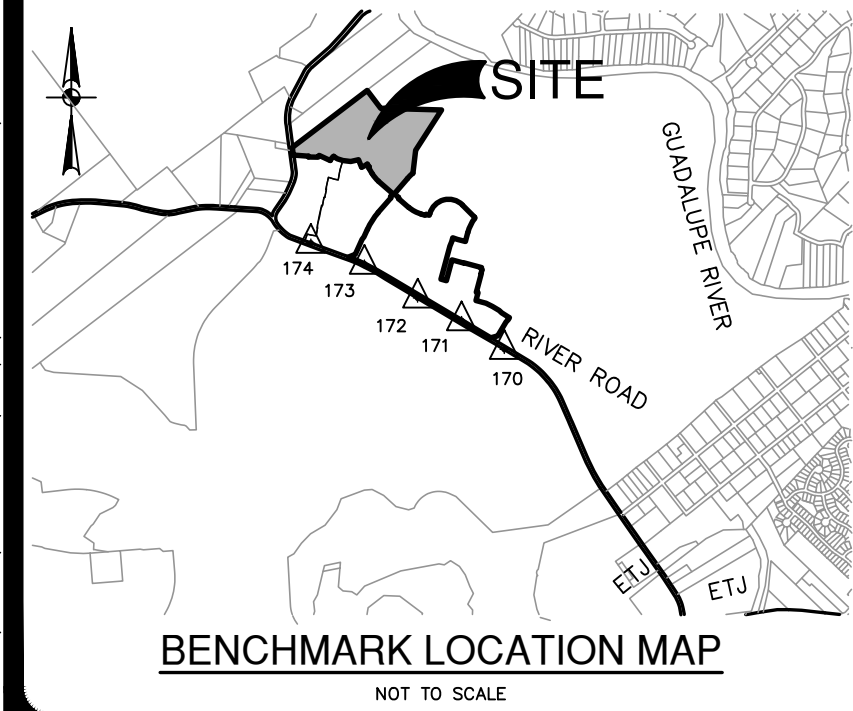


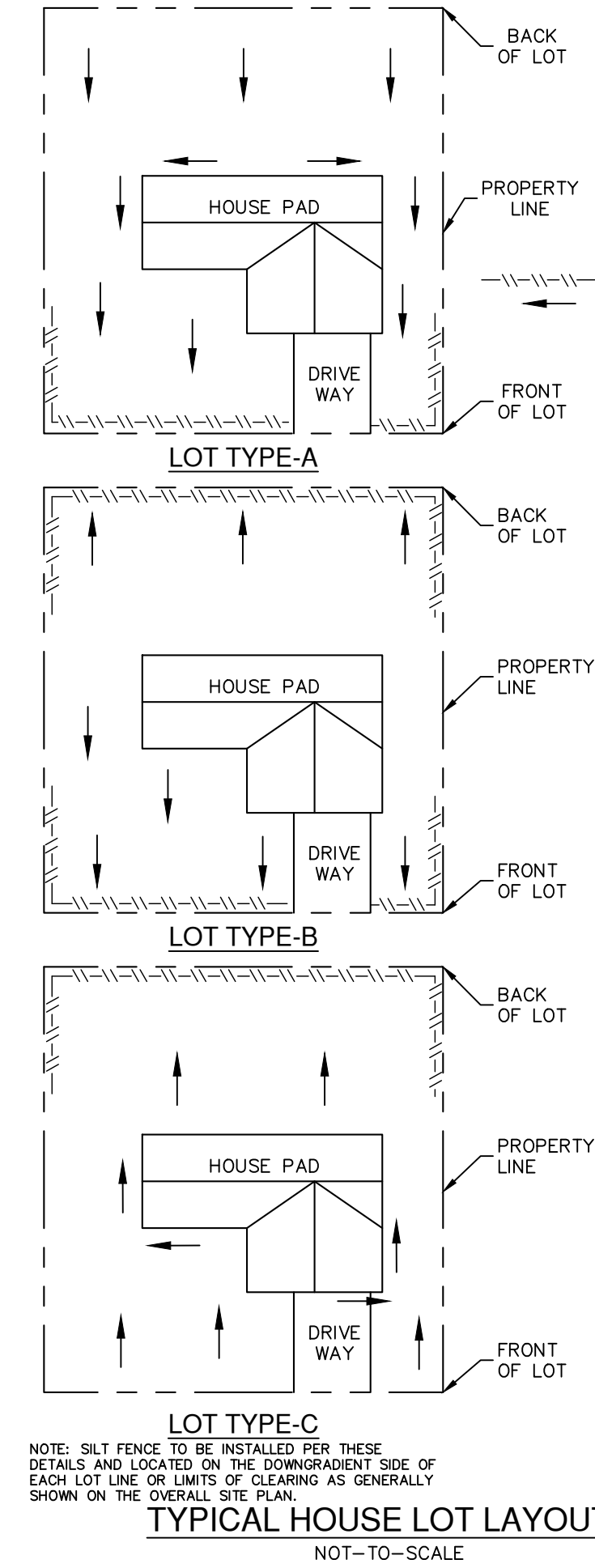
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BENCHMARKS

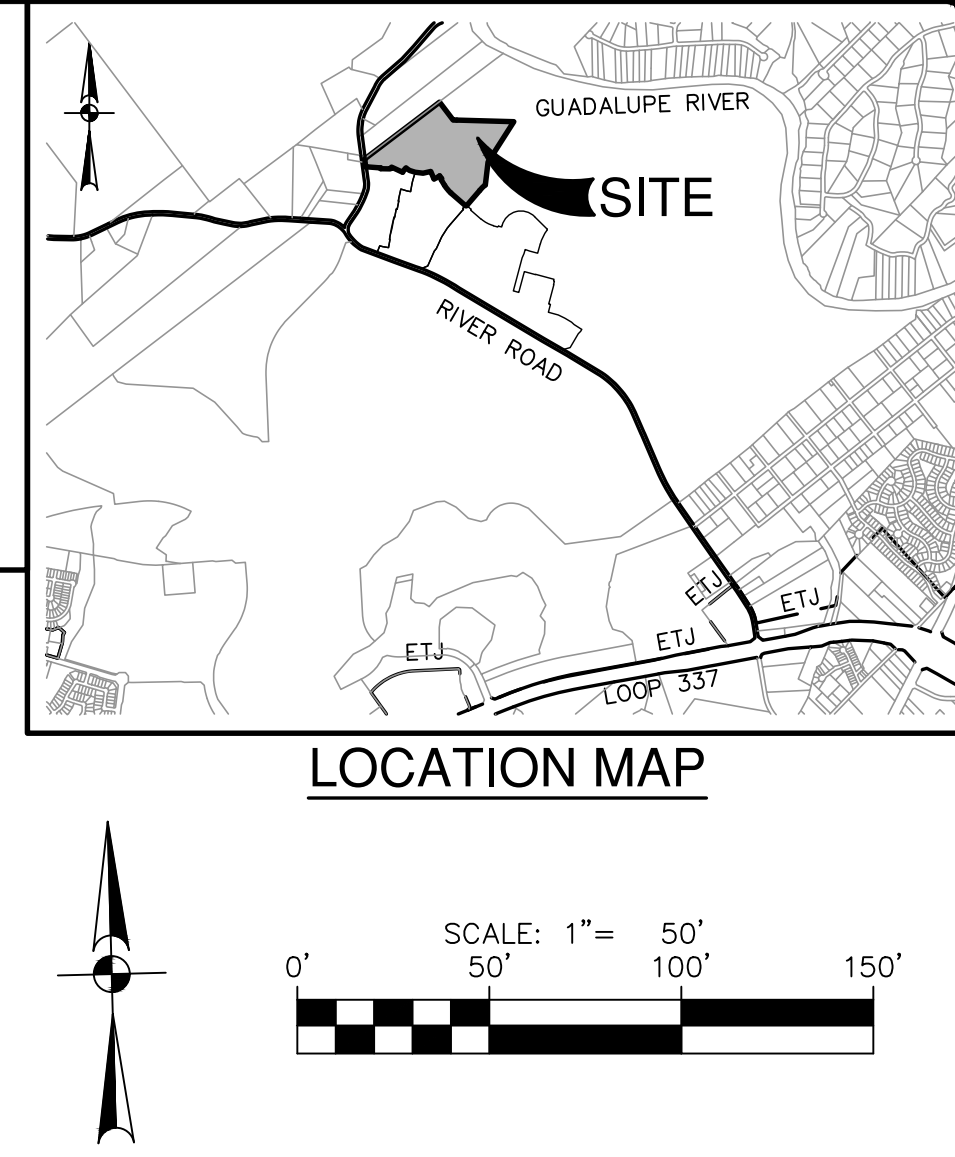
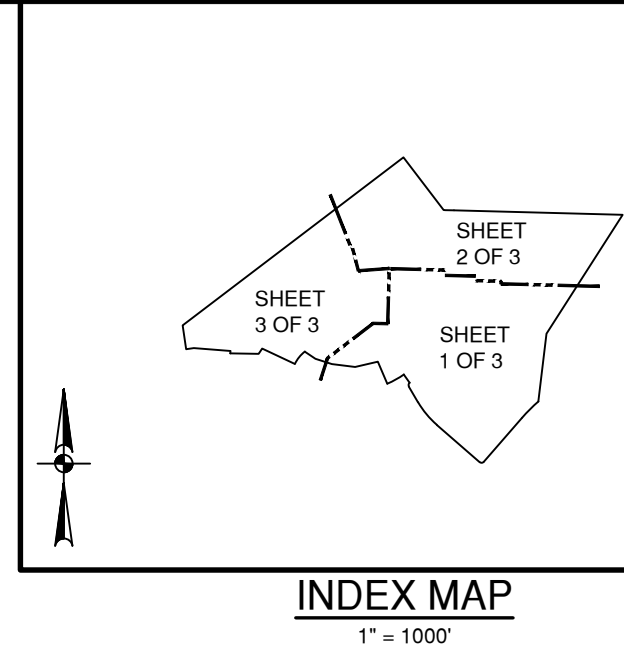
Point#	Northing	Easting	Elevation	Full Description
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172	13820857.81	2242243.72	736.43	SET L.R. REDCAP (TRAV)
173	13821377.61	2241427.83	761.79	SET L.R. REDCAP (TRAV)
174	13821698.75	2240604.38	777.24	SET L.R. REDCAP (TRAV)



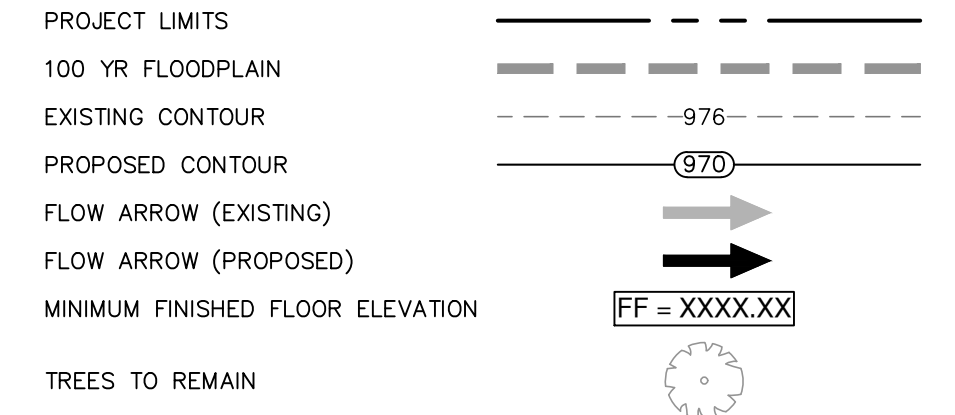
NOTE: SILT FENCE TO BE INSTALLED PER THESE DETAILS AND LOCATED ON THE DOWNGRADIENT SIDE OF EACH LOT LINE OR LIMITS OF CLEARING AS GENERALLY SHOWN ON THE OVERALL SITE PLAN.

TYPICAL HOUSE LOT LAYOUTS

NOT TO SCALE



GRADING LEGEND



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3. ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
4. ALL ELEVATIONS AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT FINISHED GRADES. THE THICKNESS OF PAVING, BASE, GRASS, TOPSOIL, AND MULCH MUST BE SUBTRACTED TO OBTAIN SUBGRADE ELEVATIONS.
5. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
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19. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.

DATE	
NO.	REVISION

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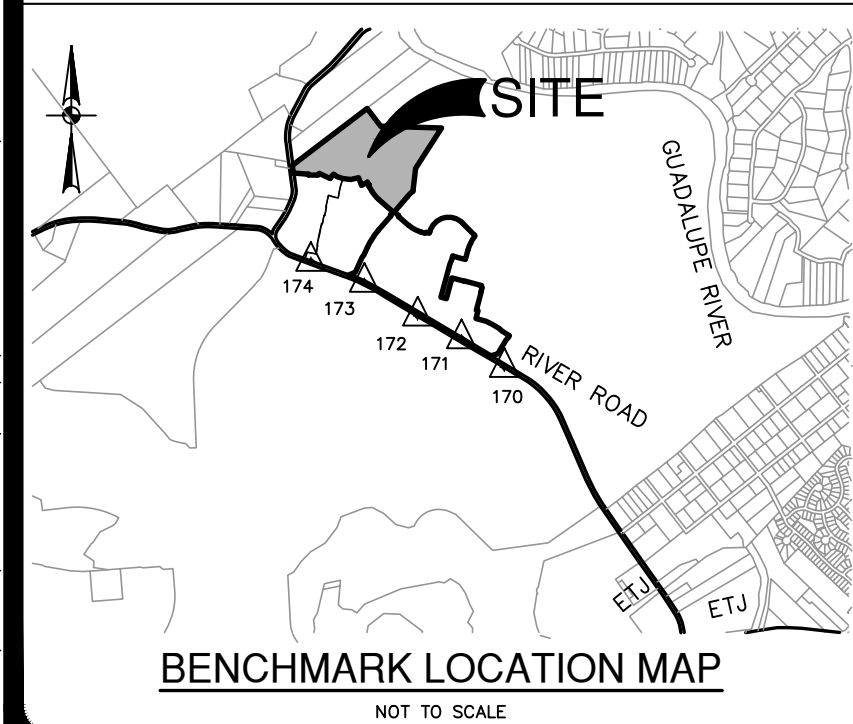
PAPE-DAWSON
1677 INDEPENDENCE DR. STE 102 | NEW BRAUNFELS, TX 78132 | 830.632.5633
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

VERAMENDI PRECINCT 30 - UNIT 3
NEW BRAUNFELS, TEXAS
OVERALL GRADING PLAN

PLAT NO. 30001-73
JOB NO. 30001-73
DATE JULY 2024
DESIGNER GDL
CHECKED DRAWN CA
SHEET C7.00

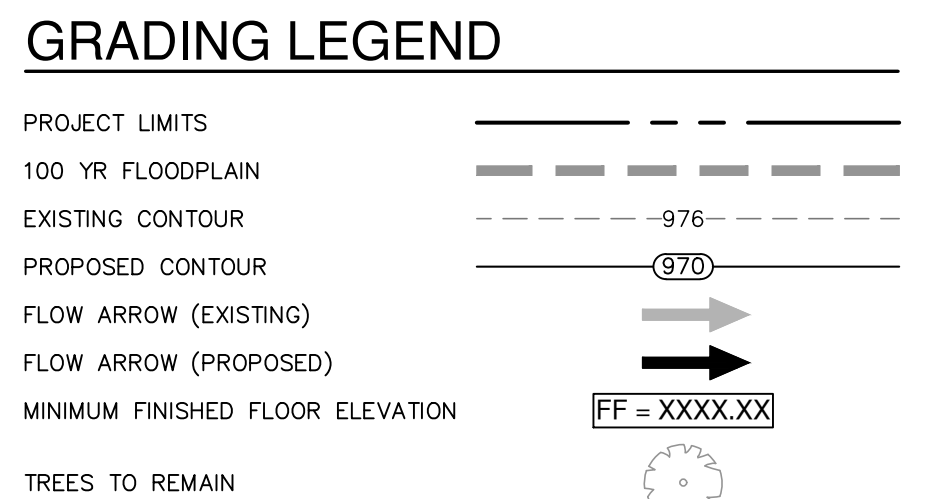
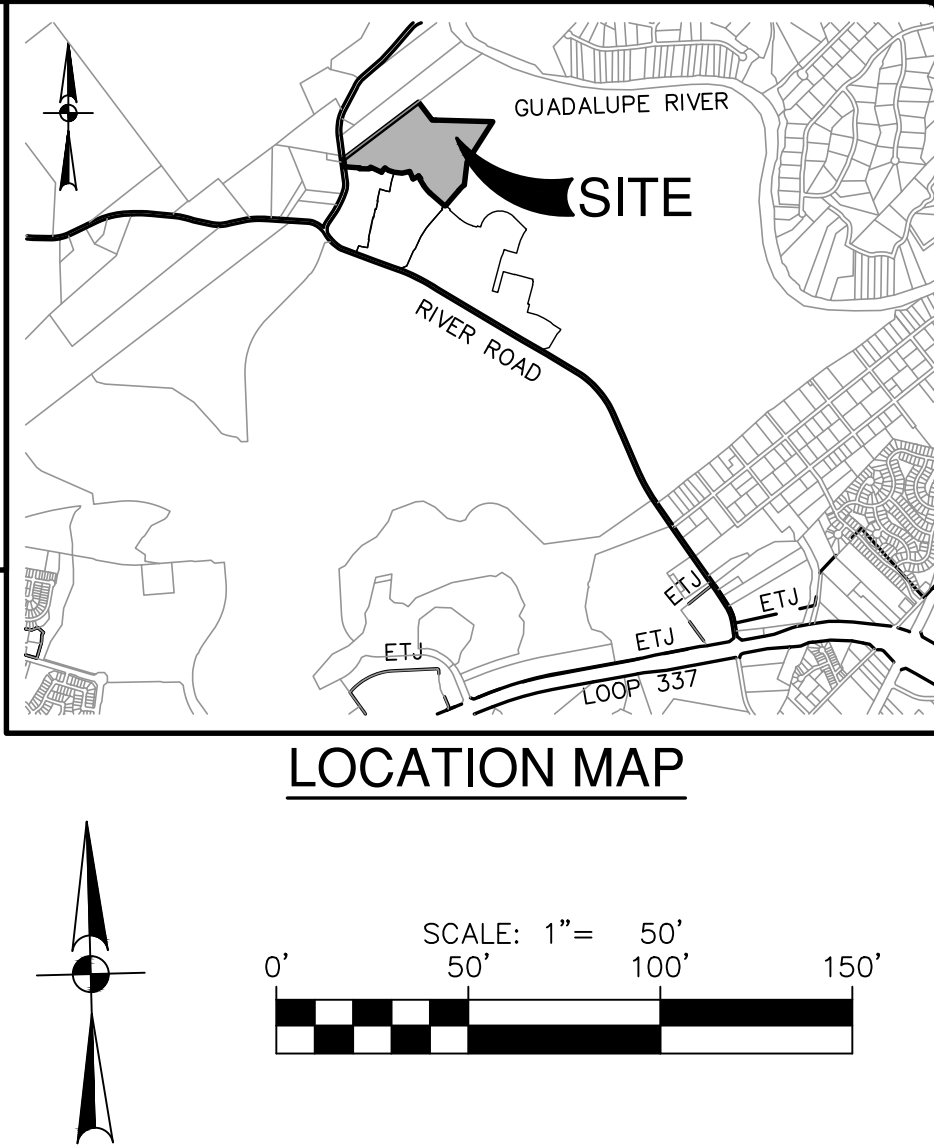
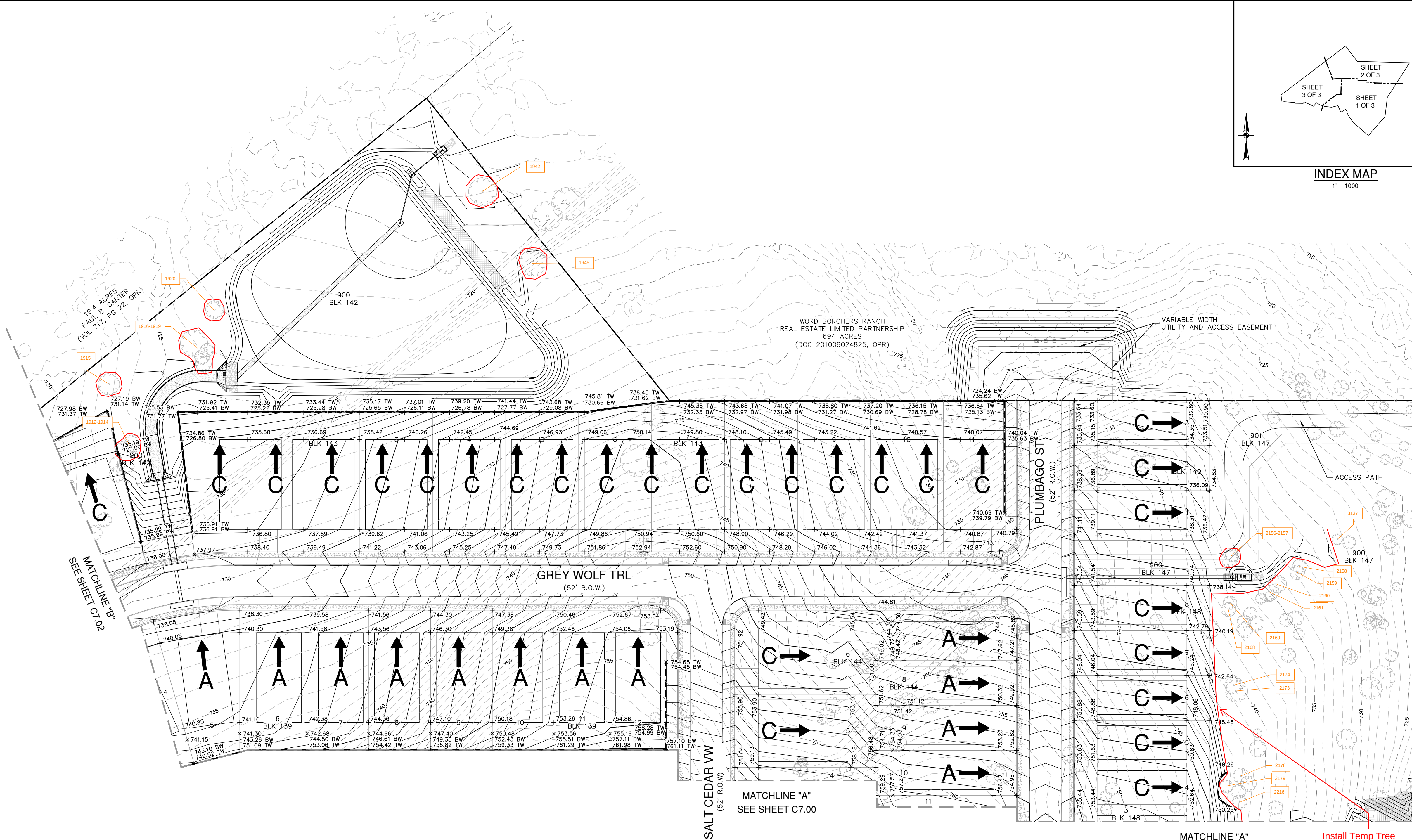
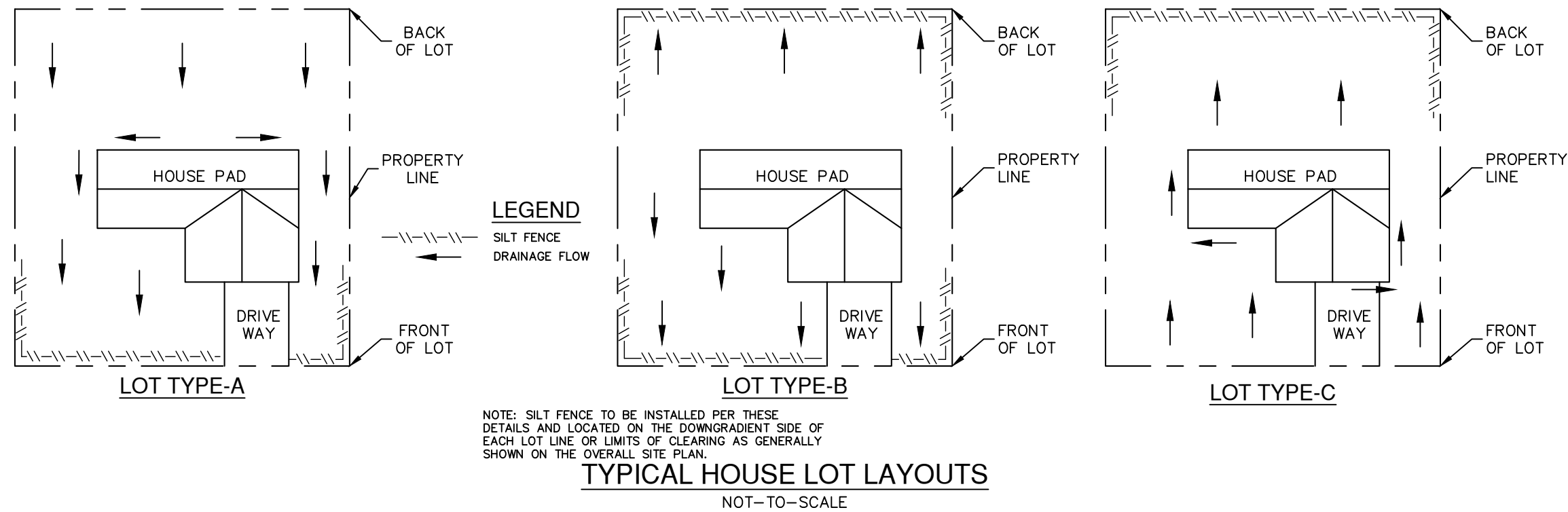
FOR PERMIT

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BENCHMARKS

Point#	Northing	Easting	Elevation	Full Description
170	13820069.08	2243575.32	753.44	SET I.R. REDCAP (TRAV)
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NO.	REVISION	DATE

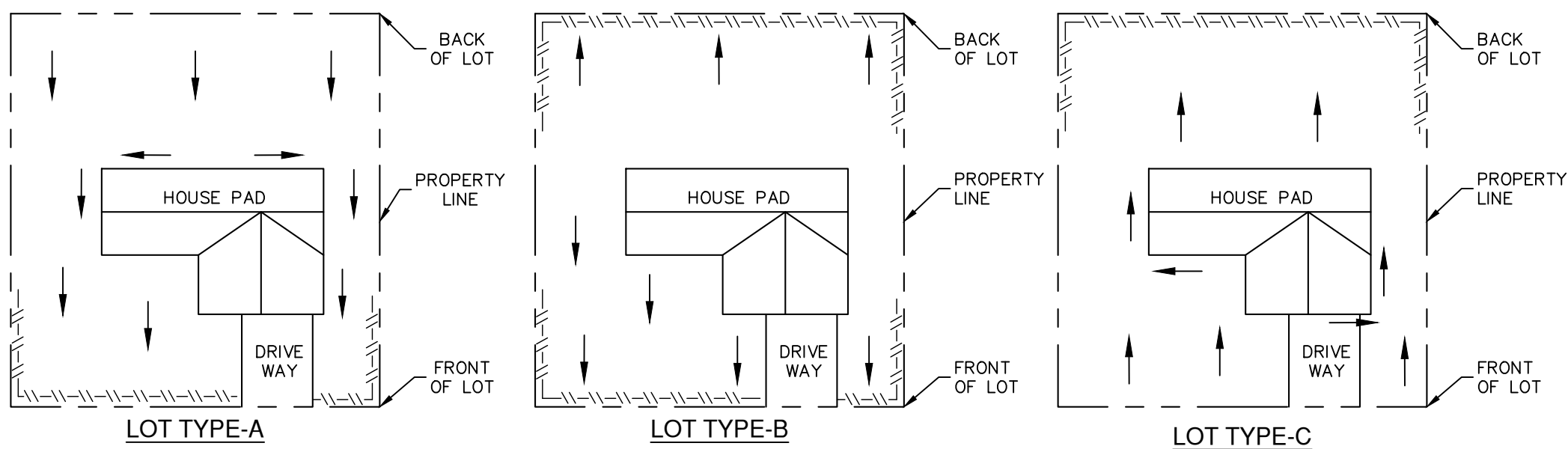
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TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

VERAMENDI PRECINCT 30 - UNIT 3
NEW BRAUNFELS, TEXAS
OVERALL GRADING PLAN

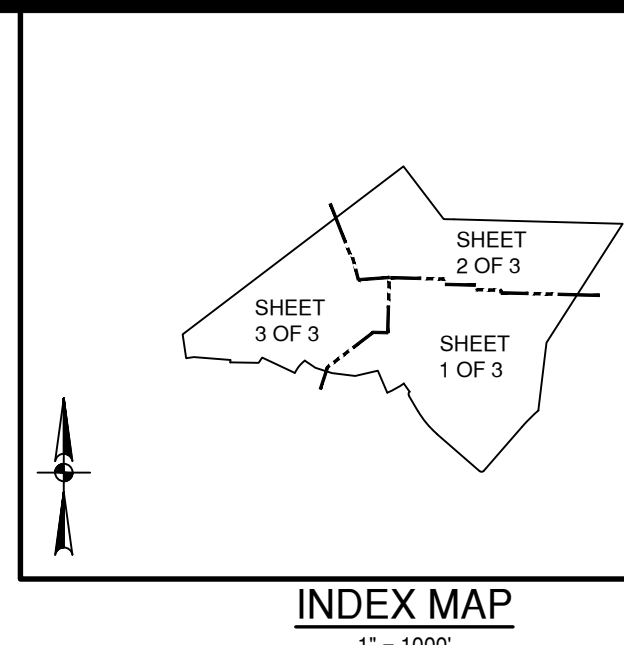
PLAT NO.	
JOB NO.	30001-73
DATE	JULY 2024
DESIGNER	GDL
CHECKED	DRAWN CA
SHEET	C7.01

FOR PERMIT



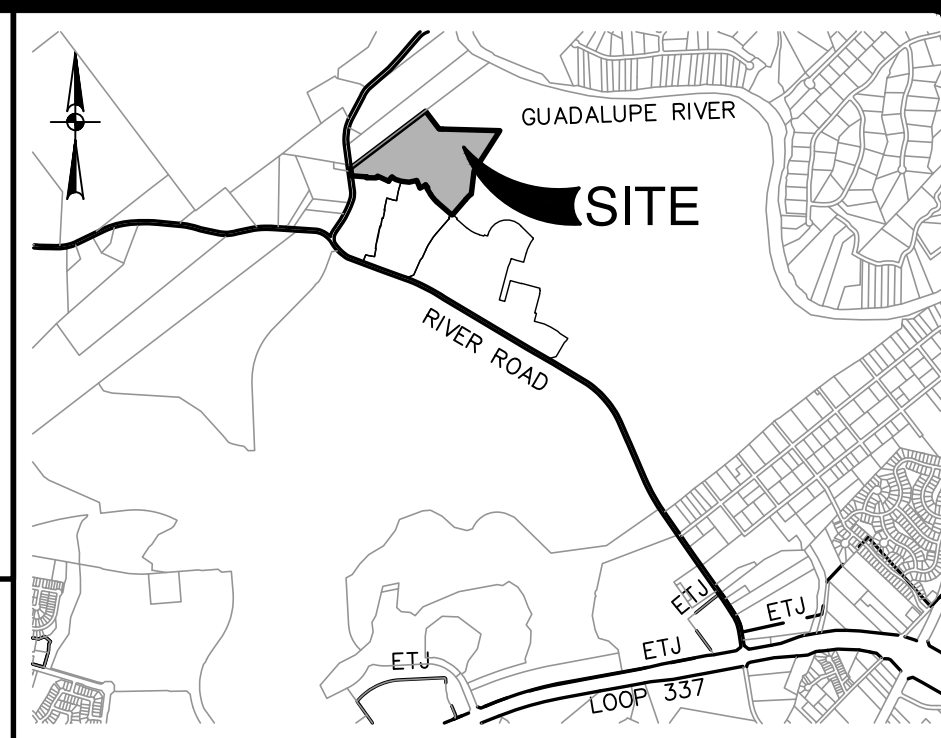
TYPICAL HOUSE LOT LAYOUTS

NOT-TO-SCALE



INDEX MAP

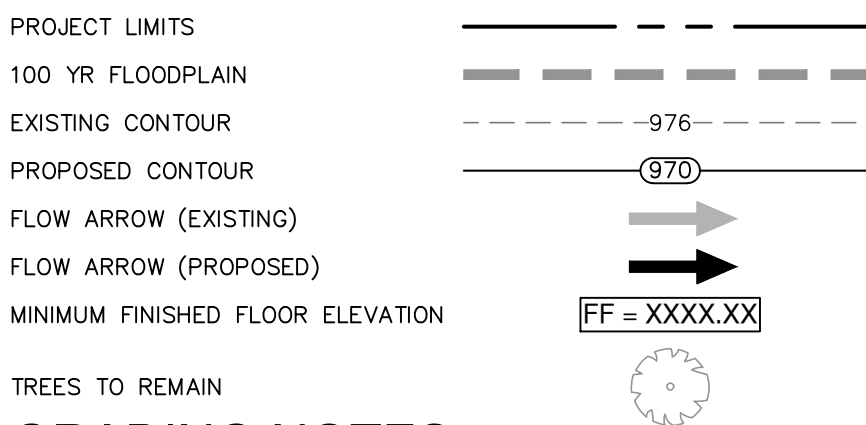
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LOCATION MAP

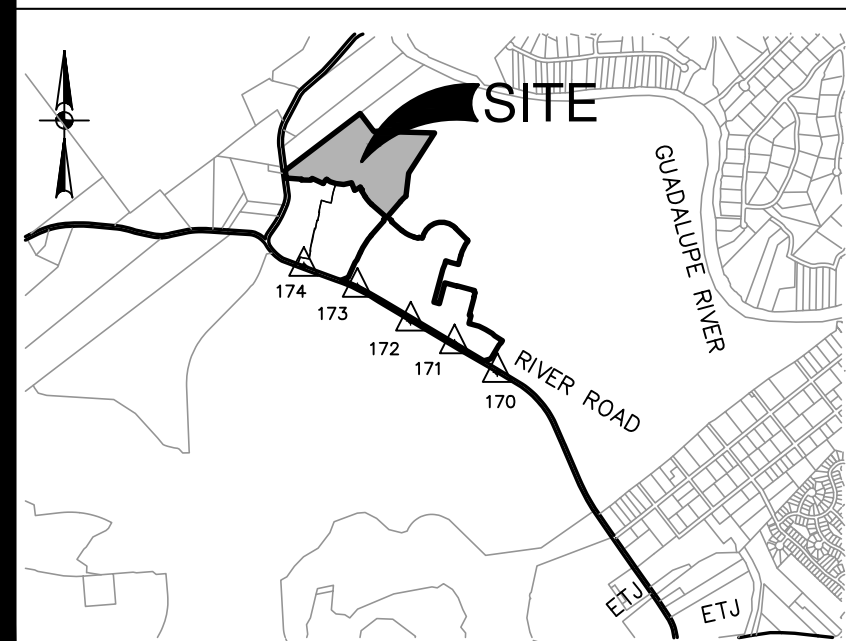


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20. STRIPPING OF VEGETATION FROM PROJECT SITES SHALL BE PHASED SO AS TO EXPOSE THE MINIMUM AMOUNT OF AREA TO SOIL EROSION FOR THE SHORTEST POSSIBLE PERIOD OF TIME PER THE NEW BRAUNFELS DRAINAGE AND EROSION CONTROL DESIGN MANUAL SEC.12.2(N)



BENCHMARK LOCATION MAP

NOT TO SCALE

BENCHMARKS

Point#	Northing	Easting	Elevation	Full Description
170	13820069.08	2243575.32	753.44	SET L.R. REDCAP (TRAV)
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Date: Sep 16, 2025, 4:14pm User ID: jperalpa File: C:\Users\LOCAL_... \Temp\MapPublic_33595\GRC04-30001-73.dwg

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TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #10028800

VERAMENDI PRECINCT 30 - UNIT 3

NEW BRAUNFELS, TEXAS

OVERALL GRADING PLAN

PLAT NO.	30001-73
JOB NO.	30001-73
DATE	JULY 2024
DRAWN	GDL
CHECKED	DRAWN CA
SHEET	C7.02

FOR PERMIT



Landscape Architecture
Environmental Design

9890 Silver Mountain Drive
Austin, Texas 78737
Ph: 512-476-2000
F: 512-476-2000

11801 Capital
San Antonio, Texas 78258
Ph: 210-482-4500
F: 210-482-0930



TREE PRESERVATION DETAILS
& TREE PRESERVATION CALCULATIONS + DETAILS

VERMILION SECTOR 5
ASA PROPERTIES
NEW BRAUNFELS, TEXAS

REVISION HISTORY		

REV	DESC.	DATE

SCALE: 1"=50'-0"

DRAWN BY: CLE

CHECKED BY: MAM

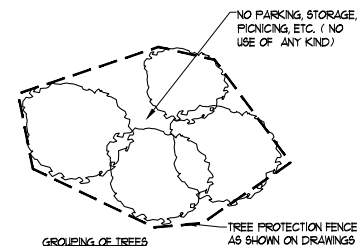
APP. BY: MAM

PROJECT NO. 080-02-C-08

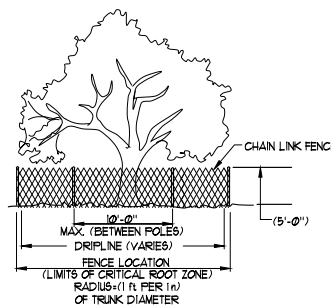
DATE: 04/30/2024

SHEET:
L.114

OF



TREE PROTECTION FENCE
AS SHOWN ON DRAWINGS



TREE PROTECTION NOTES

1. CHAIN LINK FENCE SHALL BE ERECTED PRIOR TO ANY CLEARING, GRUBBING OR SITE WORK OF ANY KIND. FENCING SHALL STAY ERECTED UNTIL FINAL LANDSCAPE OPERATIONS COMMENCE.
2. ANY PRUNING TO PROVIDE CLEARANCE TO PRESERVED TREES MUST BE APPROVED BY THE CITY FORESTER AND THE PROJECT LANDSCAPE ARCHITECT.
3. DO NOT REMOVE ANY TREES OVER 1" CALIPER WITHIN THE TREE PROTECTION FENCING OR OUTSIDE THE LIMIT OF CONSTRUCTION.
4. IF OBVIOUS DUST BUILD-UP FROM CONSTRUCTION ACTIVITY IS NOT REMOVED BY NATURAL RAINFALL, UTILIZE A WATER TRUCK TO WASH BUILD-UP FROM THE CANOPY. THE LANDSCAPE ARCHITECT OF CITY FORESTER SHALL DETERMINE WHEN NECESSARY.
5. TREE ROOT CUTS SHALL BE MECHANICALLY CUT AT THE DIRECTION OF A CERTIFIED ARBORIST. CUTS SHALL BE CLEAN CUTS, WITHOUT PULLING OR TEARING.
6. CONTRACTOR SHALL PROVIDE DEEP ROOT FERTILIZATION FOR ALL TREES WITHIN THE PROJECT LIMITS. FERTILIZATION SHALL BE DONE THREE TIMES - AT THE COMMENCEMENT OF CONSTRUCTION, AT 50% COMPLETION AND AT THE COMMENCEMENT OF LANDSCAPE INSTALLATION ACTIVITIES.
7. FERTILIZATION SHALL BE BY DEEP ROOT METHOD AT 2 TO 3 FOOT MATRIX SPACING DEPENDING ON AVAILABLE ROOT AREA. MATERIALS ARE TO BE SLOW RELEASE AT A 3-1-1 RATIO. FIRST TREATMENT BEFORE CONSTRUCTION THEN REPEAT TREATMENTS AT 6 MONTH INTERVALS.
8. ALL TREES IMPACTED BY CONSTRUCTION ARE TO BE TREATED BEFORE CONSTRUCTION BEGINS WITH SYSTEMIC INSECTICIDE AND FUNGICIDE.
9. ALL TREES IMPACTED BY CONSTRUCTION ARE TO BE SPRAYED TO CONTROL EARLY SPRING DEFOLIATING CATERPILLARS.
10. ALL TREES IMPACTED BY CONSTRUCTION ARE TO BE WATERED ONCE EVERY 1 TO 14 DAYS DURING LATE SPRING, SUMMER AND EARLY FALL IN LIEU OF 1/2 INCH OF RAINFALL.

1 TREE PROTECTION DETAILS PLAN/ ELEVATION

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