8" | 4'-8" | #6 @ 8" | #6 @ 16" | #6 @ 10" | YES         |

## STANDARD RETAINING WALL DETAIL

SCALE: N.T.S.

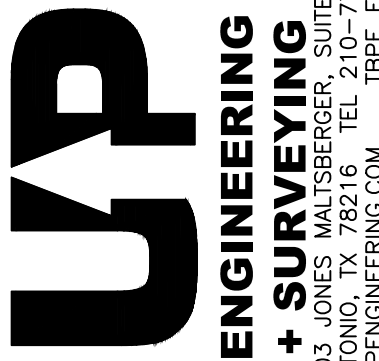
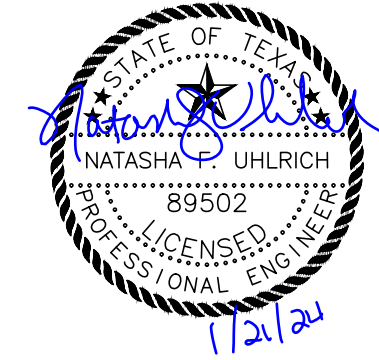
## CONCRETE COLLAR DETAIL

SCALE: N.T.S.

VALLE SOL UNIT 2 SUBDIVISION  
PLAT NO. 22-11800251

## C605 CONSTRUCTION DETAILS 6

LENNAR HOMES OF TEXAS  
LAND & CONSTRUCTION, LTD.  
100 NE LOOP 410, SUITE 1155  
SAN ANTONIO, TEXAS 78216



11903 JONES MALTSBERGER, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.IIPENGINEERING.COM TRPE F117992

[illegible]

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|--------------|----|
| DESIGNED BY: | xx |
| DRAFTED BY:  | XX |
| CHECKED BY:  | XX |

SHEET

XXX OF 75

FILE NAME: J:\PROJECTS\196 - VALLE 80\196.2A - VALLE 80 - UNIT 2 REDSIGNACAD\SHEETS\196.2 - 5690 - UNIT 2 CONSTRUCTION DETAILS.DWG  
LAST MODIFIED ON: January 17, 2024  
PLOTTED BY: JOCH  
PLOT DATE: JANUARY 23, 2024  
PLOT SCALE: 1/8"=1'-0" JWS TO RW PC3  
PLOT STYLE: V14UP PRODUCTION STANDARD.CTB