

WINDING CREEK RANCH UNIT 7

NEW BRAUNFELS, TEXAS

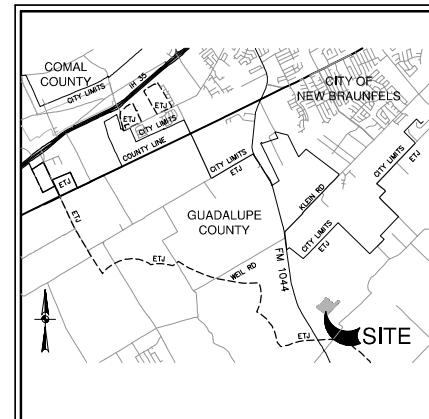
GVSUD APPROVAL TO CONSTRUCT

Review of these utility plans constitutes general compliance with Green Valley SUD and approved non-standard service agreement. Approval by GVSUD (or its representative) does not constitute approval of the plan design or accuracy of the engineering calculations. Errors in the design or calculations remain the responsibility of the engineer of record whose stamp and signature are affixed to this document. The engineer of record is also responsible for acquiring/completing all reports, plans, reviews and permits prior to commencing construction. If commencement of water/wastewater construction has not started within one (1) year of the date of the approval below, construction plans for these utilities must be resubmitted to GVSUD for review and approval.

Caleb Franke 09/04/2025

GVSUD Representative Date

CIVIL CONSTRUCTION PLANS



LOCATION MAP
NOT TO SCALE

PREPARED FOR:

CONTINENTAL HOMES OF TEXAS, L.P.
5419 N. LOOP 1604 E.
SAN ANTONIO, TEXAS 78247

NOVEMBER 2023

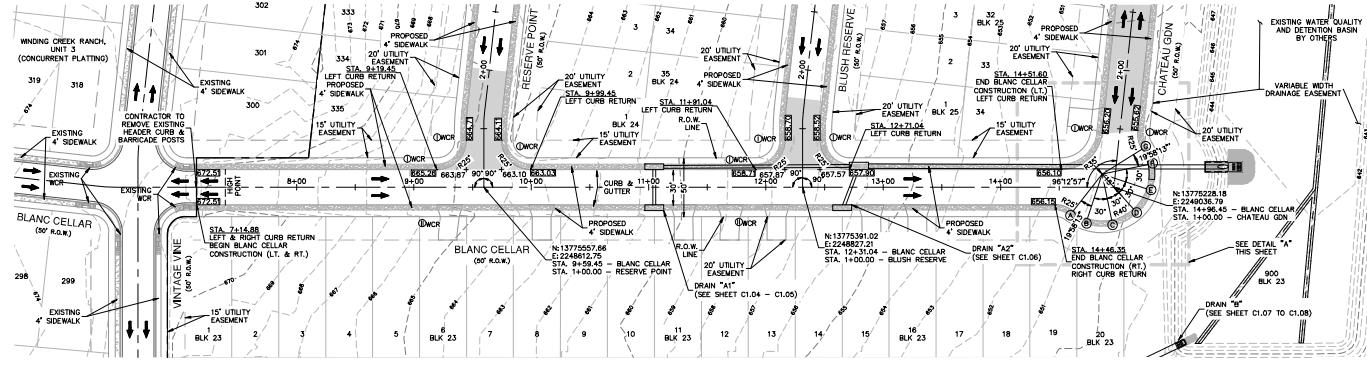


Frederick D. Borchardt

**PAPE-DAWSON
ENGINEERS**

1072 INDEPENDENCE DR, STE 102 | NEW BRAUNFELS, TX 78132 | 800.832.9533
TEXAS ENGINEERING FIRM #479 | TEXAS SURVEYING FIRM #10028800

Sheet Description	Sheet No.
COVER SHEET	C0.00
CONSTRUCTION NOTES	C0.01
PLAT (1 OF 3)	C0.02
PLAT (2 OF 3)	C0.03
PLAT (3 OF 3)	C0.04
MASTER DRAINAGE PLAN - EXISTING CONDITIONS	C1.00
MASTER DRAINAGE PLAN - PROPOSED CONDITIONS	C1.01
MASTER DRAINAGE PLAN - ULTIMATE CONDITIONS	C1.02
WATER QUALITY AND DETENTION BASIN D	C1.03
DRAIN A1 - PLAN & PROFILE	STA 1-02.25 TO 3+40.00 C1.04
DRAIN A1 - PLAN & PROFILE	STA 3-40.00 TO 4+48.13 C1.05
DRAIN A2 - PLAN & PROFILE	STA 1-00.00 TO 1+38.24 C1.06
DRAIN B - PLAN & PROFILE	STA 1-00.00 TO 5+50.00 C1.07
DRAIN B - PLAN & PROFILE	STA 5+50.00 TO 9+88.27 C1.08
DRAIN C - PLAN & PROFILE	STA 1-00.00 TO 2+35.93 C1.09
DRAIN D - PLAN & PROFILE	STA 1-02.73 TO 4+30.00 C1.10
DRAIN E - PLAN & PROFILE	STA 1-00.00 TO 2+10.86 C1.11
DRAINAGE DETAILS	C1.20
DRAINAGE DETAILS	C1.21
DRAINAGE DETAILS	C1.22
BASIN DETAILS	C1.23
BLANC CELLAR - PLAN & PROFILE	STA 7+14.88 TO 14+51.60 C2.00
BLUSH RESERVE - PLAN & PROFILE	STA 1-40.00 TO 9+33.39 C2.01
BOTTLE BLEND - PLAN & PROFILE	STA 1-35.08 TO 2+94.63 C2.02
CHATEAU GIN - PLAN & PROFILE	STA 1-44.85 TO 9+08.89 C2.03
RESERVE POINT - PLAN & PROFILE	STA 1-40.00 TO 9+60.64 C2.04
TANNIN ALLEY - PLAN & PROFILE	STA 8-05.61 TO 18+15.49 C2.05
TYPICAL STREET DETAILS	C2.10
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OVERALL SIGNAGE PLAN	C3.00
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TxDOT SIGN MOUNTED DETAILS	C3.11
OVERALL WATER DISTRIBUTION PLAN	C4.00
12 INCH WATER MAIN W-01 - PLAN & PROFILE	STA 1+00.00 TO 11+34.72 C4.01
WATER DISTRIBUTION DETAILS	C4.10
WATER DISTRIBUTION DETAILS	C4.11
OVERALL SANITARY SEWER	C5.00
OVERALL SANITARY SEWER	C5.01
SANITARY SEWER LINE A - PLAN & PROFILE	STA 1-00.00 TO 11+50.00 C5.02
SANITARY SEWER LINE A - PLAN & PROFILE	STA 11+50.00 TO 20+50.00 C5.03
SANITARY SEWER LINE A - PLAN & PROFILE	STA 20+50.00 TO 27+17.15 C5.04
SANITARY SEWER LINE B - PLAN & PROFILE	STA 1-00.00 TO 10+69.00 C5.05
SANITARY SEWER LINE C - PLAN & PROFILE	STA 1-00.00 TO 6+50.00 C5.06
SANITARY SEWER LINE C - PLAN & PROFILE	STA 6+50.00 TO 13+68.53 C5.07
SANITARY SEWER LINE D - PLAN & PROFILE	STA 1-00.00 TO 3+36.00 C5.08
SANITARY SEWER DETAILS	C5.10
SANITARY SEWER NOTES	C5.20
OVERALL UTILITY PLAN	C6.00
OVERALL GRADING PLAN	C7.00
OVERALL GRADING PLAN	C7.01
STORM WATER POLLUTION PREVENTION PLAN	C8.00
STORM WATER POLLUTION PREVENTION PLAN DETAILS	C8.01



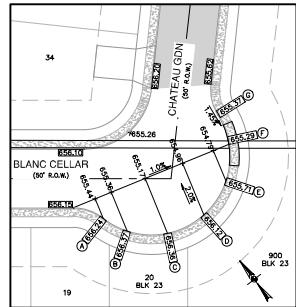
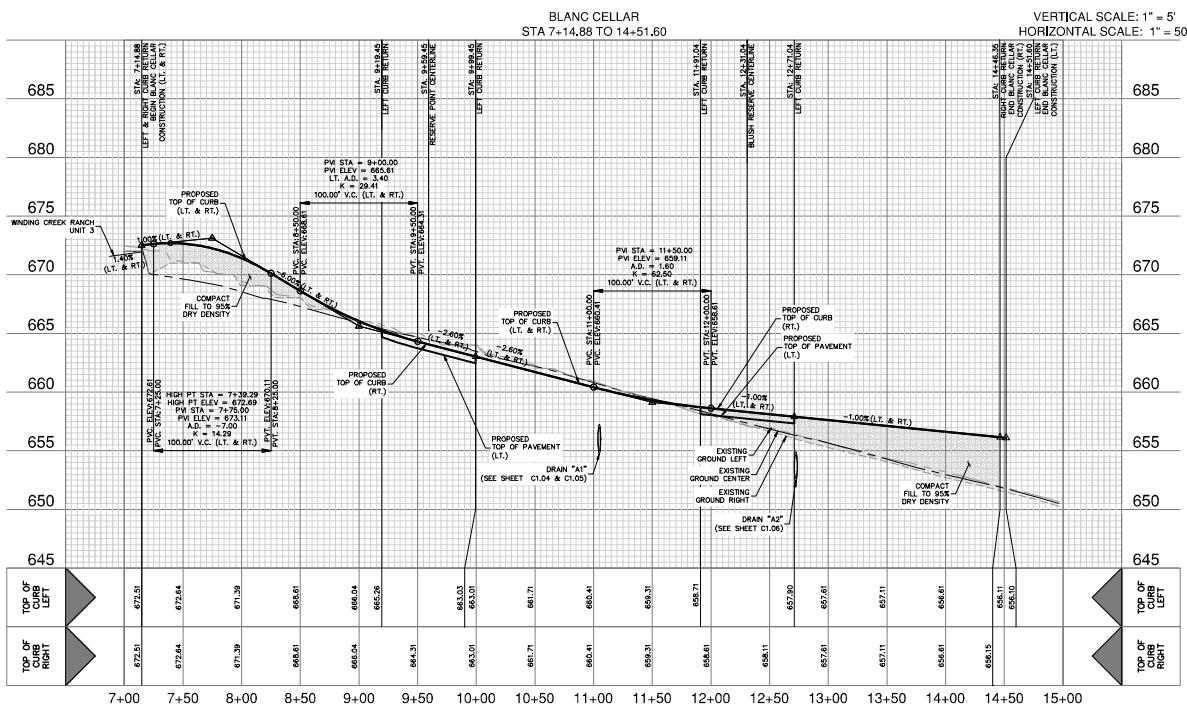
STREET LEGEND

PROJECT LIMITS
EXISTING CONTOUR
CORRECTED EFFECTIVE
100 YR FLOOD PLAIN
PROPOSED 100 YR FLOOD PLAIN
WHEELCHAIR RAMP
CENTERLINE
POINT OF CURVATURE
POINT OF TANGENCY
DRAINAGE FLOW ARROW
TOP OF CURB SPOT ELEVATION
PAVEMENT ELEVATION
WASHOUT CROWN SECTION
SIDEWALK (SEE SHEETS C3.00 FOR
DEVELOPER RESPONSIBILITY)

DRIVEWAY

**PAPE-DAWSON
ENGINEERS**
607 INDEPENDENCE DRIVE, SUITE 100 • NEW BRAUNFELS, TX 78130 • (800) 343-3850
E-MAIL: INQUIRIES@PAPE-DAWSON.COM • FAX: (800) 343-3851

WINDING CREEK RANCH UNIT 7
NEW BRAUNFELS, TEXAS
BLANC CELLAR - PLAN & PROFILE
STA 7+14.88 TO 14+51.60



DETAIL "A"
SCALE: 1" = 30'

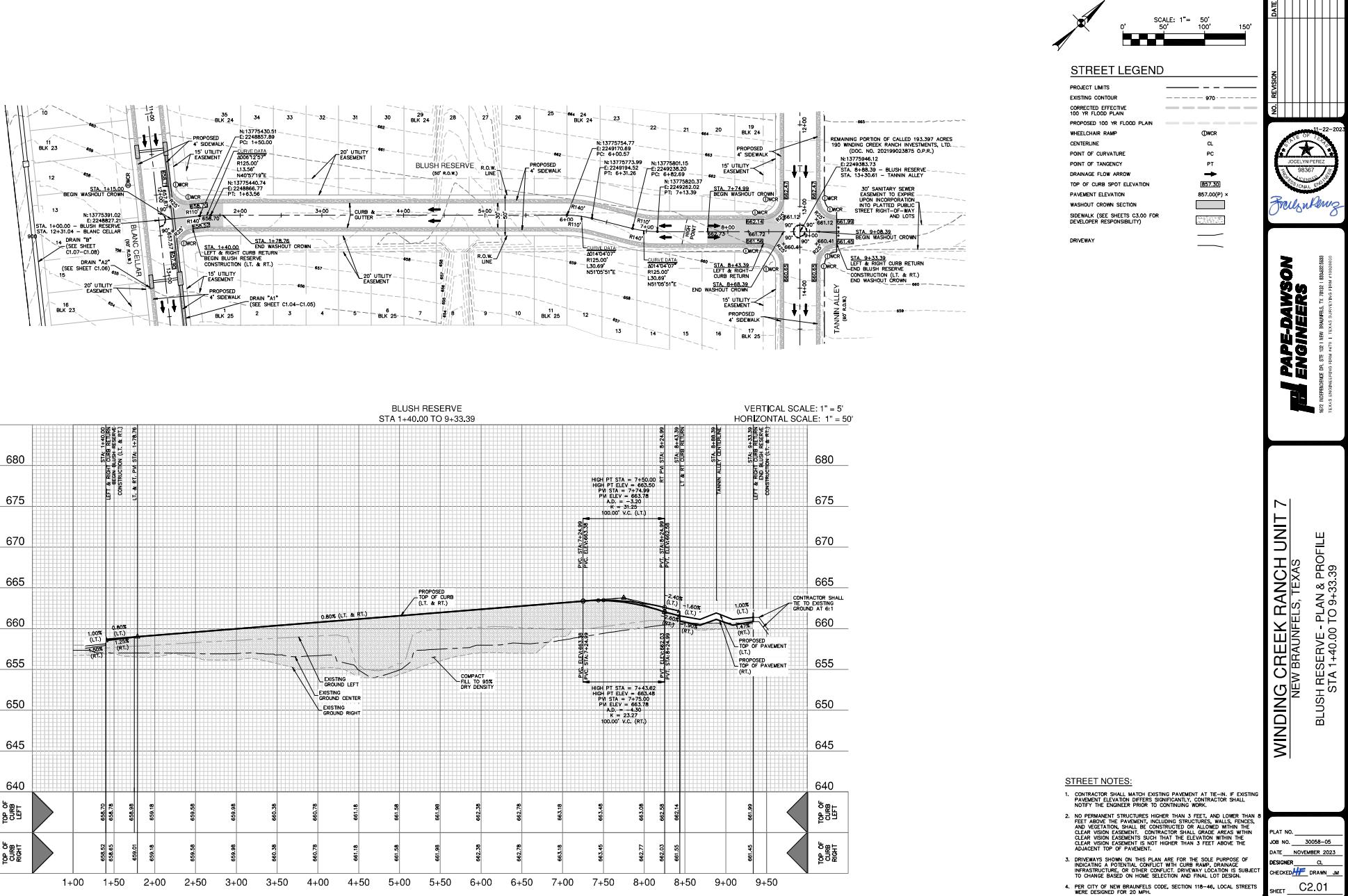
STREET NOTES:

1. CONTRACTOR SHALL MATCH EXISTING PAVEMENT AT TIE-IN. IF EXISTING PAVEMENT ELEVATION DIFFERS SIGNIFICANTLY, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WORK.
2. NO NEW PAVEMENT, WHETHER CONCRETE, ASPHALT, OR LOWER THAN 8 FEET ABOVE THE PAVEMENT, INCLUDING STRUCTURES, WALLS, FENCE, AND VEGETATION, SHALL BE CONSTRUCTED OR ALLOWED WITHIN THE CLEAR VISION EASEMENTS. EXISTING PAVEMENT SHALL NOT OBSTRUCT CLEAR VISION EASEMENTS SUCH THAT THE ELEVATION WITHIN THE CLEAR VISION EASEMENT IS MORE THAN 3 FEET HIGHER THAN THE ADJACENT TOP OF PAVEMENT.
3. DRIVEWAYS SHOWN ON THIS PLAN ARE FOR THE SOLE PURPOSE OF INDICATING THE APPROXIMATE LOCATION OF DRIVEWAYS, INFRASTRUCTURE, OR OTHER CONFLICT. DRIVEWAY LOCATION IS SUBJECT TO CHANGE BASED ON HOLE SELECTION AND FINAL LOT DESIGN.
4. PER CITY OF NEW BRAUNFELS CODE, SECTION 118-46, LOCAL STREETS MUST BE DESIGNED FOR 25 MPH.

PLAT NO. _____
JOB NO. 30058-05
DATE NOVEMBER 2023
DESIGNER CL
CHECKED **MF** DRAWN **JM**
SHEET C2.00

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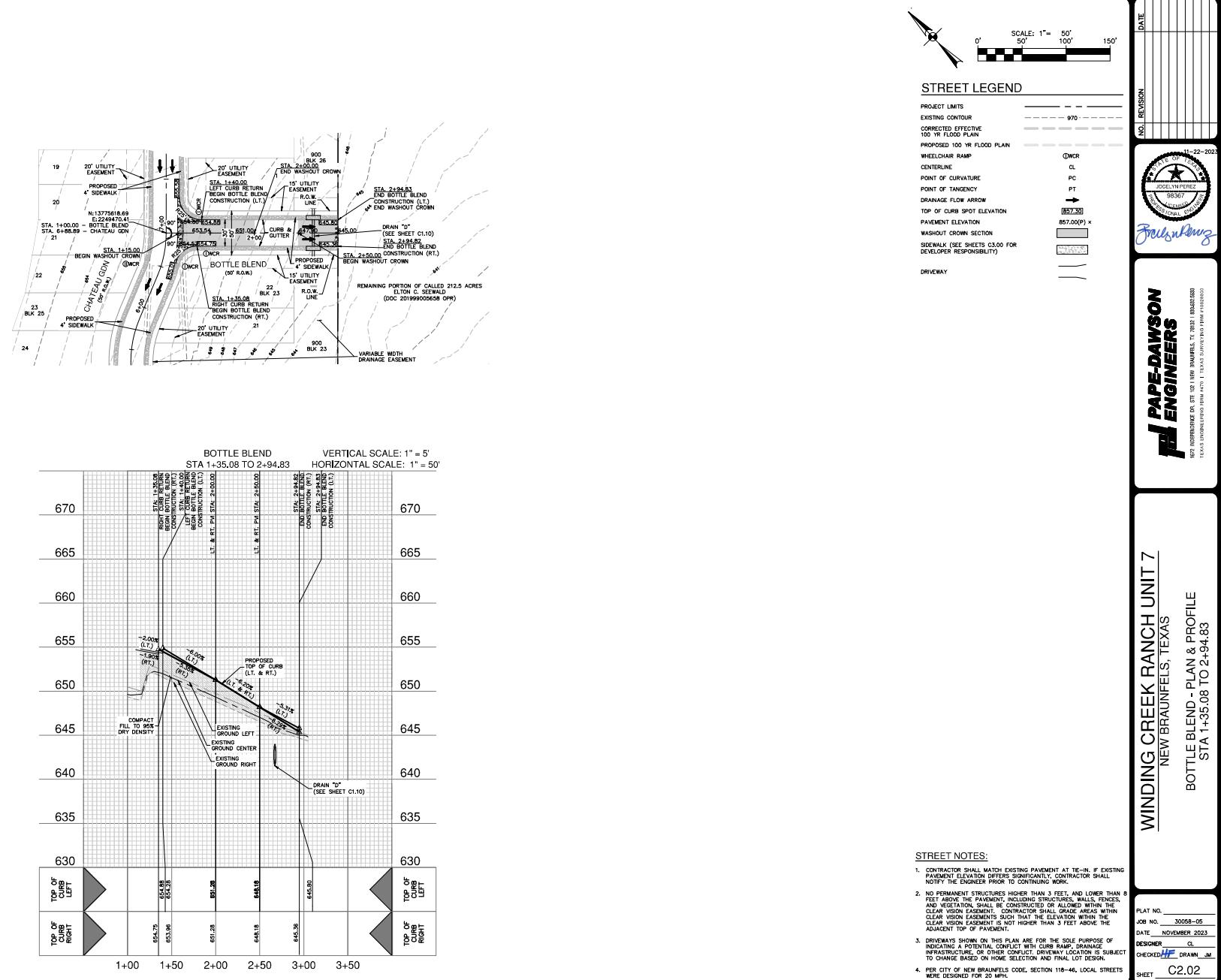
NO. REVISION DATE
5-24-2024
JOELYN PEREZ
S5065
PROFESSIONAL ENGINEER
Joelyn Perez



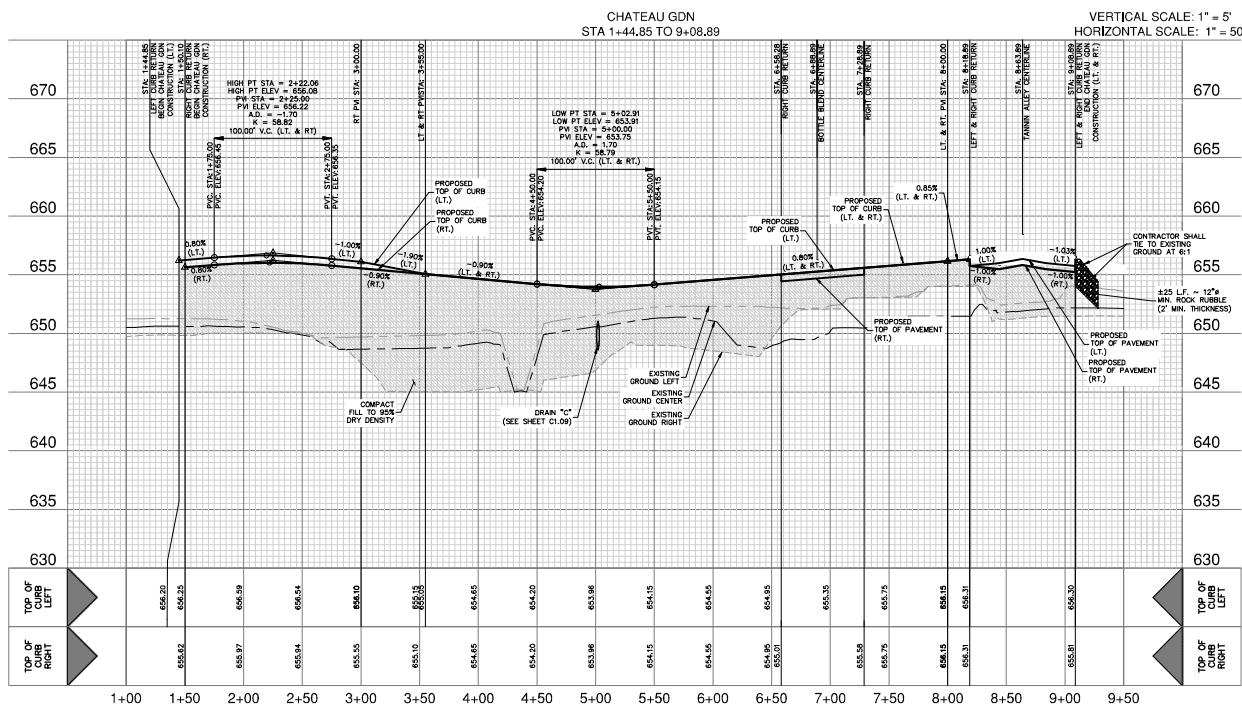
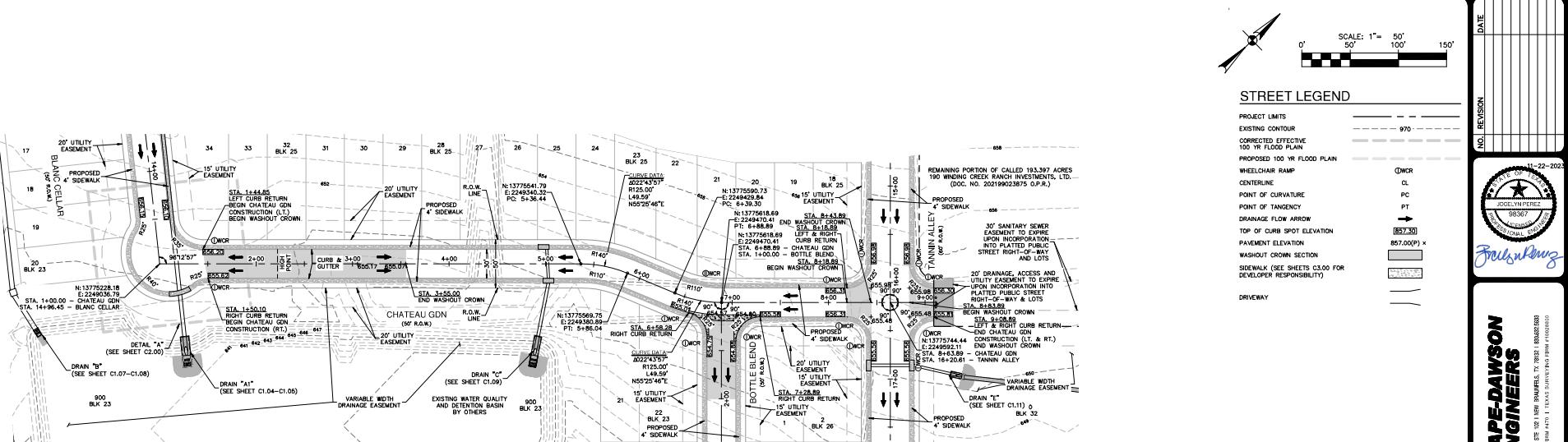
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STREET NOTES

1. CONTRACTOR SHALL MAKE EXISTING PAYMENT AT THE END OF FORTY (40) ELEVATION DIFFERS SIGNIFICANTLY, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WORK.
2. NO PERMANENT STRUCTURES HIGHER THAN 3 FEET, AND LOWER THAN 10 FEET, SHALL BE BUILT ON THE EASEMENT. SMALL FENCES, AND VEGETATION, SHALL BE CONSTRUCTED OR ALLOWED WITHIN THE CLEAR VISION EASEMENT. CONTRACTOR SHALL Grade AREAS WITH CLEAR VISION EASEMENT TO A MAXIMUM OF 3 FEET ABOVE THE CLEAR VISION EASEMENT IS NOT HIGHER THAN 3 FEET ABOVE THE ADJACENT TOP OF ELEVATION.
3. CONTRACTOR SHALL PREPARE A SITE PLAN FOR THE SOLE PURPOSE OF INDICATING A POTENTIAL CONFLICT WITH CURB, RAMPS, DRAINAGE OR INFRASTRUCTURE, OR OTHER CONFLICT. DRIVEWAY LOCATION IS SUBJECT TO CHANGE BASED ON ENGINEER'S SITE PLAN AND LOT DESIGN.
4. PER DESIGN FOR NEW BRAUNFELS CODE, SECTION 118-46, LOCAL STREETS

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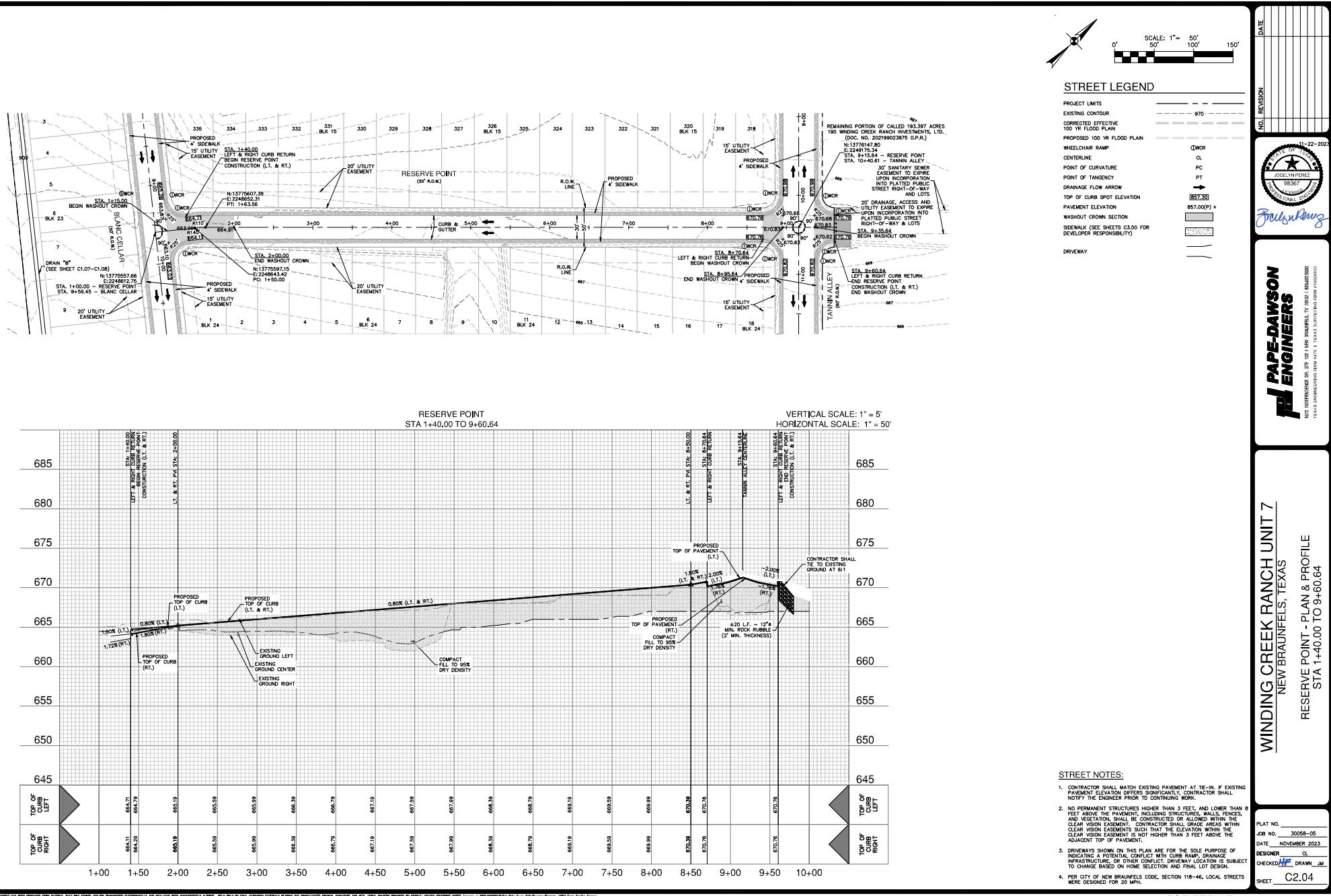
WINDING CREEK RANCH UNIT 7
NEW BRAUNFELS, TEXAS

PAPE-DAWSON
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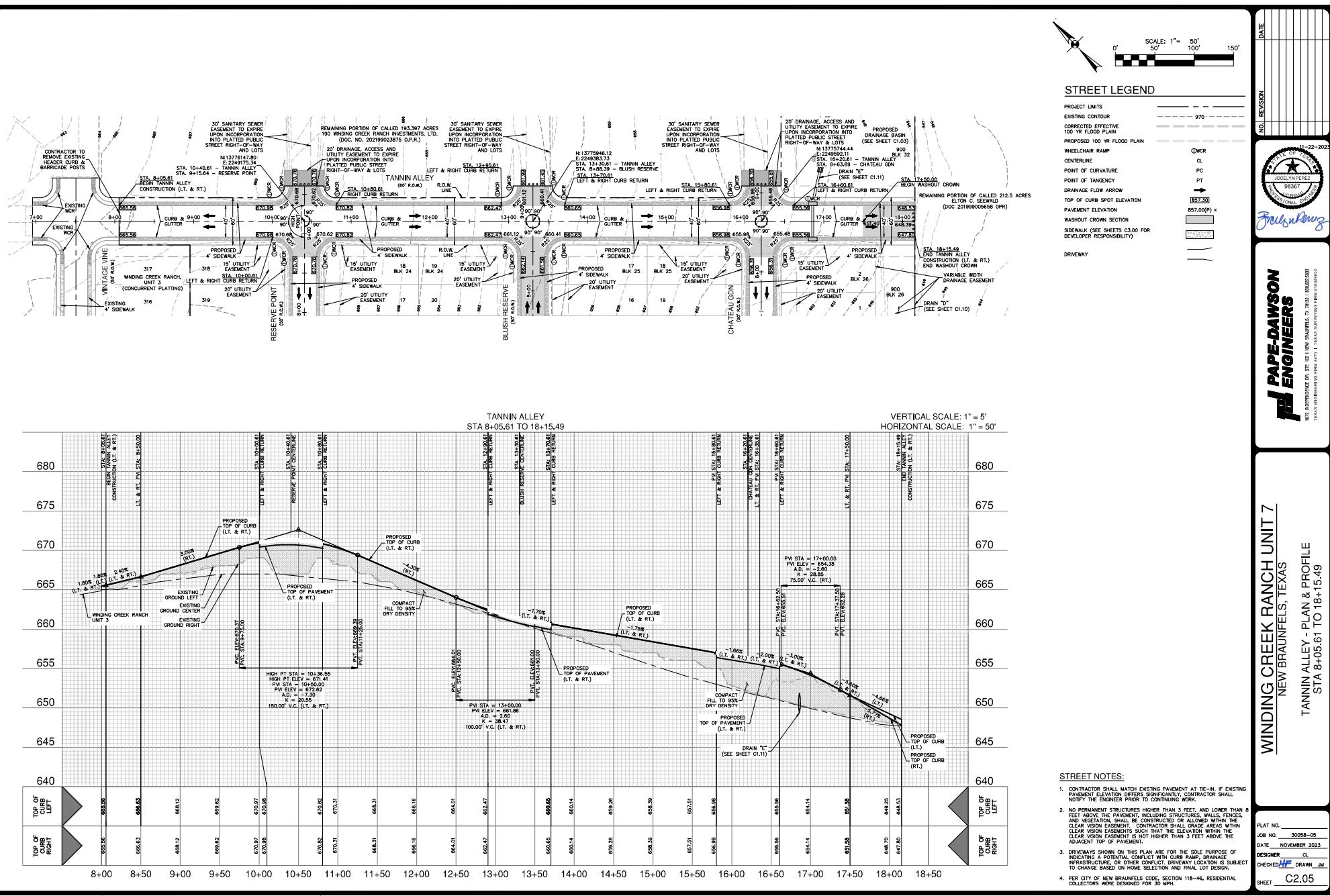
1672 INDEPENDENCE DR. STE 102 | NEW BRAUNFELS, TX 78132 | 830.652.5533
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1012890

CHATEAU GUN-PLAN & PROFILE
STA 1+44.85 TO 9+08.89

PLAT NO. _____
JOB NO. 30058-05
DATE NOVEMBER 2023
DESIGNER CL
CHECKED HF DRAWN JM
SHEET C2.03



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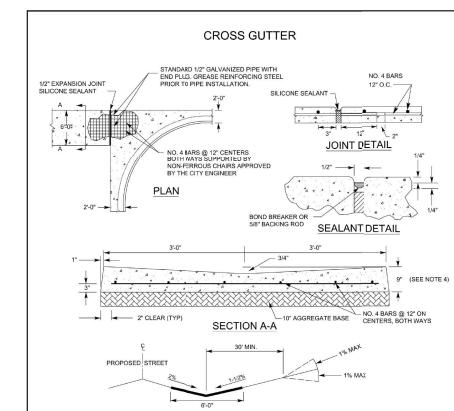
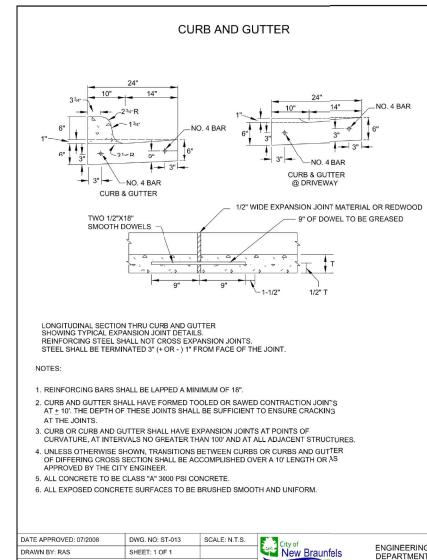
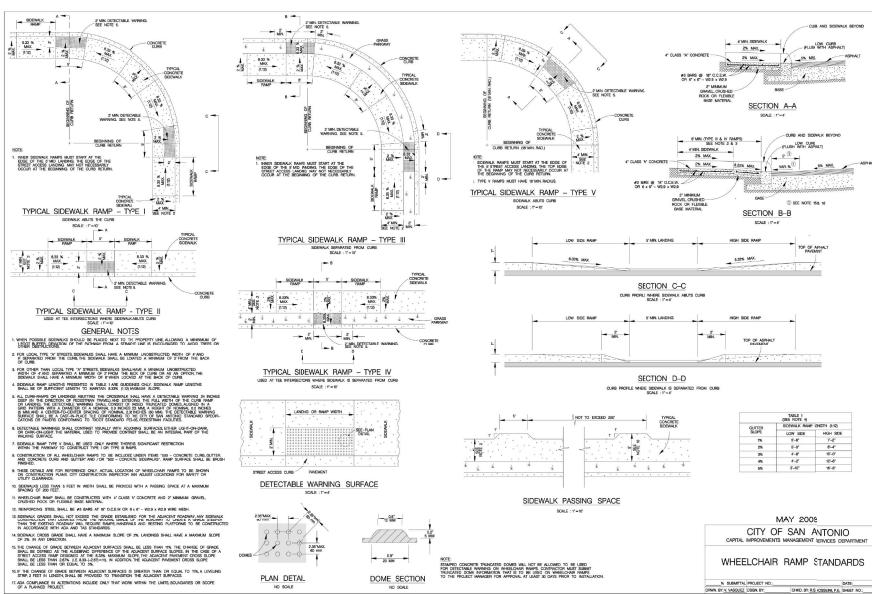
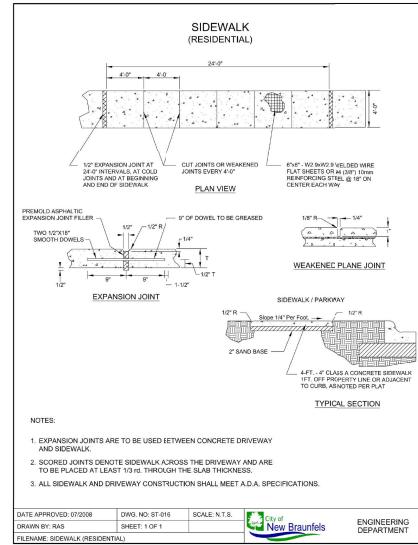
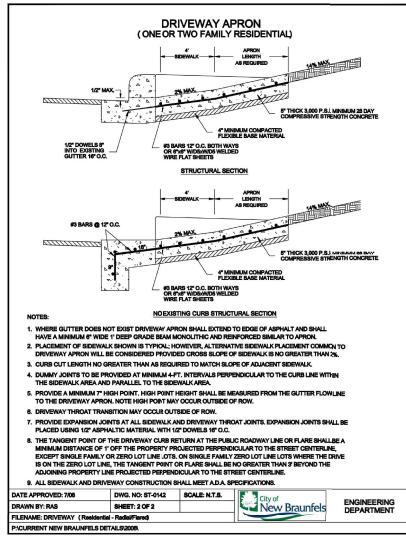
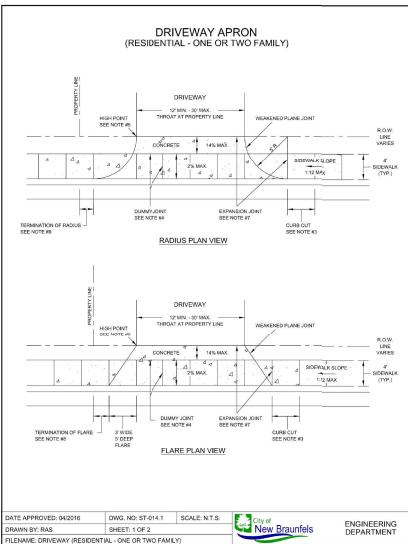
TEXAS ENGINEERING FIRM #470 | TEXAS SURVEYING FIRM #1028820

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WINDING CREEK RANCH UNIT 7
NEW BRAUNFELS, TEXAS

TYPIICAL STREET DETAILS

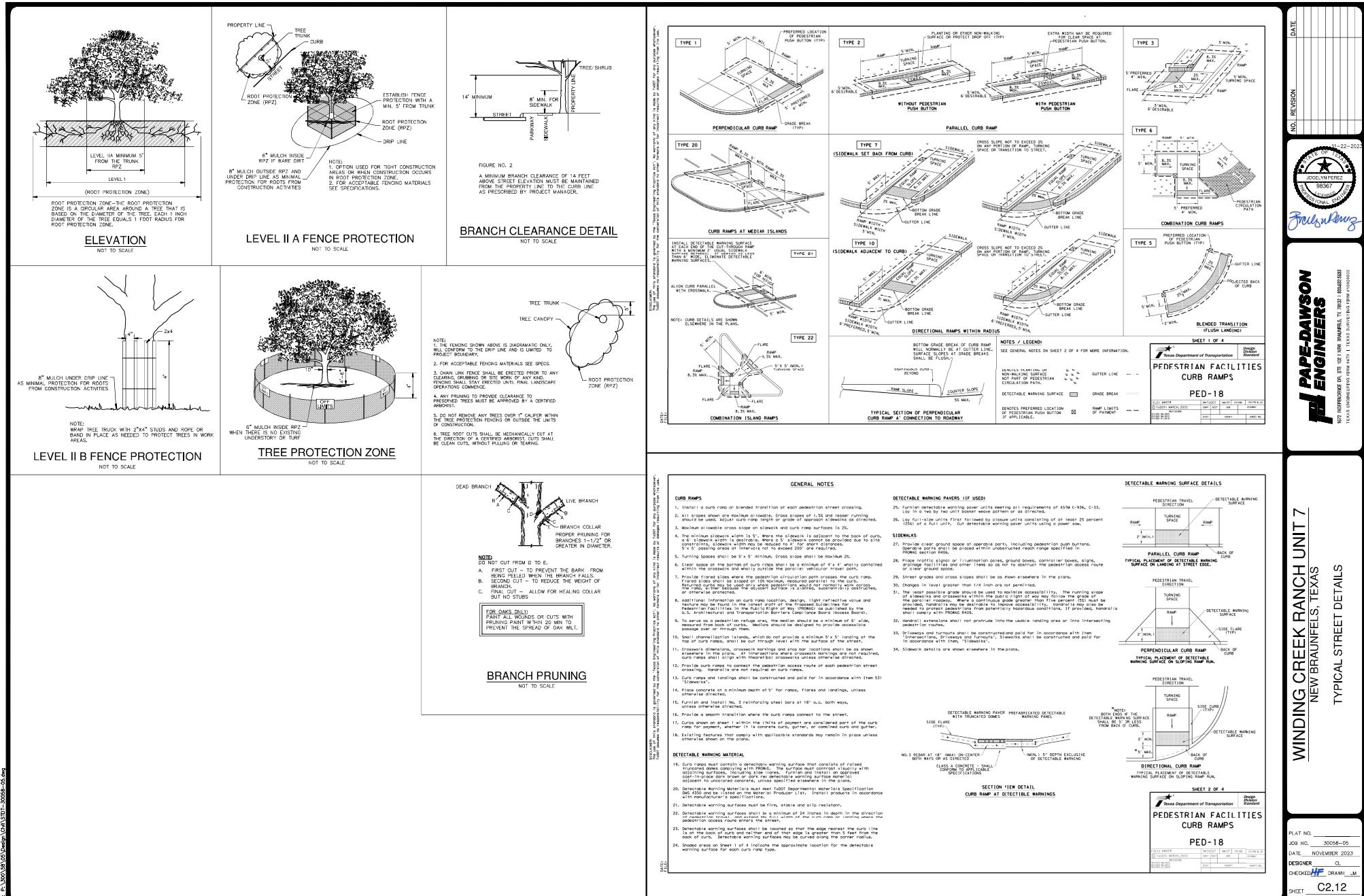
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NOTES:

1. ALL CONCRETE SHALL BE CLASS "A" 3000 PSI.
2. FINISHED ASPHALT CONCRETE SURFACE SHALL BE FLUSH WITH CROSS GUTTER LIP.
3. CONSTRUCTION OF CROSS GUTTER IS NOT ALLOWED ACROSS MAJOR COLLECTOR OR ARTERIAL STREETS.
4. ADJACENT SPANDREL SHALL BE 9" THICK CLASS "A" 3,000 PSI CONCRETE.





FOR PERMIT